

# Canal Winchester

COMMUNITY CENTER  
22 SOUTH TRINE STREET  
Canal Winchester, OH 43110



## Meeting Agenda

August 24 27, 2020

7:00 PM

## Landmarks Commission

*Pete Lynch - Chairman*  
*David Craycraft – Vice Chairman*  
*Rich Dobda - Secretary*  
*Roger White*  
*Jamoya Cox*  
*Dr. Scott Kelly*  
*Whit Wardell*

Call To Order

Time In: \_\_\_\_\_

Declaring A Quorum (Roll Call)

David Craycraft                      Pete Lynch                      Roger White                      Jamoya Cox  
Rich Dobda                              Dr. Scott Kelly                      Whit Wardell

Excused: \_\_\_\_\_ Motion By: \_\_\_\_\_

Second By: \_\_\_\_\_ Vote: \_\_\_\_\_

Approval of Minutes

June 22, 2020 Landmarks Commission Meeting Minutes

Motion By: \_\_\_\_\_ 2<sup>nd</sup> By: \_\_\_\_\_ Vote: \_\_\_\_\_

July 27, 2020 Landmarks Commission Meeting Minutes

Motion By: \_\_\_\_\_ 2<sup>nd</sup> By: \_\_\_\_\_ Vote: \_\_\_\_\_

Pending Applications

**CA-20-021**

Property Owner: John & Marshell Crabtree  
Applicant: John & Marshell Crabtree  
Location: 116 East Columbus Street  
Request: New 6' Decorative Privacy Fence

Motion By: \_\_\_\_\_ 2<sup>nd</sup> By: \_\_\_\_\_

Vote: \_\_\_\_\_

Conditions: \_\_\_\_\_

**CA-20-022**

Property Owner: Joanne & Richard 71 LLC  
Applicant: Dave Craycraft & Mike Gust  
Location: 71 East Mound Street  
Request: New 8x14 addition. Roof Pitch alterations and removing vinyl siding.

Motion By: \_\_\_\_\_ 2<sup>nd</sup> By: \_\_\_\_\_

Vote: \_\_\_\_\_

Conditions: \_\_\_\_\_

**CA-20-023**

Property Owner: James Bell  
Applicant: James Bell  
Location: 34 West Street  
Request: New 450 sq. ft. deck.

Motion By: \_\_\_\_\_ 2<sup>nd</sup> By: \_\_\_\_\_  
Vote: \_\_\_\_\_  
Conditions: \_\_\_\_\_

Old Business

New Business

Adjournment

Motion by: \_\_\_\_\_ 2<sup>nd</sup> by: \_\_\_\_\_ Vote: \_\_\_\_\_  
Time Out: \_\_\_\_\_

# Canal Winchester

COMMUNITY CENTER  
22 SOUTH TRINE STREET  
Canal Winchester, OH 43110



## Meeting Minutes

July 27, 2020

7:00 PM

## Landmarks Commission

*Pete Lynch - Chairman*  
*David Craycraft - Vice Chairman*  
*Rich Dobda - Secretary*  
*Roger White*  
*Jamoya Cox*  
*Dr. Scott Kelly*  
*Whit Wardell*

Call To Order

*Time In: 7:00pm*

Declaring A Quorum (Roll Call)

**A motion was made by Peter Lynch, seconded by David Craycraft that Jamoya Cox be excused from the meeting.**

**The motion carried by the following vote:**

**Yes: 6** – Dave Craycraft, Roger White, Rich Dobda, Peter Lynch, Dr. Scott Kelly & Whit Wardell

**Excused: 1** – Jamoya Cox

Approval of Minutes

June 22, 2020 Landmarks Commission Meeting Minutes

**A motion was made by David Craycraft, seconded by Roger White, that the June 22, 2020 Minutes be approved.**

**The motion failed by the following vote:**

**Yes: 3** – David Craycraft, Roger White & Rich Dobda

**Abstain: 3** – Whit Wardell, Dr. Scott Kelly & Peter Lynch

Pending Applications**CA-20-013**

Property Owner: Lucinda Lynch  
Applicant: Tom Parker  
Location: 68 E Waterloo Street  
Request: Paint Door and New Signage

Mr. Moore presented the application for Tom Parker for 68 East Waterloo Street. The applicant is requesting approval to paint the front door and install a new hanging sign on the front porch. Staff indicated that the screen door will be painted red and the door and transom above will be painted white. The colors are State Farm's standard colors. The applicant is also installing a new hanging sign on the front porch. The applicant has submitted three different color combinations for the sign for review and comment.

Mr. White asked the applicant what their preference is for the sign. The applicant indicated that he prefers the simple red, white and black sign.

Mr. Craycraft asked the applicant if the red on the door is the state farm color. The applicant confirmed.

Mr. Lynch asked the applicant if the transom will stay white. The applicant affirmed.

**A motion was made by Peter Lynch, seconded by David Craycraft that Certificate of Appropriateness #CA-20-013 be approved with the condition that the Red, White and Black sign design be approved.**

**The motion carried by the following vote:**

**Yes: 6 – Dave Craycraft, Roger White, Rich Dobda, Peter Lynch, Dr. Scott Kelly & Whit Wardell**

**CA-20-014**

Property Owner: David & Melissa Gabriel  
Applicant: David & Melissa Gabriel  
Location: 40 North Trine Street  
Request: Corrugated Metal Roof

Mr. Moore presented the application for Melissa Gabriel for property located at 40 North Trine Street. The applicant is requesting approval for a new black corrugated metal roof for a small addition on the southwest corner of her home. Staff shared with the commission photographs of the current red asphalt shingle roof which is being requested to be replaced, noting that the current main roof is a tan corrugated metal.

Staff presented to the commission a sketch of the long-range vision of the home. The applicant wants to modify the front porch design and have the section of roof also be a black metal. To the rear of the home there is another old addition that has the same red asphalt shingle roof. That too will be replaced in the future with a black corrugated metal when that roof is redone to provide an overhang on the existing wood deck.

Mr. Craycraft asked staff if all of the roof sections going to the black metal is being proposed. Staff indicated that only the section in the southwest corner is being proposed this evening. The other roof sections will come at a later date for approval.

Mr. Lynch asked if the roof was a barn metal style vs a traditional standing seam. Staff affirmed and noted that the main roof is a corrugated metal.

Mr. Lynch asked the applicant about the timing of the future projects. The applicant indicated that they would like to do the front porch next year and the rear covered deck the year after.

Mr. White asked staff about approving all three areas of improvements this evening. Staff indicated that there are no details for the front or rear projects to approve them.

Mr. Lynch asked that in the minutes it be reflected that all future roof replacements be a black corrugated metal roof.

Mr. Craycraft commented that he likes the plans for the long term improvements.

Mr. Lynch commented that the applicant may want to evaluate the length of the roof for the rear covered deck because there may be limited height to do a run that long off the house.

**A motion was made by David Craycraft, seconded by Roger White that roof section A be approved as presented.**

**The motion carried by the following vote:**

**Yes: 6 – Dave Craycraft, Roger White, Rich Dobda, Peter Lynch, Dr. Scott Kelly & Whit Wardell**

**CA-20-015**

Property Owner: Steve & Cindy Kolecki

Applicant: Dave Fox Remodeling

Location: 153 Washington Street

Request: Building Addition

Mr. Moore presented the application for Dave Fox Remodeling for property located at 153 Washington Street. The applicant is requesting approval to construct an addition to the rear of the home for a single-story family room. Staff shared the plans with the commission and noted that the addition will match the rear of the home with a board and batten siding, matching windows, shingles and a Trex composite deck. Staff noted that a second story window on the rear of the home will be relocated with the new addition to account for the roof.

Mr. Craycraft commented that the new construction is going to mimic all of the existing materials.

The applicant indicated that all materials will match what is on the home now.

Mr. Lynch commented that this application is very straight forward.

**A motion was made by Roger White, seconded by Whit Wardell that**

**Certificate of Appropriateness #CA-20-015 be approved as presented.**

**The motion carried by the following vote:**

**Yes: 6** – Dave Craycraft, Roger White, Rich Dobda, Peter Lynch, Dr. Scott Kelly & Whit Wardell

**CA-20-016**

Property Owner: Mitch Dollery

Applicant: Mitch Dollery

Location: 28 East Columbus Street

Request: Replace rear steps with new deck and replace front porch columns and decking.

Mr. Moore presented the application for Mitch Dollery for property located at 28 East Columbus Street. The applicant is requesting approval for a new rear deck constructed on the home and to make some modifications to the front porch.

Staff presented photographs of the rear deck that is currently under construction at the rear of the home. This deck is replacing a set of wooden steps and flower boxes that were previously in this location. The new deck is approximately 7'x12' and features a 6" Trex composite board. The underside of the deck will have a vertical composite slats to screen the bottom. The railings are proposed to be a black aluminum rail by RDI and all posts on top are to be sleeved with a matching black aluminum material.

On the front of the home the wood pillars are to be replaced with new fiberglass columns to match. The wood decking is proposed to be replaced with a new tongue and groove composite deck board.

Mr. Craycraft asked staff what was previously on the rear porch. Staff presented the photograph and drawing provided by the applicant.

Mr. Lynch asked the applicant if they intend on adding a railing to the front porch. The applicant indicated that they do not.

Mr. White asked if this was a residential or commercial building. Staff indicated it is residential.

Mr. Lynch asked the applicant how they planned on mounting the Trex decking vertically in the rear. The applicant indicated that he planned on mounting a ledger board. All of the pine underneath will be screened from view.

Mr. Lynch asked if there would be access to get under the rear deck. The applicant indicated he was going to install an access panel on the side.

Mr. Craycraft asked the applicant about the front porch decking. The applicant indicated that he planned on a tongue and groove composite decking.

Mr. Craycraft asked if the front columns were going to be fiberglass. The applicant affirmed.

Dr. Kelly asked the applicant how tall the rear railing was going to be. The applicant indicated 36 inches.

Mr. Lynch asked if the front porch decking was going to be a 1"x3" size and not 6". The applicant indicated that currently it is 6". However, if they want 3" he could do that. The commission confirmed that 3" is more traditional and preferred.

**A motion was made by David Craycraft, seconded by Dr. Kelly that Certificate of Appropriateness #CA-20-016 be approved with the condition that the front deck boards are a 3" wide tongue and groove style.**

**The motion carried by the following vote:**

**Yes: 6** – Dave Craycraft, Roger White, Rich Dobda, Peter Lynch, Dr. Scott Kelly & Whit Wardell

**CA-20-017**

Property Owner: Billie Patrick

Applicant: Billie Patrick

Location: 49 Franklin Street

Request: New 6' Privacy Fence and Fabric Awnings

Mr. Moore presented the application for Billie Patrick for property located at 49 Franklin Street. The applicant is requesting approval to install a 6' privacy fence around her side patio and new Sunbrella fabric awnings on the home.

Staff shared with the commission the area being requested for the wood fence screen. The fence is proposed to be a cedar material at 6 foot in height. There will be a door on the north side of the fence towards the driveway. This fence is proposed to provide screening from the street and neighboring properties.

The applicant is also requesting to install 5 awnings on the home. Two on the front of the house and three on the side. The fabric is called 'Eastridge Cocoa' and a sample is shared with the commission.

Mr. Craycraft asked staff about the location of the fencing being even with the front wall plane of the home. Staff indicated that typically, the fence is held

back off the face of the house but in this case the fence is being used for a patio screening and not for the entire property limits. Craycraft noted that he is just concerned that the scale of a 6 foot fence in that location may look odd.

Mr. Lynch asked what the setback the house is from the street. Staff replied that it is around 15-18 feet.

Mr. Lynch asked the applicant if the fence was going to be constructed just like the photograph provided in the application. The applicant affirmed.

Dr. Kelly asked if the fence was going to remain natural. Staff affirmed that it will be a natural cedar.

Mr. Craycraft commented that the fence design picked out does put a sense of scale to the fence that will help fit the location.

Mrs. Patrick indicated that she desperately needs a privacy fence to screen the patio area.

Mr. Dobda asked the applicant if the shutters were going to stay on the home with the new awnings. Mrs. Patrick indicated that the plan was to either paint them or remove them, she is not sure.

Mr. White commented that the shutters should be removed with the new awning install. Mrs. Patrick said she will take the shutters off.

Mr. Craycraft suggested taking a look at one of the shutters off the building to make sure that the entire building doesn't need to be painted.

**A motion was made by Peter Lynch, seconded by David Craycraft that Certificate of Appropriateness #CA-20-017 be approved with the recommendation that the shutters be removed with the new awnings.**

**The motion carried by the following vote:**

**Yes: 6** – Dave Craycraft, Roger White, Rich Dobda, Peter Lynch, Dr. Scott Kelly & Whit Wardell

**CA-20-018**

Property Owner: 5W Properties LLC  
Applicant: Barrel & Boar  
Location: 10 South High Street  
Request: Front Patio Alterations

Mr. Moore presented the application for Barrel & Boar for property located at 10 South High Street. The applicant is requesting approval to alter the front

patio. Staff presented the information from the application noting that the applicant wants to install new overhead string lights over the patio area. The lights will attach to the building and zig zag across patio to new metal polls. The applicant is also requesting to increase the size of the patio to the north by removing the far north railing and adding a few more tables. This expansion will be screened from the street by adding a decorative planter between them and Chase Bank. The final portion of the request is to install five 50 inch LED televisions. The applicant has noted in an email to staff that they plan on turning off the TV's at 10pm unless a major community or sporting event lasts later into the evening.

Mr. Dobda asked if the main entry into the space will remain the same. Staff affirmed.

Mr. Craycraft noted that the travel of egress can not be impacted with the patio expansion. The applicant affirmed that the goal was to gain a few more tables and lighting over the space to extend the evening hours.

Mr. Smith noted that this proposal is an attempt to change with the current food market and COVID-19. People are not eating inside as often and with college football coming back and people not attending the games in person there needs to be a place for them to go.

Mr. White asked if there is lighting on the patio now. The applicant indicated that there is no current lighting.

Mr. Craycraft asked if this is only perimeter lighting. The applicant indicated that it will zig zag across the patio area.

Mr. White asked if the mounting pole for the lighting will be held in the ground only. The applicant indicated that it will stick in the ground and fastened to the poll.

Mr. White asked if the new lights are seasonal or year round. The applicant indicated that they are going to be up year round.

Mr. Lynch asked if the new posts for the lights will match the existing color. The applicant affirmed they will match as close as possible.

Mr. Craycraft commented that he likes the idea of extending the patio and the overhead lighting. However, the TV's seem to be the problem. The TV's on the patio could ruin the aesthetic of the downtown environment. Mr. White affirmed. Mr. Smith noted that the TV's are not overly large and the overhang of the existing building is 3-4 feet. The TV's are there to attract customers and to

entertain them and show them the football game. If the number of TV's is the issue they can do three TV's.

Mr. White commented that his concern is setting the precedent in Canal Winchester that everyone has the right for an outdoor TV. If we allow it at this establishment, the commission is going to be flooded with the same request.

Mr. Craycraft agreed and noted that the TV would lose the intimacy the patio currently has. Mr. Smith commented that at their other locations they have TV's on the patios and there has never been a time where people stop and watch tv from the sidewalk.

Mr. Lynch asked how they plan on handling the sound from the TV's. Mr. Smith stated that the TV's would be muted unless it was a major sporting event.

Stan Smith commented that they are not trying to brand themselves as a sports bar. That is not the goal with the TV's on the patio. It is simply a way to try and keep themselves from being checked off a list of a place not to go. Mr. Smith also noted that in the next month or so they are going to come back to the commission with a proposal for a rear patio behind the building.

Mr. Dobda asked the applicant if there is the opportunity to have the TV's on an AV cart or some contraption to bring them outside only during a game. Mr. Smith discussed his concerns with wires and everything associated with that.

Mr. White asked if all of the other locations are in a historic area. Mr. Smith indicated that all of them are. Mr. Smith stated if the commission wants to have the TV's approved as a temporary item then they will go that route.

Mr. Lynch commented that having the TV's as a temporary fix is easier said than done. Once one person gets them everyone will request for one. A good example is there never used to be outdoor patios and once harvest moon got one, they are now everywhere.

Mr. White commented that he is in favor of the lighting. Mr. Lynch affirmed that the lighting and the patio is fine.

Mr. Lynch asked with the patio expansion will they be able to have drinks in the expanded area since there is no fence. Staff indicated that it does not have to strictly be a fence, just a barrier.

Craycraft noted that he thinks the planter needs to blend in and look like it belongs there if it is going to stay. The applicant affirmed.

Staff commented that there is a parcel that appears to be between Chase Bank and Barrel and Boar so it might be good to see who that belongs to if the patio is being expanded in that area. The applicant affirmed.

Mr. Smith commented that the main request this evening is for the overhead lighting.

Mr. Dobda asked if the TV's could be inside an enclosure unless they are turned on. Mr. Smith noted that he would be willing to do that but the conversation this evening is leaning towards no TV's at all.

The applicant asked if the TV size was reduced would that help with the request.

Staff asked the applicant if the TV's would be visible with the patio umbrellas out. The rendering supplied with the application have them folded closed but they may not be visible once they are extended. Mr. Smith commented he is not concerned with blocking the view.

Mr. Haire asked the commission if it would make a difference if they had TV's only on a rear patio. Mr. Lynch commented that the concern is not everyone has a rear patio and they will use that as their excuse on why they should be permitted one on the front or side patio.

Mr. Craycraft commented that be careful with the patio design to the rear. On the west side of the building it will face the setting sun and make the patio hotter and brighter. The applicant noted that they will take that into consideration.

**A motion was made by David Craycraft, seconded by Peter Lynch to approve the patio expansion with planters and patio lighting only, as presented.**

**The motion carried by the following vote:**

**Yes: 6** – Dave Craycraft, Roger White, Rich Dobda, Peter Lynch, Dr. Scott Kelly & Whit Wardell

**CA-20-019**

Property Owner: City of Canal Winchester  
Applicant: City of Canal Winchester  
Location: 22 South Trine Street  
Request: Demolish Community Center

Mr. Moore presented the application for the demolition of 22 South Trine Street on behalf of the city. The building is proposed to be demolished with the parking improvement plans for the new CW Municipal building and Community

Center located at 45 East Waterloo Street. Staff shared photographs of the existing building with the commission.

*\*NOTE\* The vote for CA-20-019 did not occur until after the discussion for the following application CA-20-020.*

**A motion was made by David Craycraft, seconded by Peter Lynch that Certificate of Appropriateness #CA-20-019 be approved as presented.**

**The motion carried by the following vote:**

**Yes: 6** – Dave Craycraft, Roger White, Rich Dobda, Peter Lynch, Dr. Scott Kelly & Whit Wardell

**CA-20-020**

Property Owner: City of Canal Winchester  
Applicant: City of Canal Winchester  
Location: 45 East Waterloo Street  
Request: Exterior Alterations for new Municipal Building and Community Center

Mr. Moore presented the application for the new Municipal Building and Community Center at 45 East Waterloo Street. The request is for exterior building alterations to the building for the new Municipal Building and Community Center complex.

Staff presented the site plan to the commission noting the parking improvements where the existing community center is located. Staff pointed out the proposed HVAC screening areas and future dumpster pad location.

The internal floorplan for the building was shared with the commission. Staff noted that the floorplan was included in the packet to help show why some window styles are different in various location on the building.

Staff went over the changes that will happen to the Waterloo Side of the building. The front entry of the building is proposed to have the most significant changes with a glass vestibule recessed under the front canopy. The columns are proposed to be built out in matching brick and feature concrete steps that lead to the public sidewalk. The previous side entry is going to be removed and replaced with windows to match.

Staff noted that both east and west ends of the front façade will have the secondary entryways opened up with additional glass and metal awnings. The east entry will be unused but the west entry will be one of the main entry points for the new community center.

On trine street the false windows on the end of the building are proposed to be opened up to match the north side of the building. On the far west end of the building, the large garage door will be removed and a smaller man door and transom windows will be added for light into the space.

Looking at the rear of the building a new parking lot entry will replace the south garage door. This new vestibule will be a simplified version of the main front entry point on Waterloo Street. New windows will be added across the rear to mimic the style on the front for the new office areas. The City Council room will only have the taller transom windows for added light.

Staff discussed that there are two areas that are identified for HVAC screening yards. Both yards will feature brick columns spanned by metal screening walls that will match the trim color of the building.

Staff shared product spec sheets for the metal awnings and HVAC screening to the commission.

Mr. Craycraft asked if the parking is going to become public parking. Staff affirmed.

Mr. Craycraft asked about identification for the building and how to get to different uses. Staff indicated that the municipal building and library will be accessed from the central corridor of the building. The community center will have signage and its own dedicated entry points on the west end of the building. There are also plans for two speculative monument signs along East Waterloo Street.

Dr. Kelly asked where there are several panels on the East Waterloo elevation that are filled in windows. Staff indicated that those infill windows hide restrooms and internal mechanical equipment. Landscaping will be added to screen those areas.

Mr. Lynch asked if the copper roof sections are being removed. Staff indicated they are going to remain at this time.

Mr. Craycraft asked if the demo of the community center will be the last thing to happen. The project coordinator indicated that is the plan.

Mr. White asked how long they anticipate for the building to be complete. Mr. Sims indicated they are planning for six months of construction.

Mr. Hair indicated that council has only approved the design phase at this time. They still have to approve the construction phase.

Mr. White asked what will happen with the existing municipal building. Mr. Haire indicated that the plan is for the Sheriff's substation to move into that building.

Mr. White asked about the existing Town Hall. Mr. Haire indicated there are no current plans but it will likely be some office of some kind with an entity related to the city.

**A motion was made by David Craycraft, seconded by Rich Dobda that Certificate of Appropriateness #CA-20-020 be approved as presented.**

**The motion carried by the following vote:**

**Yes: 6 – Dave Craycraft, Roger White, Rich Dobda, Peter Lynch, Dr. Scott Kelly & Whit Wardell**

Old Business

New Business

Adjournment

*Time Out: 8:38pm*

**A motion was made by Peter Lynch and seconded by Dr. Scott Kelly, that this meeting be adjourned.**

**The motion carried by the following vote:**

**Yes: 6 – Dave Craycraft, Roger White, Rich Dobda, Peter Lynch, Dr. Scott Kelly & Whit Wardell**

\_\_\_\_\_  
Date

\_\_\_\_\_  
Landmarks Chairman

**Certificate of Appropriateness #CA-20-021  
116 East Columbus Street**

Owner: John & Marshell Crabtree  
Applicant: John & Marshell Crabtree  
Location: 116 East Columbus Street  
Existing Zoning: OT-SF (Old Town Single Family)  
Request: New 6' Decorative Wood Privacy Fence.

History

This house was constructed in 1908 and has been on the National Register since 1988.

Previously Approved by Landmarks Commission:

- April 2008, the Landmarks Commission approved replacing the slate roof with a new copper metal roof.

Landmarks Commission Request for Approval:

The applicant is seeking approval to install a new 6 foot wood privacy fence on a portion of the eastern property line.

Old Town Guidelines

**Walls and Fences**

- Any fences in front yards must be wood picket fences or wrought iron that does not exceed 42" in height. Hedges may also be used in conjunction with or in place of fences.
- Privacy fences along the side and rear yards are subject to requirements of the local zoning code. The exposed structure (posts and cross members) should be oriented inward and not visible from the street. Very simple treatment of the top of the fence is most appropriate in Old Town.
- Avoid non-traditional wall and fence materials throughout the Old Town such as chain link, vinyl, and concrete block.

Zoning Code

**1181.07 Fences and Hedges**

- (f) Location in Front Setbacks. Fences and hedges in front set backs and/or side set backs abutting streets and alleys in any district shall not exceed three (3) feet in height and shall not obstruct the view of pedestrians or vehicular traffic or be detrimental to the public safety.
- (h) Height Restriction in Rear and Side Yards. Fences in rear set backs and side setbacks not abutting streets and alleys shall not exceed six (6) feet in height in residential districts or twelve (12) feet in height commercial or industrial districts.
- (i) Permit Required. No fence shall hereafter be erected, constructed, altered, relocated or rebuilt until an application has been filed with and a permit issued by the Planning and Zoning Administrator.



# City of Canal Winchester

36 South High Street  
Canal Winchester, Ohio 43110  
Development Department  
Phone (614) 837-7501 Fax (614) 837-0145

## CERTIFICATE OF APPROPRIATENESS APPLICATION

rev. 09/24/2013

### PROPERTY OWNER

Name John and Marshall Crabtree

Address 116 E Columbus St Canal

Daytime Phone 614 551-3972 Email JC381171@gmail.com

### APPLICANT

Name John and Marshall Crabtree

Address 116 E Columbus St Canal

Daytime Phone 614 551-3972 Email JC381171@gmail.com

Address of Subject Property 116 E Columbus St Canal Winchester

Description of Proposed Changes/Modifications privacy Fence

East side property line 72 ft from<sup>PH</sup> back of property

Your Application Must Include the Following, as Applicable:

- |                 |  |                  |
|-----------------|--|------------------|
| Scaled drawings | Sketches   | Material Samples |
| Floor plans     | Contractor's plans                                     | Paint chips      |
| Roofing samples | Photographs (as necessary to illustrate proposed work) |                  |

I certify that the information provided with this application is correct and accurate to the best of my ability.

[Signature]  
Property Owner's or Authorize Agent's Signature

10 Aug 2020  
Date

DO NOT WRITE BELOW THIS LINE

Date Received: 8/10/20

Date of Action:    /   /   

Expiration Date:    /   /   

Tracking Number: CA - 20-021

Historic District:  Yes  No

Preservation District:  Yes  No

Application  No

Approved:  Yes

Yes, with conditions

# Myers Surveying Company, Inc.

2740 East Main Street, Columbus 43209 (Bexley), Ohio  
 614-235-8677 FAX:614-235-4559

A Mortgage Location Survey prepared for and certified to:

**Chicago Title Insurance Company and/or Navy Federal Credit Union**

**Legal Description:** Situated in The State of Ohio, County of Franklin, Vol. of Canal Winchester Being Part of Lots 23 & 34 Reuben Deves Addition, Plat Book 3, Page 143

**Applicant:** Crapree 24100871gr

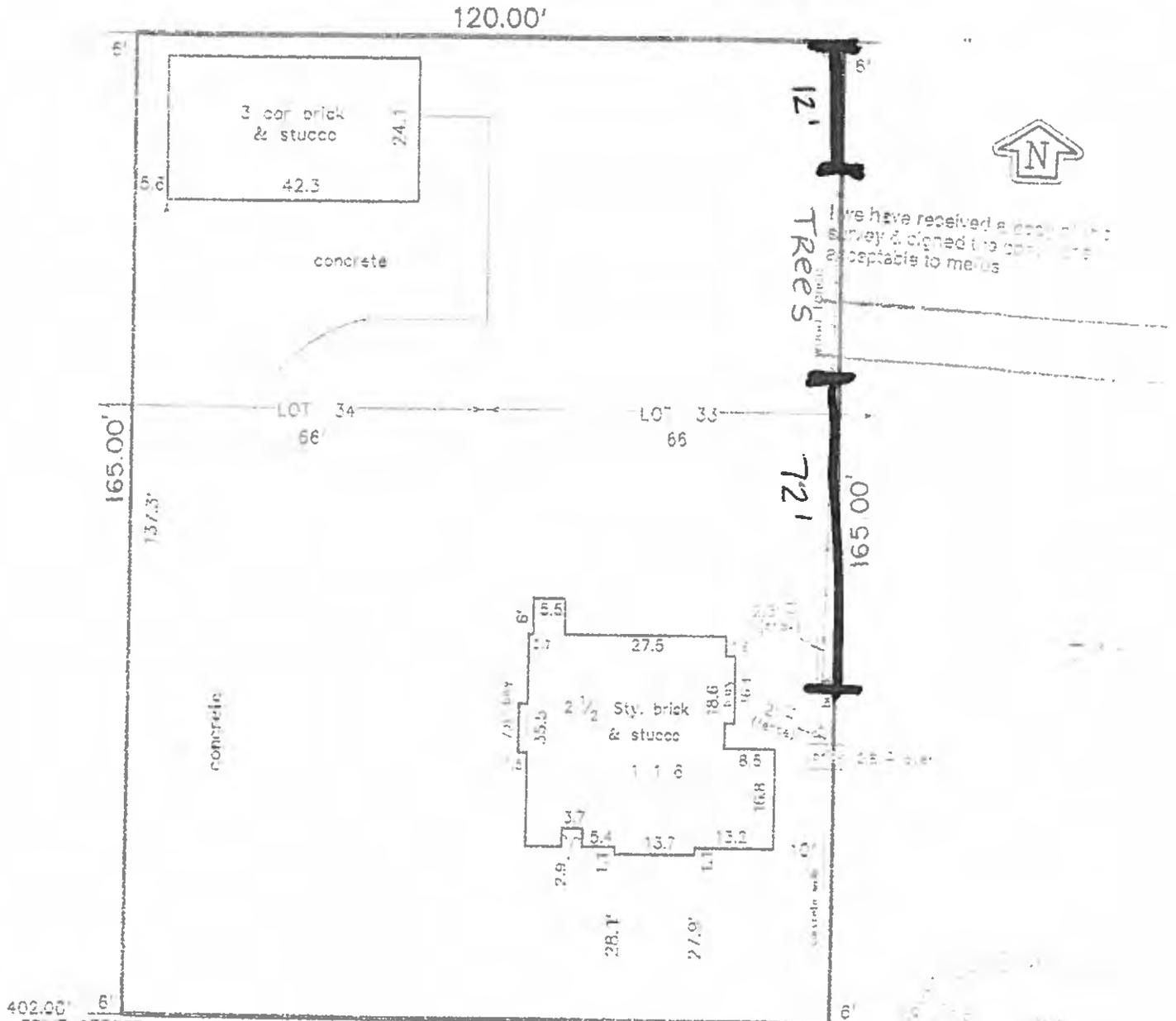
**Posted Address:** 1.6 E. Columbus St., Canal Winchester, Ohio

**F.L.M.A. Flood Zone Designation:** Flood Zone "X" & "AE" as per F.I.R.M. 390169 0355H Subject House Zone "AE"

**Apparent Encroachments:** 1) Fences not in conformance with legal description 2) Concrete Over Property Line 3) Brick Walkway Property Line



Scale 1" = 25'  
 Date: 09-08-2006



We have received a copy of this survey & signed the copy as acceptable to me/us

From: Marshall C. [REDACTED]@gmail.com

Date: August 10, 2020 at 9:56 AM

To: [REDACTED]



6'

From: John Crabtree <jc381171@gmail.com>  
 Subject: Fwd: Proposal/Contract from Bowden Fence Co., LLC  
 Date: August 10, 2020 at 9:57 AM  
 To: [REDACTED]

Begin forwarded message:

From: "Bowden Fence Co., LC" <dcbf10@aol.com>  
 Subject: Proposal/Contract from Bowden Fence Co., LLC  
 Date: August 10, 2020 at 9:56:20 AM EDT  
 To: "jc381171@gmail.com" <jc381171@gmail.com>  
 Reply-To: "Bowden Fence Co., LC" <dcbf10@aol.com>

Please see the attached.

Deborah A. Caudill

**Bowden Fence Co., LLC**  
 1560 Harmon Avenue  
 Columbus, Ohio 43223  
 614-449-8923 Fax  
 614-272-8923 Office  
 Email: [dcbf10@aol.com](mailto:dcbf10@aol.com)

### PROPOSAL / CONTRACT



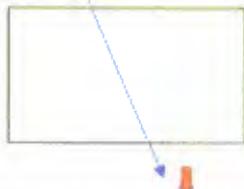
RESIDENTIAL COMMERCIAL REPAIRS  
 WOOD PVC ORNAMENTAL CHAIN LINK

614-272-8923 or 614-431-0833

FAX: 614-449-8923

SUBMITTED TO John Crabtree		CONTACT NAME: John Crabtree	DATE OF PLAN: August 4, 2020
ADDRESS: 116 East Columbus St		PHONE NUMBER: 614-551-3972	E MAIL: <a href="mailto:jc381171@gmail.com">jc381171@gmail.com</a>
CITY, STATE AND ZIP CODE: Canal Winchester OH 43110		JOB LOCATION: 3 gates and 72 of section	
SALESPERSON: DAVID EHRET/614-272-8923	PO NUMBER:	OHIO UTILITIES PROTECTION SERVICE VERIFICATION #:	

Replace latch with wood maxi latch



Customer to have shrubs and tree's cleared out

60'

12'

supply and install **72' of 6 tall** privacy wood fence western red cedar -dog ear -with **3** ft **h** backer rails  
**4 x4 treated post set in concrete -replace 3 latches on single gates with maxi latches installed price**  
**\$ 3,975.00-----OPTION same area 72' only make the fence a box frame with 1' of lattice -WRC-**  
**6x6 treated post and replace (3) latches -installed price \$7,750.00**

**BOWDEN FENCE IS NOT RESPONSIBLE FOR REMOVAL OF DIRT FROM HOLES THAT ARE DUG**

**ALLOW -10 WEEKS FOR INSTALLATION FROM DATE OF SIGNED PROPOSAL - WEATHER PERMITTING**

Bowden Fence Co., LLC agrees to guarantee above fence to be free from defects in materials and workmanship for one year. Bowden Fence Co., LLC shall advise the customer as to local zoning regulations and obtaining any required permits shall rest with the customer. Bowden Fence Co., LLC will assist the customer, upon request in determining where the fence is to be erected, but under no circumstances does Bowden Fence Co., LLC assume responsibility concerning property lines or in any way guarantee their accuracy. If property pins cannot be located, it is recommended that the customer have the property surveyed. Bowden Fence Co., LLC will assume the responsibility for having underground public utilities located and marked. Bowden Fence Co., LLC assumes no responsibility for unmarked sprinkler lines or any other unmarked buried lines or objects. The customer will assume all liability for any damage caused by directing Bowden Fence Co., LLC to dig in the immediate vicinity of known utilities. The final bill will be based on the actual footage of fencing built and work performed. Partial billings for materials delivered to the job site and work completed may be sent at weekly intervals. Adjustments for materials used on this job and adjustments for labor will be charged or credited at the currently established rates. Additional charges for any work not covered in this contract that was requested by the customer will also be added. The full amount of this contract along with any additional charges will be due payable upon completion of all work whether or not it has been invoiced.

A finance charge of (2% per month or a minimum of \$1.00) which is an annual percentage rate of 24% shall be applied to accounts that are not paid within 10 days after completion of any work involved. All materials will remain the property of Bowden Fence Co., LLC until all invoices pertaining to this job are paid in full. Right of access and removal is granted to Bowden Fence Co., LLC in the event of non-payment under the terms of this contract. The customer agrees to pay all interest and any costs incurred in the collection of this debt.

Estimate Good For 15 Days

**Approved & Accepted for Customer**

Contract Amount, (Fill in)

Print Name X \_\_\_\_\_

Down Payment \$200.00 (Non-Refundable)

Sign Name: X \_\_\_\_\_ DATE \_\_\_\_\_

Balance Due (Fill in)

Payment as Follows:  On Completion Within 10 Days

**Accepted for Bowden Fence Co., LLC**

Within 30 Days  Within 60 Days  # of Payments /

Salesperson: DAVID EHRBT Date \_\_\_\_\_

**\*\*\*PLEASE SIGN, DATE & RETURN WITH DOWN PAYMENT (IF INDICATED) OR PROVIDE PO# THEN RETURN TO ACCEPT. THANK YOU!**

**Certificate of Appropriateness #CA-20-022  
71 East Mound Street**

Owner: Joanne & Richard 71 LLC  
Applicant: David Craycraft & Mike Gust  
Location: 71 East Mound Street  
Existing Zoning: OT-SF (Old Town Single Family)  
Request: 8'x14' addition on southeast side of the home.

History

This residential home was constructed around 1900.

Previously Approved by Landmarks Commission:

Landmarks Commission Request for Approval:

The applicant is seeking approval to construct an 8'x14' addition to the south east of the home. The addition will feature a small window facing Trine Street to the east and a matching window facing the south. With the proposed addition the rooflines facing Trine Street will change significantly, matching the pitch of the main portion of the home. The home currently has a vinyl siding on the exterior. The plans note that the vinyl siding will be removed to expose the original wood siding.

Old Town Guidelines

**Additions**

- Locate the addition at the rear of the building or on a side of the building with low visibility from the street. If the addition is on the side of the original structure, locate the addition as far to the rear as possible.
- Allow the original structure to remain as the primary feature on the lot, and the addition to be subsidiary to it by keeping the addition's height and roof line lower than the main structure.
- Keep the design of the addition consistent with the form and architectural style of the main building. Choose a simplified design that has some of the same characteristics of the original, such as the pitch and materials of the roof, the dimensions of siding and trim boards, and the size and style of windows. Avoid dressing up the addition with too much decoration; it should not try to compete with the original building style.
- For some fairly large additions, it will be important to provide a visual break or transition piece between the original building and the new addition. This can be accomplished by setting the addition back from the wall line of the original building or by creating a recessed area at the point where the addition and the original building meet. This helps to make the addition appear as separate from the main building.

- Use materials that are compatible with the original building. Frame buildings should have frame-constructed additions. Frame construction is also recommended as the first choice for additions to masonry buildings. In some cases, brick may be an acceptable material for an addition to a brick building. Finding brick that matches or complements the original structure is often difficult. Stucco is usually appropriate for a stucco building. In areas of Old Town that are outside of the Historic District, artificial materials may be used if they match or complement other original artificial building materials. Artificial aluminum or vinyl siding is not recommended for use on building additions in the historic district.
- Avoid adding pre-manufactured glassed-in greenhouses or sunrooms to original buildings. If such an addition is proposed for a residential building, it should be limited in size, restricted to the rear of the building only, and given the appearance of an enclosed rear porch that is trimmed in painted wood.

### **Wood Siding and Trim**

Wood is the most common building material in Canal Winchester. The majority of frame buildings in the city are covered with horizontal beveled or lap wood siding, or clapboard. Wood shingles are used as a historic siding material in some cases, and are often found as decorative elements in gables. Some outbuildings have vertical board and batten siding. Wood is also important as a trim material, particularly as plain or decorative surroundings for windows and doors.

Wood is a high quality material that can last indefinitely if it is maintained. It must be kept painted to protect it from the effects of too much moisture. Unfortunately, it is the need to maintain and repaint that motivates some people to cover their building in artificial siding, believing that the imitation material will be maintenance free. Despite manufacturers' claims, no material is entirely maintenance free.

#### *Guidelines for Exterior Change*

- Wood siding is preferred. The following alternatives are also acceptable in the Preservation District: a wood based composite material, such as hardi Plank, fiber cement siding and organic based material. The application of other artificial siding, including vinyl siding, to existing buildings is strongly discouraged in the Preservation District, although it may be approved in rare cases. The Property Owner will need to provide documentation (see below) that will justify the request to use artificial siding. Please note, the use of artificial siding will be considered only after all other courses of action have been explored and documented as unworkable.

### **Windows**

#### *Guidelines for Exterior Change*

- Retain original window sizes and locations, particularly on the main façade and visible side elevations. Avoid changing the structural dimensions of an opening by making it larger or smaller than it was historically.
- If window units are being replaced, make sure that the new window fits the existing opening exactly. In particular, do not order windows that are too small for the opening and then try to make them "fit" by filling the gaps with other materials.
- The addition of picture windows, bay windows or other types of structural modifications to window openings should not be made to a buildings primary facades (including sides that are visible from the street). Limit such changes to the rear of the building.

## **Roofs, Gutters and Downspouts**

The most common roofing material in Canal Winchester is asphalt or composition shingles, as many older roofs have been replaced with these materials over time. Several buildings, however, retain their original slate or standing seam metal roofs from the late 19<sup>th</sup> or early 20<sup>th</sup> centuries. To the extent possible, these materials should be preserved.

### *Guidelines for Maintenance and Repair*

#### *Roofs*

- Keep roofs in good condition, making repairs as needed. Holes and breaks in metal roofs can be patched with a compatible metal; individual slates or clay tiles can be replaced to match.
- Patch holes or breaks in metal roofs with a compatible metal. Keep metal roofs painted to prevent rust. Avoid covering the roof with a tar or asphalt coating, as this can eventually cause further deterioration of the metal.
- If individual slates or roof tiles are broken or missing, replace them with matching pieces. Make sure that the repaired area matches the existing as closely as possible, as mismatched materials look unattractive.
- When re-roofing, avoid installing the new covering directly over an existing roof material unless it is required for structural reasons. Multiple layers of roofing can result in an uneven appearance and make future leaks difficult to detect.
- Keep roof flashing at ridges, valleys and chimneys in good condition.

### *Guidelines for Exterior Change*

- If an entire roof must be replaced, use materials that are either original to the building or compatible with its architectural character:
  - Use new standing-seam metal to replace an existing metal roof that cannot be repaired. Standing seam is a product that is still widely available.
  - Use new slate to replace original slate wherever possible. If slate is not easily obtained or matched, consider using appropriate asphalt shingles that are made to resemble the appearance of slate. Use a shingle that is rectangular in design, rather than the “fishscale” look.
  - Use new composition or asphalt shingles to replace an existing composition or asphalt shingle roof. New asphalt shingles that are “dimensional” in appearance may be appropriate, but choose a plain design that does not give a patchwork effect.
- Use historically appropriate roof colors. Standing seam roofs were often painted green, red, or silver. Slate is typically gray, with some examples containing elements of blue or green. Clay tile can be found in either red or green.



# City of Canal Winchester

36 South High Street  
Canal Winchester, Ohio 43110  
Development Department  
Phone (614) 837-7501 Fax (614) 837-0145

## CERTIFICATE OF APPROPRIATENESS APPLICATION

rev. 09/24/2013

### PROPERTY OWNER

Name JOANNE & RICHARD 71 LLC

Address 71 E MOUND ST.

Daytime Phone \_\_\_\_\_ Email \_\_\_\_\_

### APPLICANT

Name MIKE GUST by: Dave Craupcraft

Address 71 E MOUND ST.

Daytime Phone 614-282-6247 Email gotbucks627@gmail.com

Address of Subject Property 71 E MOUND ST.

Description of Proposed Changes/Modifications construct 8'x14' addition,  
CHANGE ROOF PROFILE, REMOVE VINYL SIDING.

### Your Application Must Include the Following, as Applicable:

- |                 |  |                  |
|-----------------|--|------------------|
| Scaled drawings | Sketches   | Material Samples |
| Floor plans     | Contractor's plans                                     | Paint chips      |
| Roofing samples | Photographs (as necessary to illustrate proposed work) |                  |

I certify that the information provided with this application is correct and accurate to the best of my ability.

David Craupcraft  
Property Owner's or Authorize Agent's Signature

8/12/2020  
Date

DO NOT WRITE BELOW THIS LINE

Date Received: 8/12/20

Date of Action: \_\_\_/\_\_\_/\_\_\_

Expiration Date: \_\_\_/\_\_\_/\_\_\_

Tracking Number: CA - 20-022

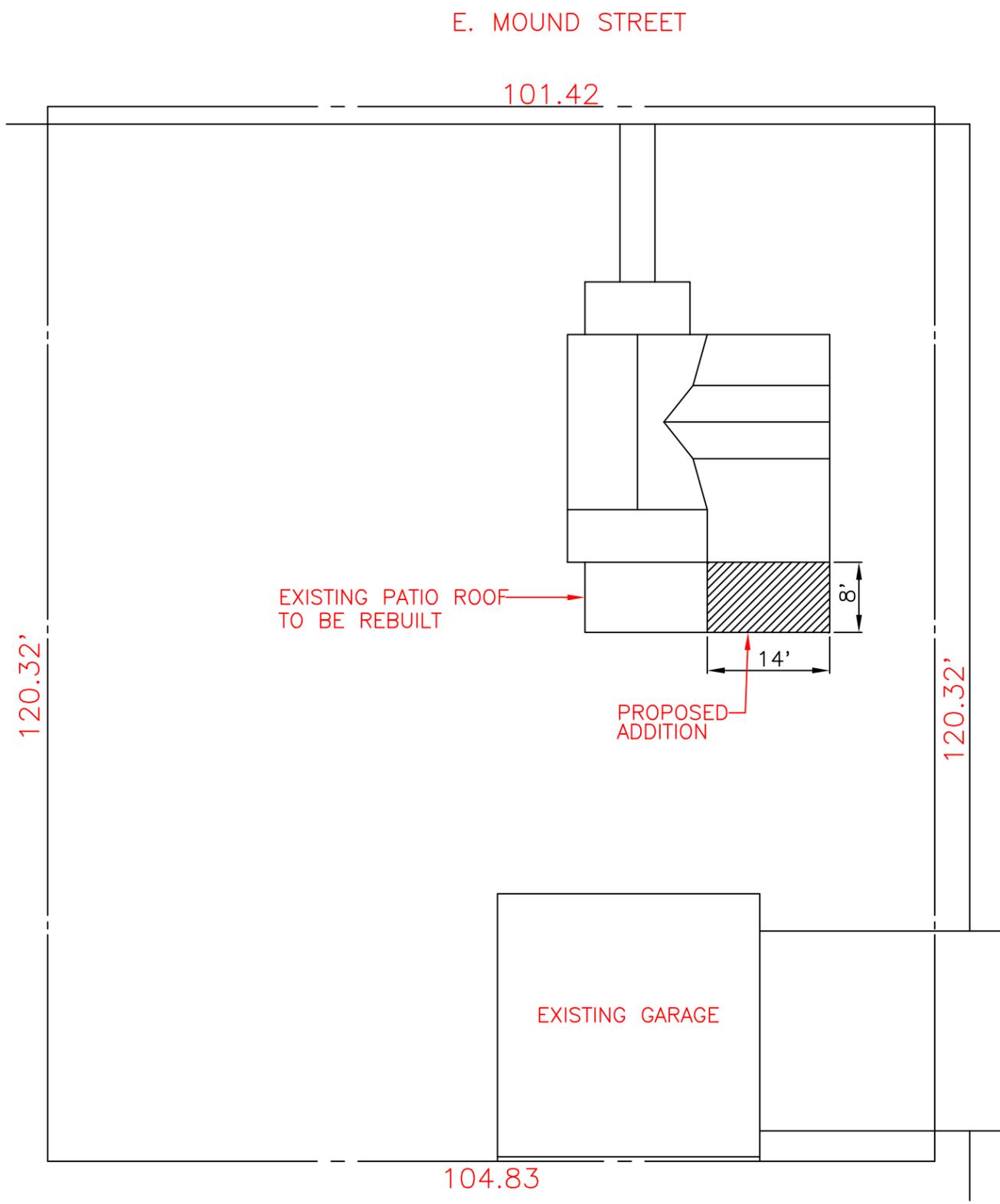
Historic District: \_\_\_ Yes  No

Preservation District:  Yes \_\_\_ No

Application \_\_\_ No

Approved: \_\_\_ Yes

\_\_\_ Yes, with conditions



**SITE PLAN**  
 SCALE: 1/16"=1'-0"  
 NORTH

DRAWING INDEX	
SHT. No.	DESCRIPTION
1	SITE PLAN
2	FLOOR PLAN, FOUNDATION PLAN
3	ELEVATIONS
4	ELEVATIONS

**CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

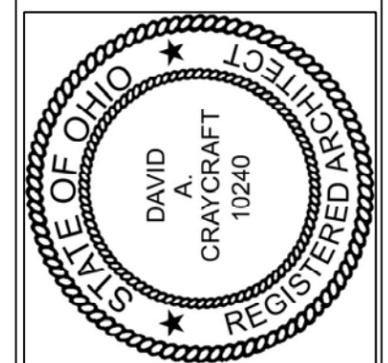
GROUND SNOW LOAD: 25 PSF  
 WIND SPEED: 115 MPH  
 SEISMIC DESIGN CATEGORY: A  
 WEATHERING: SEVERE  
 FROST LINE DEPTH: 32"  
 SOIL BEARING CAPACITY: UNKNOWN

- SCOPE OF WORK**
1. PHASE ONE – CONSTRUCT 8'x14' WOOD FRAMED ADDITION WITH BASEMENT.
  2. PHASE TWO – THE EXISTING ROOF LINES ON THE TRINE ST. ELEVATION WILL BE MODIFIED. THE END WALLS WILL BE EXTENDED W/2"x4" WOOD FRAMING AND THE NEW ROOF WILL BE CONVENTIONALLY FRAMED. INTERIOR CEILINGS ARE TO REMAIN "AS IS" EXCEPT FOR THE CEILING IN THE SE CORNER OF THE HOUSE.
  3. PHASE THREE – THE EXISTING VINYL SIDING WILL BE REMOVED TO EXPOSE THE HORIZONTAL WOOD SIDING UNDERNEATH. NEW WOOD SIDING WILL BE MILLED TO MATCH EXISTING PROFILE.

DAVE CRAYCRAFT, ARCHITECT, LLC  
 GOBUCKS627@GMAIL.COM  
 Cell (614) 282-6247

USE OF THESE DRAWINGS IS LIMITED TO THE PROJECT NOTED. THESE DRAWINGS ARE NOT TO BE SUBMITTED FOR PERMIT WITHOUT THE ARCHITECT'S SEAL. THIS DRAWING AND THIS DESIGN ARE THE PROPERTY OF DAVE CRAYCRAFT, ARCHITECT, LLC. AND CANNOT BE ALTERED OR REPRODUCED. AND CANNOT BE ALTERED OR REPRODUCED.

REVISIONS	DATE



**NEW ADDITION FOR GUST RESIDENCE**

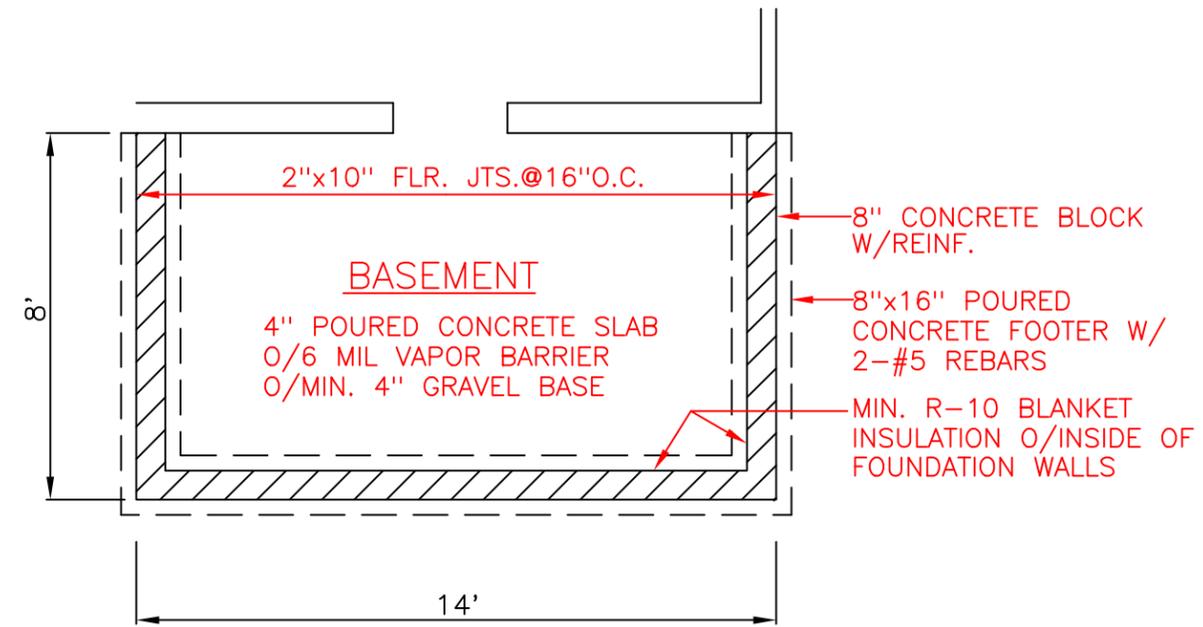
71 E. MOUND STREET  
 CANAL WINCHESTER, OH  
 FRANKLIN COUNTY 43110

**SITE PLAN**

SCALE AS SHOWN  
 DATE 8/11/2020  
 DRAWN BY dac  
 SHEET NO. 1 of 4

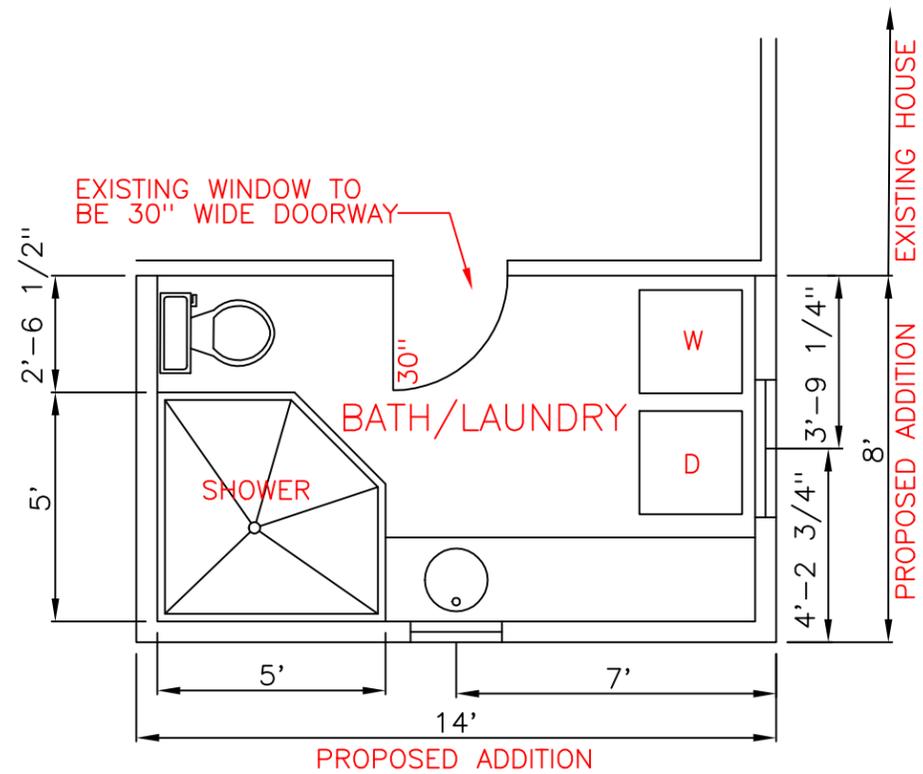
GENERAL NOTES

1. EXTERIOR WALLS OF LAUNDRY ARE 2"x6" @16"o.c. W/DOUBLE TOP PLATES. MINIMUM INSULATION IN WALLS IS R-19.
2. INTERIOR WALLS ARE 2"x4"@16"O.C. WITH 1/2" GYPSUM BOARD. BEARING WALLS TO HAVE DOUBLE TOP PLATE. WOOD STUDS TO BE SPF, MINIMUM #3, STANDARD OR STUD GRADE. STUDS SHALL BE CONTINUOUS FROM BOTTOM PLATE TO TOP PLATE.
3. ATTIC SPACES TO HAVE MIN. R-38 INSULATION.
4. FLOOR JOISTS ARE MINIMUM #2 GRADE OR BETTER.



FOUNDATION/FRAMING PLAN

SCALE: 1/4"=1'-0"



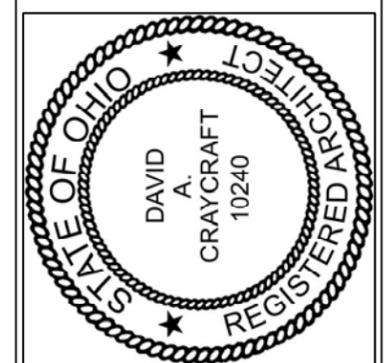
PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"

DAVE CRAYCRAFT, ARCHITECT, LLC  
 GOBUCKS627@GMAIL.COM  
 Cell (614) 282-6247

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REVISIONS	DATE



NEW ADDITION FOR GUST RESIDENCE

71 E. MOUND STREET  
 CANAL WINCHESTER, OH  
 FRANKLIN COUNTY 43110

FLOOR PLAN  
 FOUNDATION/FRAMING PLAN

SCALE 1/4"=1'-0"  
 DATE 8/11/2020  
 DRAWN BY dac

SHEET NO. 2 of 4



PROPOSED REAR ELEV.  
SCALE: 1/8"=1'-0"

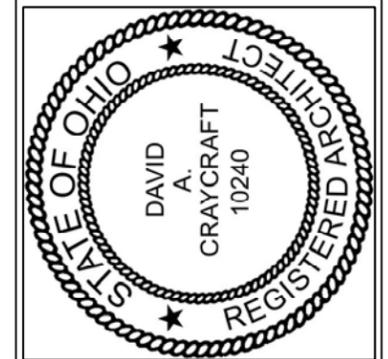


EXISTING REAR ELEV.  
SCALE: 1/8"=1'-0"

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GOBUCKS627@GMAIL.COM  
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REVISIONS	DATE



NEW ADDITION FOR GUST RESIDENCE

71 E. MOUND STREET  
CANAL WINCHESTER, OH  
FRANKLIN COUNTY 43110

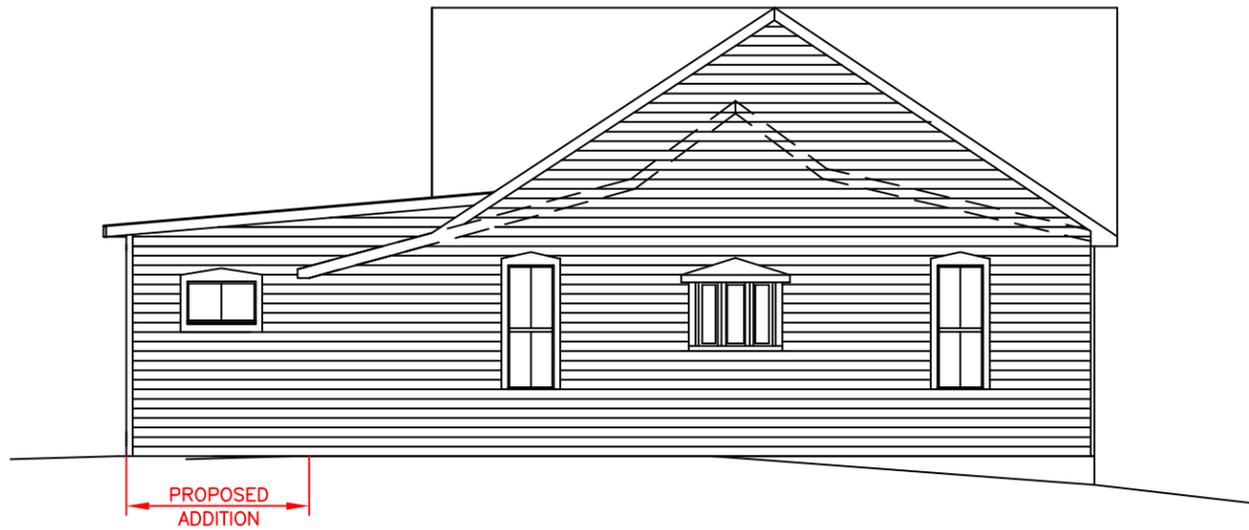
EXTERIOR ELEVATIONS

SCALE 1/4"=1'-0"

DATE 8/11/2020

DRAWN BY dac

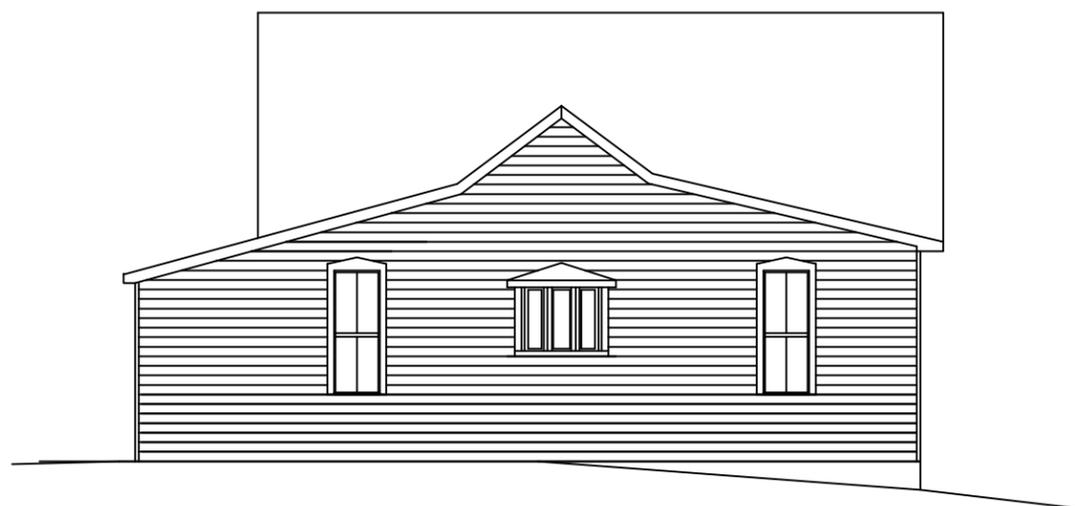
SHEET NO. 4 of 4



PROPOSED TRINE ST. ELEV.  
SCALE: 1/8"=1'-0"



PROPOSED MOUND ST. ELEV.  
SCALE: 1/8"=1'-0"



EXISTING TRINE ST. ELEV.  
SCALE: 1/8"=1'-0"

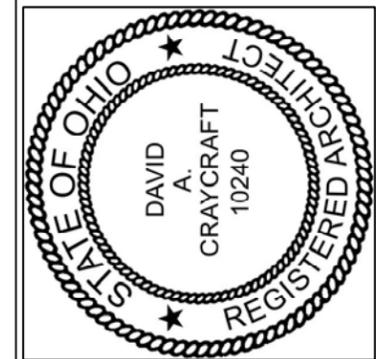


EXISTING MOUND ST. ELEV.  
SCALE: 1/8"=1'-0"

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GOBUCKS627@GMAIL.COM  
Cell (614) 282-6247

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AND CANNOT BE ALTERED OR REPRODUCED.

REVISIONS	DATE



NEW ADDITION FOR  
GUST RESIDENCE

71 E. MOUND STREET  
CANAL WINCHESTER, OH  
FRANKLIN COUNTY 43110

EXTERIOR ELEVATIONS

SCALE 1/4"=1'-0"

DATE 8/11/2020

DRAWN BY dac

SHEET NO. 3 of 4

**Certificate of Appropriateness #CA-20-023  
34 West Street**

Owner: James Beil  
Applicant: James Beil  
Location: 34 West Street  
Existing Zoning: OT-SF (Old Town Single Family)  
Request: New rear yard deck.

History

This house was constructed circa 1929.

Previously Approved by Landmarks Commission:

Landmarks Commission Request for Approval:

The applicant is seeking approval for the construction of a deck in the rear yard. The deck is approximately 450 sq. ft.

*\*No details (only photographs) have been provided for deck construction material or style.*

Old Town Guidelines

**Decks, Patios and Private Sidewalks**

- Place decks and patios to the rear of the buildings. Decks should be constructed of wood. The use of paint or opaque stain on decks to match or compliment the building color is encouraged. Patios should be constructed of concrete, brick or stone. Natural materials of brick or stone are encouraged. Patios are encouraged over wood decks on historic properties. Decks are generally considered to be a more contemporary design feature.

**Walls and Fences**

- Any fences in front yards must be wood picket fences or wrought iron that does not exceed 42" in height. Hedges may also be used in conjunction with or in place of fences.
- Privacy fences along the side and rear yards are subject to requirements of the local zoning code. The exposed structure (posts and cross members) should be oriented inward and not visible from the street. Very simple treatment of the top of the fence is most appropriate in Old Town.
- Avoid non-traditional wall and fence materials throughout the Old Town such as chain link, vinyl, and concrete block.



City of Canal Winchester

36 South High Street  
Canal Winchester, Ohio 43110  
Development Department  
Phone (614) 837-7501 Fax (614) 837-0145

**CERTIFICATE OF APPROPRIATENESS APPLICATION**

rev. 09/24/2013

**PROPERTY OWNER**

Name JAMES BELL

Address 34 WEST STREET CANAL WINCHESTER OH 43110

Daytime Phone (770) 951-2770

Email JAMES BELL34@GMAIL.COM

**APPLICANT**

Name SAME AS ABOVE

Address \_\_\_\_\_

Daytime Phone \_\_\_\_\_

Email \_\_\_\_\_

Address of Subject Property \_\_\_\_\_

Description of Proposed Changes/Modifications REPLACING & EXPANDING ON OLD DECK

**Your Application Must Include the Following, as Applicable:**

Scaled drawings  
Floor plans  
Roofing samples

Sketches  
Contractor's plans  
Photographs (as necessary to illustrate proposed work)

Material Samples  
Paint chips

**I certify that the information provided with this application is correct and accurate to the best of my ability.**

[Signature]  
Property Owner's or Authorize Agent's Signature

8/12/2020  
Date

**DO NOT WRITE BELOW THIS LINE**

Date Received: \_\_\_/\_\_\_/\_\_\_

Date of Action: \_\_\_/\_\_\_/\_\_\_

Expiration Date: \_\_\_/\_\_\_/\_\_\_

Tracking Number: CA - \_\_\_\_\_

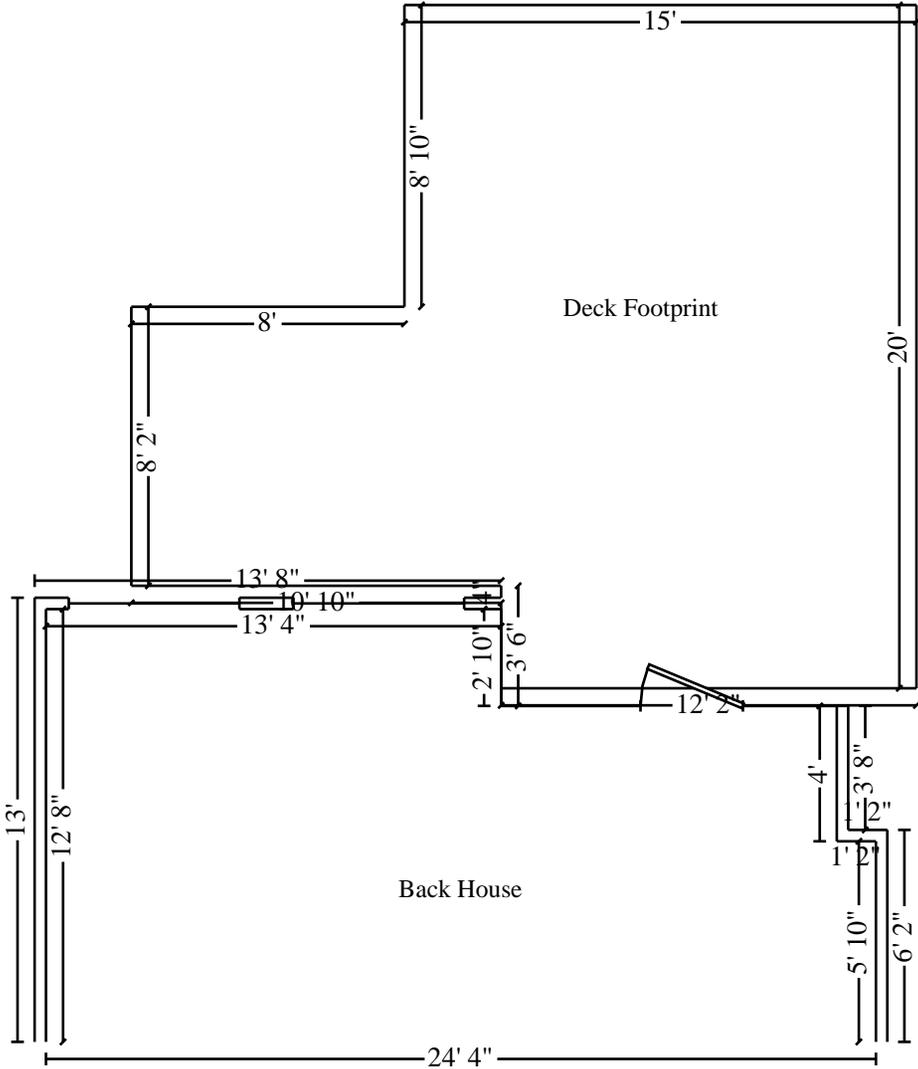
Historic District: \_\_\_ Yes \_\_\_ No

Preservation District: \_\_\_ Yes \_\_\_ No

Application \_\_\_ No

Approved: \_\_\_ Yes

\_\_\_ Yes, with conditions



Deck

1. The decking size is standard 5 1/2"x1" pressure treated decking.
2. The rails will be constructed out of pressure treated 2x4s running horizontally with approximately 2 1/2" in between each. I will use a piece of decking for a "cap" on top of the railing.
3. There will be 2 sets of stairs; both on the south side of the deck. One set, approximately 3 1/2' wide leading down to our driveway, and another 4' wide set centered on the bump out leading down into our yard. Both sets of stairs will be facing south. We are hoping one day to put a fence in between the house and garage that will end at the deck, dividing the "front" steps from the "back."
4. None of the rail posts are cut to their final height yet. But yes, we were planning on putting up a privacy wall on the north side of the deck. Our neighbor's yard is very un-kept and the driveway is close as well. I plan on using pressure treated 1x4 running horizontally along this wall, spacing it out approximately 1/2" to 1'. I plan on having the highest point of th privacy wall be closest to the house, at 6'6" tall, and stepping down, evenly, until it meets the west handrail at it's final height of 36".
5. There will be no under deck screen.













