

Canal Winchester

*Town Hall
10 North High Street
Canal Winchester, OH 43110*



Meeting Agenda

March 2, 2020

7:00 PM

City Council

*Mike Walker - President
Mike Coolman - Vice President
Jill Amos
Will Bennett
Bob Clark
Patrick Lynch
Chuck Milliken*

- A. Call To Order
- B. Pledge of Allegiance - Boy Scouts
- C. Roll Call
- D. Approval of Minutes

[Item #30](#) MINS 2-18-20 Work Session ([Minutes](#))

[Item #31](#) MINS 2-18-20 Full Council ([Minutes](#))

E. Communications & Petitions

[Item #32](#) Mayor's Proclamation to Recognize March 28, 2020 as Scouting for Food Day ([Proclamation](#))

F. Public Comments - Five Minute Limit Per Person

G. RESOLUTIONS

[RES 20-003](#) A Resolution Approving the Mayor's Appointment of Pat Burks to Serve as a Member of the Street Tree Advisory Board ([Resolution](#))
Mayor
- Adoption

H. ORDINANCES

Tabled

Third Reading

[ORD 20-006](#) An Ordinance Authorizing the Mayor to Enter into a Development Agreement with Northpoint Development, LLC.; and Declaring an Emergency ([Ordinance, Agreement, Exhibit A Map, Exhibit B Scope, Exhibit C Easement, Exhibit D Deed](#))
Development
Sponsor: Milliken
- Adoption

Second Reading

[ORD 20-008](#) An Ordinance to Repeal Chapter 1130 of the Codified Ordinances of the City of Canal Winchester ([Ordinance, Exhibit A](#))
Law
Sponsor: Lynch
- Second Reading Only

[ORD 20-009](#) An Ordinance Approving the Final Development Plan for Outlot 3 Identified in the Meijer Outparcel Development Pattern Book ([Ordinance, Exhibit A P&Z Approval Letter, Exhibit B P&Z Staff Report, Exhibit C Dev Plan App, Exhibit D Powerpoint](#))
Development
Sponsor: Walker
- Request waiver of second and/or third reading and adoption

ORD 20-010

*Development
Sponsor: Clark*

An Ordinance to Authorize the Mayor to Accept an Easement for General Utility Purposes from the Mountain Agency, LLC. ([Ordinance, Exhibit A](#))
- Second Reading Only

First Reading

ORD 20-014

Construction Services

An Ordinance to Authorize the Mayor to Enter into a Contract with Columbus Asphalt Paving, Inc. for the Construction of the 2020 Street Program Project and Declaring an Emergency ([Ordinance, Exhibit A Award Recommendation Letter, Exhibit B Bid Summary](#))
- Request waiver of second and/or third reading and adoption

ORD 20-015

Development

An Ordinance to Authorize the Mayor to Convey a Tract of Land Consisting of +/- 1.77 Acres on Robinette Way to the Canal Winchester Industry and Commerce Corporation to Provide for its Subsequent Conveyance to Gideon Properties, LLC., Pursuant to a Purchase and Sale Agreement and Declaring an Emergency ([Ordinance, Exhibit A](#))
- Request waiver of second and/or third reading and adoption

ORD 20-016

Development

An Ordinance to Authorize the Mayor to Accept a 0.51 Acre Parcel of Land from Rockford Homes, Inc. and Dedicating Such Land as Right of Way for Public Use and Accepting Such Improvements to be Known as Cormorant Way ([Ordinance, Exhibit A Survey, Exhibit B Survey](#))
- First Reading Only

ORD 20-017

Finance

An Ordinance to Authorize the Mayor and Finance Director to Enter into a Depository Agreement with Park National Bank for the Deposit of Public Funds ([Ordinance, Exhibit A Agreement](#))
- First Reading Only

I. Reports

Mayor

[Report](#)
[January 2020 Court Report](#)

Fairfield County Sheriff

Law Director

Finance Director

[Report](#)
[January 2020 Financial Statement](#)

Public Service Director

[Report](#)

Development Director

Report

J. Council Reports

Work Session and Council Meetings on Monday, March 16, 2020 starting at 6:00 pm

Committee of the Whole Meeting on Monday, March 30, 2020 at 6:00 pm (if needed)

Work Session and Council Meetings on Monday, April 6, 2020 starting at 6:00 pm

CW Human Services - Milliken

CWICC - Clark and Lynch

CWJRD - Amos and Bennett

Destination: Canal Winchester - Walker

K. Old/New Business

L. Adjourn to Executive Session (if necessary)

M. Adjournment

Canal Winchester

*Town Hall
10 North High Street
Canal Winchester, OH 43110*



Meeting Minutes - Draft

February 18, 2020

6:00 PM

Council Work Session

Mike Coolman - Chair

Jill Amos

Will Bennett

Bob Clark

Patrick Lynch

Chuck Milliken

Mike Walker

A. Call To Order At 6:00 pm

B. *Present 6 – Bennett, Clark, Coolman, Lynch, Milliken, Walker*

Roll Call

*Motion to excuse Amos made by Bennett; seconded by Clark
Motion carried by the following vote:*

Yes 6 – Bennett, Clark, Coolman, Lynch, Milliken, Walker

C. Also In Attendance

Mayor Ebert, Matt Peoples, Lucas Haire, Amanda Jackson, Bill Sims, Dick Miller, Steve Smith, Joe Taylor, Sergeant Hendershot, Shane Spencer

D. Reports

Bill Sims - The 2020 street program will open for bids this Friday at noon; hoping to see contractor that we have worked with previously; bids for water and sewer for Rager and Bixby Road projects will advertise on February 26 and then open the bids; working on RFP for municipal complex for the design-build project; active construction work on Winchester logistic site work, walls going up on first building; Pediatric Associates is underway near Meijer; right of way has been designated for Bigerton Bend; widening of Gender Road is access point. Bennett asked about public sewer extension for Pediatric Associates; Sims said it is a water extension, Meijer and developer is responsible for this water extension.

Dick Miller - Spring street tree bids are accepted until February 27 at noon; tomorrow begin weed control treatments in mulch beds along Diley Road; South Central Power has a new vegetation manager, some trees to be taken down along Ashbrook Road and along bike path on Groveport Road that are threatening power lines; have three trees in rights of way for removal in 2020.

Steve Smith - Thank you for funding the press upgrade and thank you to Linda Dillman for the brilliant article in the newspaper; plant tours given to Councilman Milliken and new clerk Jamie James; continuing with generator replacement; working on Bixby Road lift station; in my role as safety manager, Mayor tasked us to assess vulnerability of public buildings in town to their ability withstand a hit from a vehicle either intentional or accidental, the committee convened and used specifications from industry standards we identified areas where bollards may be installed, report comes out this week for review by the Mayor and directors, also available on P: drive.

Joe Taylor - In January pumped 23 million; average hardness 117; replaced air compressor dryer in water plant that was 13 years old, total chemical costs were \$288,000; AMI metering installs still going, about 60% completed; posted new position in waste water crew; working with Bill and Matt to do valve bolt replacements at tower near railroad tracks on Gender Road; staff updating locate cards for businesses on Gender Road and Winchester Blvd. and putting them on P:drive. Walker asked about story about customer who had hose running; Taylor said he had a resident whose residence showed an alert on the AMI system about a water leak, the resident was not replying to notices, so he sent guy out to look and

there was a hose bed frozen and leaking in back yard. Coolman asked about the increase flow from last year versus this year, is it increasing due to number of homes built; Taylor said yes it will increase with seasons, working on water master plan to insure infrastructure will be steady over ten year period.

Sergeant Hendershot - February 10th had CREST class had 50 registered and 70 showed up, Sgt. Cassell and Reed assisted with the class; tomorrow meeting with Fairfield County IT and Rick Brown to set up room in back that Bobbi uses for court for video arraignments, not sure about cost yet, but will be an added benefit; it will be an added benefit. Bennett asked what the class was; Hendershot said it is CREST = Civilian Response to Emergency Situation Training.

Shane Spencer - Update on Gender Road signal timing from ODOT, waiting on ODOT timing systems information, progressing fine; conducted a work shop for thoroughfare planning, looking a development trends and plans for the area, considering improvements, share with MORPC for modeling and get solutions; Scope document for Gender Road; Gender Road phase six pedestrian connectivity, promote safety improvements, zero percent local contribution, ODOT waived; 2020 street maintenance program out to bid on Friday.

E. Request for Council Action

[ORD 20-008](#)

Law

An Ordinance to Repeal Chapter 1130 of the Codified Ordinances of the City of Canal Winchester ([Ordinance, Exhibit A ORD-18-047 Residential Appearance Standards](#))

- Request to move to full Council

Jackson said it is a correction from last year, when we passed new residential standards will did not repeal the old ones; Coolman said it is housekeeping, new standards are in effect.

Motion to move ORD 20-008 to full council made by Lynch; seconded by Clark

Motion carried by the following vote:

Yes 6 – Lynch, Clark, Bennett, Coolman, Milliken, Walker

[ORD 20-009](#)

Development

An Ordinance Approving the Final Development Plan for Outlot 3 Identified in the Meijer Outparcel Development Pattern Book ([Ordinance, Exhibit A P&Z Approval Letter, Exhibit B P&Z Staff Report, Exhibit C Dev Plan App](#))

- Request to move to full Council

Andrew Moore, Planning and Zoning Administrator, came forward to speak and he showed a presentation on screen for all to view. This is final development plan for Meijer outparcel outlot #3, project was approved at Planning and Zoning Commission last Monday; Outlot 3# is a proposed restaurant, next to Pediatric Associates site; Meijer outparcel development requires all plans to go before Planning and Zoning Commission and before City Council for approval, this is the next step. See location map on screen, location of outlot 3, Shooters Sports Grill, Meijer plan is very specific as to what is required, see map of potential outlots and what may be proposed, legal description of the outparcel, see site development plan, building along Diley Road, meets all setback requirements, outdoor patio space,

site has connectivity from bike path and sidewalk, stormwater system Meijer had it pre-installed for future connectivity, water and sewer connectivity with Pediatric Associates, public water line they will tap off of, joint committee with Violet Township and the fire department requested to relocate the FDC connector to be more accessible in an emergency, incorporated into final engineering plans, there is a limiting access drive and an island, one of these will be relocated to allow a fire truck size equipment to be able to access site, landscaping is per Meijer development plan, utilities will be screened with landscaping, specific requirements for parking lot lights is being met, has large stone entry feature that meets plan natural element requirements, see different elevations from each direction, applicant provided material list to match colors and materials, rooftop items that need to be screened from view, signage requirements are specific and this is met, electric transformer to be screened by trees. Coolman asked about the plan showing four handicap parking spots; Moore said these plans do not need to show exact number of handicap spots at this time, they cannot go over 84 allowed number of parking spots. Lynch asked about the bike path and that it stays and connects; Moore said yes. Coolman asked about the fire department connection, is it an underground water main; Haire said it is a remote connection for the sprinkler system to pump water to the sprinkler system; Moore said they will move the FDC closer to the fire hydrant and it will make it easier on a responding fire truck. Clark asked who is this group, what kind of atmosphere is it, what kind of food; Haire said the applicants are here. Chad Sanders, from Shooters in Cincinnati, came forward to speak; he is one of five investors, it is a Roosters meets Applebee's concept with a variety of food and big screen TVs, first store in Columbus, four in Cincinnati area, it is a franchise, first location opened in 1990s. Lynch asked why they picked this particular spot; Sanders said four of them are from Pickerington and they like the development here, Pickerington seems saturated, architect and developers from Shooters came and looked at it and like it as well; Lynch agreed and said people are wanting more restaurants in this area.

Motion to move ORD 20-009 to full council made by Walker; seconded by Lynch

Motion carried by the following vote:

Yes 6 – Walker, Lynch, Bennett, Clark, Coolman, Milliken

ORD 20-010

Development

An Ordinance to Authorize the Mayor to Accept an Easement for General Utility Purposes from the Mountain Agency, LLC. ([Ordinance, Exhibit A](#))

- Request to move to full Council

Haire said this will allow us to accept a utility easement along U.S. 33 to extend water and sanitary sewer from Mountain Agency that owns the Wyler Dealerships along U.S. 33 portion of Wyler property and along the Rager Road to serve that project, installing water and sanitary in this easement area.

Motion to move ORD 20-010 to full council made by Clark; seconded by Lynch

Motion carried by the following vote:

Yes 6 – Clark, Lynch, Bennett, Coolman, Milliken, Walker

ORD 20-011

Law

An Ordinance Authorizing the Issuance of a Promissory Note Not to Exceed \$2,400,000 for the Purpose of Paying all or a Part of the Cost of Acquiring, Constructing, Equipping and Improving the City of Canal Winchester's City Hall and Declaring an Emergency ([Ordinance](#))

- Request to move to full Council

Jackson said this is the legal end of the purchase agreement with Mrs. McDorman for the McDorman building, she has agreed to finance this for us, allows us to issue debt related to that seller financing, same thing we did with Mrs. McGill for the park, because we want to close on this property we are asking council to pass it this evening, if anyone has legal questions I will refer to our legal counsel. Lynch asked if it is only the finance portion of this not construction portion; Jackson said this is for the purchase, required document because Mrs. McDorman is financing it for us. Bennett asked about financing costs in the ordinance, what is actual percentage; Haire said it is in section five.

Motion to move ORD 20-011 to full council made by Lynch; seconded by Coolman

Motion carried by the following vote:

Yes 6 – Lynch, Coolman, Bennett, Clark, Milliken, Walker

ORD 20-012

Law

An Ordinance Authorizing the Law Director to Enter Into an Agreed Judgment Entry on Settlement Between the City of Canal Winchester and Panda Express, Inc., and Declaring an Emergency ([Ordinance, Exhibit A Agreed Judgment Entry, Exhibit B Site Plan](#))

- Request to move to full Council

Haire said there was a legal case filed against us by Panda Express and we worked to settle this, the ordinance is the result of the settlement agreement. The plans were amended from their initial submission. The access was changed and approved, no longer a two way, eliminated the access to the east that had created conflicts in design, now includes a patio area in front of building, which is consistent with other drive-thru places that we have permitted, and will be screened from drive-thru aisle with a fence and landscaping, can see in plan what drive-thru and patio will look like, no restrictions in front of the dumpster and will be employee parking and should not be a conflict for customers, waiting area for drive-thru was an issue but now they resolved it using technology and no long a parking issue, rest of plan is approximately the same, rest of landscaping the same and number of parking spaces the same, agreeing to any outstanding variances will be approved in site development plan, it is a full site plan submittal, planning and zoning approved variance for window glass on the front of the building. Lynch asked about parking on south is outside of plan and who maintains that; Haire replied that Casto maintains it, Panda Express is buying the site and will maintain their site and Casto will maintain outside that line, some cross access in shopping center parking lots. Clark asked about cars turning off Winchester Blvd onto Canal Street, and cars can take a left into Panda Express; Haire says it lines up with the Walgreens drive; Clark concerned about cars backing up there. Lynch asked about the elevation in the parking lot facing Winchester Blvd.; Haire said they meet the ADA compliance in the grade there. Coolman clarified about Haire asking for a declaration of emergency; Jesse Stamp, counsel for Frost, Brown, Todd, came forward to answer, he said it is ready to wrap up for all parties.

Motion to move ORD 20-012 to full council made by Clark; seconded by Lynch

Motion carried by the following vote:

Yes 6 – Clark, Lynch, Bennett, Coolman, Milliken, Walker

ORD 20-013

Finance

An Ordinance to Amend the 2020 Appropriation Ordinance #19-069,
Amendment #1 (Ordinance)*- Request to move to full Council*

Jackson said she prepared a memo outlining what the amendment wants to accomplish; she proceeded to explain the details of appropriation amendment #1; *General Fund* – Appropriate \$1,965,066.00 from the unappropriated fund balance of \$6,743,734 as follows: \$220,000.00 to Administration – Operating Expenses for the payment of 3 quarterly installments of the McDorman Building purchase \$902,000.00 to Administration – Transfers/Advances for the design and construction of the McGill Park Trail Connector. \$451,172.00 will be a transfer for the City’s portion of the project under the Clean Ohio Trails Fund grant. \$450,828.00 will be an advance for the grant portion of the project which will be reimbursed once funds are received from ODNR. \$462,000.00 to Construction Services – Operating Expenses for design costs associated with McGill Park Phase I, Gender Road Phase V, and Greengate Blvd Road Extension projects and inspection costs associated with the renovation of the McDorman building. \$381,066.00 to Construction Services – Capital Outlay for the City’s portion of the repaving of Gender Rd in conjunction with ODOT as previously discussed. *Gender Road TIF Fund* – Appropriate \$1,409,000.00 from the unappropriated fund balance of \$1,705,890 (after advances from the Water Connections and Sewer Connections funds) as follows: \$68,000.00 to Professional Services for inspection fees related to the Bixby Road Utility project \$1,341,000.00 to Capital Outlay for the construction of water and sewer line extensions to serve the Northpoint building site and future development in the area. These funds will be repaid to the Water Connections and Sewer Connections funds when the fund balance is sufficient to do so. This will occur after other obligations of the fund have been satisfied and will occur over several years. *State Grants Capital Improvements Fund* – Appropriate \$1,352,828.00 from the unappropriated fund balance of \$1,002,954 (after transfers/advances from the General Fund) as follows: \$82,000.00 to Professional Services for the design of the McGill Park Trail Connector project. \$820,000.00 to Capital Outlay for the construction of the McGill Park Trail Connector. \$450,828.00 to Advances Out to repay the General Fund for the Clean Ohio Trails Grant funding to be received on a reimbursement basis from ODNR. *Water Connections Fund* – Appropriate \$555,000.00 from the unappropriated fund balance of \$2,617,621 to the Connections – Advances Out. This amount represents the portion of the Bixby Road Utility project attributable to water. As discussed above, this amount will be repaid by the Gender Rd TIF Fund at a later date when the funds are available. *Sewer Connections Fund* – Appropriate \$854,000.00 from the unappropriated fund balance of \$4,464,966 to the Connections – Advances Out line item. This amount represents the portion of the Bixby Road Utility project attributable to waste water. As discussed above, this amount will be repaid by the Gender Rd TIF Fund at a later date when the funds are available. Coolman commented that it is a lot of information. Coolman asked about transferring funds between accounts and how long we have to wait on reimbursement; Jackson responded from a grant perspective it depends on the project timing with completion, can depend on weather and other factors, usually have to complete the project before requesting a grant reimbursement, can be 30 to 60 days after making the request. Bennett asked about depleting the connection funds and if any ramifications to doing this; Jackson said these funds are extremely health and can withstand this process. Haire said we will receive a significant amount of connection funds from Rager and Bixby Roads development, capacity fees to provide for future upgrades as a result of that specific project. Jackson requested council to consider waiving the second and third readings on this ordinance because the design funds for McGill Park phase one and the trail project are included in this and would like to get started on design services; and would like to get started on Bixby Road utility project.

Motion to move ORD 20-013 to full council made by Bennett; seconded by Milliken

Motion carried by the following vote:

Yes 6 – Bennett, Milliken, Clark, Coolman, Lynch, Walker

F. Items for Discussion

Bennett said he met with Boy Scout troop #103 and the boy scouts would like to see the city facilitate a toy store within the city boundaries, they think a Lego store would be a good size, because they think it would be good for our town and it is not as big as a Toys R Us.

G. Old/New Business

H. Adjournment

Motion to adjourn made by Clark; seconded by Bennett
Motion carried by the following vote:

Yes 6 – Bennett, Clark, Coolman, Lynch, Milliken, Walker
Adjourned at 7:00 pm

Canal Winchester

*Town Hall
10 North High Street
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Meeting Minutes - Draft

February 18, 2020

7:00 PM

City Council

Mike Coolman - Vice President

Jill Amos

Will Bennett

Bob Clark

Patrick Lynch

Chuck Milliken

Mike Walker

A. Call To Order at 7:09 pm

B. Pledge of Allegiance - Lynch

C. Roll Call

Present 6 – Bennett, Clark, Coolman, Lynch, Milliken, Walker

***Motion to excuse Amos made by Bennett; seconded by Lynch
Motion carried by the following vote:***

Yes 6 – Bennett, Lynch, Clark, Coolman, Milliken, Walker

D. Election of Council President

Motion was made by Clark to elect Mike Walker as president of city council; motion seconded by Coolman; Coolman asked the clerk to call the roll call. Lynch asked if we were going to have any discussion. Coolman said you can have discussion if you like; the issue was, and the two parties involved, Walker and Milliken, wrote to the board of Ethics about any possible conflict and they received enough information back that they feel confident enough to go ahead and vote and that there is no conflict, so that's where we are at, each meeting we will ask if there is a motion to fill the president's chair. Lynch asked if there was a formal inquiry and a formal response made; Milliken responded yes. Lynch asked do you have that formal response and would you be willing to share; Milliken said essentially the main line item was as long as Walker has no power over me, he is not my boss, then it is fine. Lynch wanted to note that he did receive a note from Amos asking for this to be postponed, he wanted to make that public. Coolman said in all fairness to every member on council as long as this appears as an agenda item, we have to move forward, if you are here you're here, if you're not, you're not; until we make a motion, you can take it upon yourself to investigate, issue of landlord and tenant detail, there is a signed legal document that was signed prior to elections, it does not impede on their pay or their actions, it is a market value lease and it should be legit. Coolman asked for a roll call; clerk clarified there is a motion by Clark and a second by Coolman.

***Motion to elect Walker as president of city council made by Clark;
seconded by Coolman
Motion carried by the following vote:***

Yes 4 – Clark, Coolman, Milliken, Walker

No 2 – Bennett, Lynch

Coolman stated Walker is now the elected president of council, congratulations, and he will assume hosting the rest of this meeting. Walker said thank you to council; he proceeded to make comments to congratulate Mayor Ebert on a job well done, appreciate the staff surrounding you, Jackson with a perfect audit, Haire achieved the pillar of the community, staff is pretty remarkable; reminds him of a 1910 speech by Theodore Roosevelt quoting "It is not the critic who counts; not the man who points out how the strong man stumbles, or where the doer of deeds could do them better. The credit belongs to the person who is actually in the arena, who face is marred by sweat and dust and blood; who at best in

the end knows the triumph of high achievement, and who at worst, if he fails, at least fails while daring greatly." You are daring greatly and we appreciate it. Would also like to congratulate Milliken on his seat at council; hope city council will work in harmony as well as your staff has worked, thank you to the city for your patience while waiting to get through this.

E. Approval of Minutes

[20-08](#)

MINS 2-3-2020 Work Session ([Minutes](#))

[20-09](#)

MINS 2-3-20 Full Council ([Minutes](#))

Motion to approve minutes from 2-3-2020 work session and council meeting made by Coolman; seconded by Lynch; Motion carried by the following vote:

***Yes 5 – Coolman, Lynch, Bennett, Milliken, Walker
Abstain 1 - Clark***

[20-10](#)

MINS 10-8-19 Town Hall Meeting ([Minutes](#))

***Motion to approve minutes from 10-8-19 town hall meeting made by Coolman; seconded by Milliken
Motion carried by the following vote:***

Yes 6 – Coolman, Milliken, Bennett, Clark, Lynch, Walker

F. Communications & Petitions

[20-11](#)

Madison Township Police Department Report ([Report](#))

G. Public Comments - Five Minute Limit Per Person

Julie Cecutti, 17 West Mound Street, came forward to speak. She is here to talk about her concerns about development in old town Canal Winchester. She attended the Planning and Zoning Committee and familiarized herself with the Old Town Plan adopted in 2016; she is concerned about the new building being built behind town hall that also shares the alley behind Mound Street; according to the old town plan the main issue was parking that is needed, anything developed was supposed to preserve the small town feel, and new buildings need to complement the existing historic structures. None of that applies here (pointing to new building being built behind town hall) in my opinion. We have 14 apartments, you figure at least one car per apartment, maybe two cars per apartment, parking lot is small, no access from Waterloo, so it all gets channeled down alley that runs parallel with West Mound and Waterloo, five residents of West Mound that have garages on the alley plus two that have parking spaces and two businesses with parking lots; apparently somebody is saying possible to make the alley one way, which I am not in favor of, I have lived there for 32 years, and I have been able to pull out of my garage and go in any direction I want to go depending on my destination. I think it is wrong to benefit the few at the detriment of many. We are adding traffic which was not supposed to happen here, this was supposed to be a parking lot and that would have been great to serve the businesses on north side of Waterloo, now we are adding more traffic, less parking, fourteen new residents, more cars for the retail establishments on the ground floor, more visitors and what-not. I have a problem that it seems that we, the residents

who are mostly impacted were not notified until a wrecking ball started tearing down one of the historic houses right next door. I would like to think we have learned something over 30 years when it comes to developing, but I am not so sure, that is why I am here to express my concerns. There are two houses across the street from this development that may be slated for demolition, and I am definitely not in favor of that; if you want to go with the old town plan and preserve the old town feel and compliment the historical structures why would you not keep two century buildings in good condition; they might need some modernization, or can be family living or commercial, I see a need for that, but I am afraid it could be on the horizon. I am not in favor of just developing willy-nilly without really looking at the big picture; I don't think the big picture was looked at with this; as my grandfather would say it looks like it is ten pounds of crap in a five pound bag; the building is huge, it is the wrong site for this building, it doesn't have anything to do with the rest of the old town historic structures, and it's adding unwanted traffic, we may have to change the alley, there are talks of Oak Street or West Mound being turned into one-way streets; why? So we can have everything benefit one building, and not consider all of the residents, fourteen residents is about the same as both sides of West Mound Street...it's like boom! I am sorry but I hope in the future you would give it a little more thought and be on your toes and look at the big picture and involve those who will be most impacted; and let them be a part of the process. Thank you.

Walker commented to Coolman and said thank you for facilitating as President and Vice-President, that was a lot and we appreciate it.

H. RESOLUTIONS

I. ORDINANCES

Tabled

Third Reading

[ORD 20-002](#)

Construction Services

Sponsor: Amos

An Ordinance to Authorize the Mayor to Enter Into a Contract with Quality Control Inspection, Inc. for Consulting Services Relating to Construction Inspection for the Period From January 31, 2020 Through December 31, 2022. ([Ordinance, Exhibit A](#))

- Adoption

***Motion to adopt ORD 20-002 made by Walker; seconded by Coolman
Motion carried by the following vote:***

Yes 6 – Walker, Coolman, Bennett, Clark, Lynch, Milliken

[ORD 20-004](#)

Development

Sponsor: Clark

An Ordinance Authorizing the City of Canal Winchester to Enter Into a Community Reinvestment Area Agreement with Northpoint Development, LLC., Pursuant to Section 3735.671 of the Ohio Revised Code; Authorizing the City of Canal Winchester to Enter Into a Related School Compensation Agreement with the Canal Winchester Local School District and Northpoint Development, LLC. ([Ordinance, Exhibit A Map, Exhibit B CRAA, Exhibit C](#))

[School Compensation Agreement, Exhibit D School District Resolution](#)

- Adoption

**Motion to adopt ORD 20-004 made by Clark; seconded by Bennett
Motion carried by the following vote:**

Yes 6 – Clark, Bennett, Coolman, Lynch, Milliken, Walker

Second Reading

[ORD 20-006](#)

Development

Sponsor: Milliken

An Ordinance Authorizing the Mayor to Enter Into a Development Agreement with Northpoint Development, LLC.; and Declaring an Emergency ([Ordinance, Exhibit A Map, Exhibit B Scope, Exhibit C Easement, Exhibit D Deed](#))

- Second Reading Only

Milliken stated second reading.

First Reading

[ORD 20-008](#)

Law

An Ordinance to Repeal Chapter 1130 of the Codified Ordinances of the City of Canal Winchester ([Ordinance, Exhibit A ORD-18-047](#))

- First Reading Only

Lynch stated first reading only.

[ORD 20-009](#)

Development

An Ordinance Approving the Final Development Plan for Outlot 3 Identified in the Meijer Outparcel Development Pattern Book ([Ordinance, Exhibit A P&Z Approval Letter, Exhibit B P&Z Staff Report, Exhibit C Dev Plan App](#))

- First Reading Only

Walker stated first reading only.

[ORD 20-010](#)

Development

An Ordinance to Authorize the Mayor to Accept an Easement for General Utility Purposes from the Mountain Agency, LLC. ([Ordinance, Exhibit A](#))

- First Reading Only

Clark stated first reading only.

[ORD 20-011](#)

Law

An Ordinance Authorizing the Issuance of a Promissory Note Not to Exceed \$2,400,000 for the Purpose of Paying All or a Part of the Cost of Acquiring, Constructing, Equipping and Improving the City of Canal Winchester's City Hall and Declaring an Emergency ([Ordinance](#))

- Request waiver of second and/or third reading and adoption

**Motion to suspend second and third readings for ORD 20-011 made by
Lynch; seconded by Coolman**

Motion carried by the following vote:

Yes 6 – Lynch, Coolman, Bennett, Clark, Milliken, Walker

**Motion to adopt ORD 20-011 made by Lynch; seconded by Coolman
Motion carried by the following vote:**

Yes 6 – Lynch, Coolman, Bennett, Clark, Milliken, Walker

ORD 20-012

Law

An Ordinance Authorizing the Law Director to Enter Into an Agreed Judgment Entry on Settlement Between the City of Canal Winchester and Panda Express, Inc., and Declaring an Emergency ([Ordinance, Exhibit A Agreed Judgment Entry, Exhibit B Site Plan](#))

- Request waiver of second and/or third reading and adoption

Motion to suspend second and third readings for ORD 20-012 made by Clark; seconded by Coolman

Motion carried by the following vote:

Yes 6 – Clark, Coolman, Bennett, Lynch, Milliken, Walker

Motion to adopt ORD 20-012 made by Clark; seconded by Coolman

Motion carried by the following vote:

Yes 6 – Clark, Coolman, Bennett, Lynch, Milliken, Walker

ORD 20-013

Finance

An Ordinance to Amend the 2020 Appropriation Ordinance #19-069, Amendment #1 ([Ordinance](#))

- First Reading Only

Bennett stated the purpose of requesting this waiver is because the projects associated with this are in a fiscal timeline that needs to be met.

Motion to suspend second and third readings for ORD 20-013 made by Bennett; seconded by Coolman

Motion carried by the following vote:

Yes 6 – Bennett, Coolman, Clark, Lynch, Milliken, Walker

Motion to adopt ORD 20-013 made by Bennett; seconded by Coolman

Motion carried by the following vote:

Yes 6 – Bennett, Coolman, Clark, Lynch, Milliken, Walker

J. Reports

Mayor's Report

20-01

Report ([Report, Golf Cart Road Map](#))

He gave an update on opening of Bigerton Bend which should occur this Friday, and may include more legal golf cart travel to businesses out by Bob Evans, Walgreens and Walmart; can cross Waterloo and go

back by Aldi's and BP, etc. You can only cross Gender Road, but not travel Gender Road, and can take Prentiss School up past Wendy's to get to Bob Evans, etc. You can only cross Waterloo Street at the main Walmart entrance to get to Aldi's area. Prescription take back day is coming up at Diley Ridge, only pills, no liquid or needles. Lynch asked about the speed limits on road that allow golf carts; he said a resident asked him about driving their golf cart from Cherry Bend to Woods gas station on Waterloo, they cannot go on Waterloo because it changes to 35 mph; person was stopped for being on that section of road for driving a golf cart; Lynch asked if we can alter the speed limit on that section of road to allow golf carts, is the 25 mph a state law or city law. Mayor said it is a state law. Lynch asked if we can take a look at it or change it; Mayor responded that we would take a look at it; Coolman agreed because during festivals they go up there to get ice and have to drive cars instead of golf carts. Walker asked if it is possible to change it all the way up to Walmart; Mayor said this would create an issues of driving a golf cart up Waterloo all the way across Gender Road and that would be hazardous; Lynch commented about just changing it up to the first Walmart drive; Peoples said typically 25 mph is for residential and where the sign is now is the start of residential near Chesterville Drive and taking it past that is not suggested understanding you are that close to gas station but going all the way out, that is not a 25 mph road, people won't drive 25 along there, you are inviting a speeding problem, not designed as a 25 road, it transitions down from 35 to 25 but road doesn't change in width and we watch it for speeding now and that is where the speed problems are. Walker asked if we can look at getting it changed up to the Sunoco; Peoples said the same applies there, it is not designed to be a 25 mph road, it feels residential, but it isn't around gas station. Walker asked what are we looking at to get to the gas station; Peoples said you would be able to get to BP and Kroger with the new Bigerton Bend roadway, but not Sunoco.

Fairfield County Sheriff

20-02

Statistics for January 2020 ([Statistics](#))

He reviewed the monthly statistics for January

Law Director

Finance Director

20-03

Report ([Report](#))

Public Service Director

20-04

Report ([Report](#))

Development Director

Thank you for approval the CRA and school compensation agreement tonight; we are nearing end of the required approvals for Northpoint; scheduled for closing on March 3, should have final development agreement at next meeting and then final reading and close the next day with Northpoint; Planning and Zoning meeting coming up filing deadline was today and received three applications, one is Greengate condominiums off Hill Road. Walker asked about bank funding for condos and it was tight at one point; Haire said these are two story detached condos and attached condos had bank funding issues.

K. Council Reports

Work Session and Council Meetings - Monday, March 2, 2020 starting at 6 p.m.

Work Session and Council Meetings - Monday, March 16 starting at 6 p.m.

Committee of the Whole Meeting - Monday, March 30 at 6 p.m. (if needed)

CW Human Services - Milliken - The Souper Bowl event set new records in donations; getting ready for Easter Egg hunt and spring care boxes and community care day in May.

CWICC - Clark - The next meeting is April 29 at 11:30 am at Interurban Building

CWJRD – Bennett - Meeting tomorrow with folks from the city, school district and Ohio Parks and Recreation Association to help facilitate a conversation for future planning for the joint rec; executive is Thursday 7:00 pm at Town Hall; sports programs opening up soon, need some volunteers for coaching soccer; Misty Swearingen hired as program manager for the JRD.

Destination: Canal Winchester - Walker - Next meeting is March 25 at 6:00 pm at Interurban

L. Old/New Business**M. Adjourn to Executive Session (if necessary)****N. Adjournment**

***Motion to adjourn made by Bennett; seconded by Clark
Motion carried by the following vote:***

***Yes 6 – Bennett, Clark, Coolman, Lynch, Milliken, Walker
Adjourned at 7:50 pm***

Proclamation

Whereas: hunger remains a pervasive intrusion on the quality of life for millions of Americans; and

Whereas, hunger is a problem we can do something about by working together; and

Whereas, for more than 100 years the Boy Scouts of America has been an organization committed to community service; and

Whereas, the Scouting program instills the positive values of citizenship, ethical decision making, leadership and helping other people as outlined by the Scout Oath and the Scout Law; and

Whereas, the local Canal Winchester Boy Scouts of America Troop 103 and volunteer leaders will coordinate with other groups to conduct a Scouting for Food on March 28th, 2020 in this community in a positive example of its longstanding commitment to service of direct benefit to the less fortunate among us.

Now, Therefore, I, Michael Ebert, Mayor of the City of Canal Winchester Ohio, do hereby proclaim March 28, 2020 be recognized as

‘Scouting For Food Day’

In Witness Whereof, I have hereunto set my hand and caused the Seal of the City of Canal Winchester, Ohio to be affixed this 2nd day of March, in the year of our Lord Two Thousand Twenty.



Michael L. Ebert, Mayor



RESOLUTION NO. 20-003

A RESOLUTION APPROVING THE MAYOR'S APPOINTMENT OF PAT BURKS TO SERVE AS A MEMBER OF THE STREET TREE ADVISORY BOARD

WHEREAS, the Mayor of the City of Canal Winchester is required to appoint members to various boards and commissions for the City of Canal Winchester and City Council is required to approve the Mayor's appointment;

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, STATE OF OHIO:

Section 1: Pat Burks shall serve as a member of the Street Tree Advisory Board as appointed by the Mayor and approved by City Council.

Section 2: That this resolution shall take effect and be in force from and after the earliest period allowed by law.

DATE PASSED _____

PRESIDENT OF COUNCIL

ATTEST _____
CLERK OF COUNCIL

MAYOR

DATE APPROVED _____

APPROVED AS TO FORM:

LEGAL COUNSEL

I hereby certify that the resolution as set forth above was published for a period of not less than fifteen days after passage by the Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.

Clerk of Council

ORDINANCE NO. 20-006

AN ORDINANCE AUTHORIZING THE MAYOR TO ENTER INTO A DEVELOPMENT AGREEMENT WITH NORTHPOINT DEVELOPMENT, LLC.; AND DECLARING AN EMERGENCY

WHEREAS, the City desires to induce development of industrial property along Bixby and Rager Road; and

WHEREAS, this Council previously adopted Resolution 19-024 creating the Route 33 North Community Reinvestment Area which includes property proposed to be developed by Northpoint Development LLC; and

WHEREAS, this Council is currently considering an ordinance authorizing the City to enter into a Community Reinvestment Area agreement with Northpoint Development, LLC to induce industrial development on a site at Bixby and Rager Road; and

WHEREAS, this Council desires to enter into a development agreement with the developers of certain parcels within in the Route 33 North CRA which will make public water and sanitary sewer lines available with an adequate capacity to benefit the future Northpoint Development, LLC parcels and other parcels in the Route 33 North CRA area, that will substantially benefit the welfare of the community;

NOW THEREFORE BE IT ORDAINED BY THE CITY OF CANAL WINCHESTER, FRANKLIN COUNTY, OHIO AS FOLLOWS:

Section 1: That Council hereby authorizes and directs the Mayor to enter into a Development Agreement with Northpoint Development, LLC, in a form acceptable to the Director of Law and with terms and conditions substantially similar to the Development Agreement attached hereto as Exhibit "A" and incorporated herein by reference.

Section 2: This Council finds and determines that all formal actions of this Council concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees which resulted in such formal actions were in meetings so open to the public in compliance with all legal requirements of the City of Canal Winchester, Franklin County, Ohio.

Section 3: That this ordinance hereby is declared to be an emergency measure, necessary for the preservation of the public health, safety and welfare and specifically for the reasons set forth in the preamble hereto; wherefore, this ordinance shall take effect and be in force from and after its passage.

DATE PASSED _____

PRESIDENT OF COUNCIL

ATTEST _____
CLERK OF COUNCIL

MAYOR

DATE APPROVED _____

APPROVED AS TO FORM:

LEGAL COUNSEL

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by the Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.

Clerk of Council

DEVELOPMENT AGREEMENT

This Development Agreement (“the Agreement”) is made and entered into effective this ___ day of _____, 2020 (the “Effective Date”) by and between **the City of Canal Winchester, Ohio** (the “City”), and **NorthPoint Development, LLC**, a Missouri limited liability company (“NorthPoint”) (collectively, being referred to as the “Parties”, and each being individually referred to as a “Party”), under the circumstances summarized in the following recitals.

RECITALS:

A. Canal Winchester Industry and Commerce Corporation, an Ohio non-profit corporation (“CWICC”) owns the real property in Franklin County (the “Property”), which Property is further described and depicted on Exhibit A which is attached hereto and incorporated herein by reference.

B. CWICC and NorthPoint have entered into a Real Estate Sale Contract dated June 17, 2019, as amended by that certain First Amendment to Real Estate Sale Contract dated March 18, 2019, that certain Second Amendment to Real Estate Sale Contract dated May 9, 2019 (the “Second Amendment”), that certain Third Amendment to Real Estate Sale Contract dated June 6, 2019, and that certain Fourth Amendment to Real Estate Sale Contract dated January 10, 2020 (collectively, the “Contract”).

C. Upon acquisition of the Property, NorthPoint desires to develop the Property by constructing thereupon an industrial development, which is currently designed to include two (2) approximately 435,000 square foot buildings and supporting infrastructure (collectively, the “Project”), which Project will create jobs and employment opportunities and further commerce within the City.

D. In connection with the construction of the Project, and in accordance with the obligations between CWICC and NorthPoint under Section 5 of the Second Amendment to the Contract, the Parties desire to provide for the construction and/or implementation of certain public infrastructure improvements (collectively, the “Public Infrastructure”, which Public Infrastructure is further described in Section 3 and described and depicted on Exhibit B which is attached hereto and incorporated herein by reference). The Parties each agree that the Public Infrastructure, once constructed, will directly benefit the Property and the Project, and will provide a benefit for the residents and businesses of the City.

E. The Parties desire to execute this Agreement to provide for the construction of the Public Infrastructure and the payment of the related costs and to facilitate the construction of the Project.

NOW, THEREFORE, in consideration of the foregoing, the promises contained herein, and other good and valuable consideration the receipt and sufficiency of which is hereby acknowledged, the Parties covenant, agree and obligate themselves as follows:

Section 1. General Agreement. For the reasons set forth in the Recitals hereto, which Recitals are incorporated herein by reference as a statement of the public purposes of this

Agreement and the intended arrangements between the Parties, the Parties intend to and shall cooperate in the manner described herein to facilitate the design, construction, acquisition and installation of the Public Infrastructure and the Project.

Section 2. City's Utility Improvements. Subject to the terms herein, the City agrees to construct, or cause to be constructed (in cooperation with such other party or parties as may be determined by the City), an extension of water and sanitary sewer service to the Property in accordance with the Scope of Work attached hereto as Exhibit B (the "City's Utility Improvements"). The City shall commence the City's Work as soon as possible after the date that NorthPoint has obtained all necessary permits for and has commenced construction of the Project (which shall be deemed to occur upon NorthPoint obtaining permits for and commencing grading in support of the Project). NorthPoint shall notify the City in writing once these conditions have been satisfied. The City agrees, upon Northpoint commencing Work, subject to an Unforeseeable Delay as described in Section 8 below, to diligently pursue construction and completion of the City's Utility Improvements not later than one hundred eighty (180) days following the commencement thereof. The City's Utility Improvements shall be completed at the City's sole cost and expense.

Section 3. City's Easements. NorthPoint shall grant to the City a permanent easement ten (10) feet in width over the location of the City's Utility Improvements upon the Property to facilitate the construction and maintenance of the City's Work (the "City's Permanent Easement"). The City's Easement is further described and depicted on Exhibit C which is attached hereto and incorporated herein by reference. NorthPoint agrees to provide such temporary construction easements as may be reasonably required by the City to accommodate the construction of the City Infrastructure; *provided* that such easements do not unduly interfere with the construction of the Project (the "City's Construction Easements", and collectively with the City's Permanent Easement, the "City's Easements"). Upon such time as NorthPoint has satisfied the conditions necessary for the City to commence the City's Work under Section 2 above, NorthPoint, at no charge, shall execute and deliver the Easement substantially in the form attached hereto as Exhibit D evidencing the grant of the City's Easements. NorthPoint acknowledges that any delay in the conveyance of the City's Easements may cause a commensurate delay in the completion of the City's Work. The City shall record the Easement within a commercially reasonable period of time after its execution and delivery to the City by NorthPoint.

Section 4. Condition Precedent. The Parties hereby acknowledge and agree that the commencement of construction of the Project by NorthPoint (as defined in Section 2) is a condition precedent to all other duties of the City under this Agreement. If such does not occur on or before December 31, 2021, this Agreement and all of the benefits and obligations therein are null and void.

Section 5. Estoppel Certificate. Upon request of NorthPoint, the City shall execute and deliver to NorthPoint or any proposed purchaser, mortgagee or lessee of any parcel of the Property, a certificate stating: (a) that the Agreement is in full force and effect, if the same is true; (b) that NorthPoint is not in default under any of the terms, covenants or conditions of the Agreement, or, if NorthPoint is in default, specifying same; and (c) such other matters as NorthPoint may reasonably request.

Section 6. Representations and Covenants of the Parties. The Parties hereby represent and warrant that each is legally empowered to execute, deliver and perform this Agreement and to enter into and carry out the transactions contemplated by this Agreement. That execution, delivery and performance does not and will not violate or conflict with any provision of law applicable to it, and does not and will not conflict with or result in a default under any agreement or instrument to which it is a party or by which it is bound. The Parties further represent and warrant that his Agreement has, by proper action, been duly authorized, executed and delivered by it and all steps necessary to be taken by it have been taken to constitute this Agreement, and its covenants and agreements contemplated herein, as its valid and binding obligations, enforceable in accordance with their terms

Section 7. Remedies. Except as otherwise provided in this Agreement, in the event of any default in or breach of this Agreement by any party to this Agreement, or any successor to such party, such party (or successor) shall, within 45 days of receipt of written notice from any other, proceed to cure or remedy such default or breach. In case such action is not taken or not diligently pursued, or the default or breach shall not be cured or remedied within a reasonable time, the aggrieved party may institute such proceedings as may be necessary or desirable in its opinion to cure and remedy such default or breach, including, but not limited to, proceedings to compel specific performance by the party in default or breach of its obligations. All rights and remedies shall be cumulative and shall not be construed to exclude any other remedies allowed at law or in equity. If any legal action or other proceeding is brought for the enforcement of this Agreement, or because of an alleged dispute, breach, default or misrepresentation in connection with any provisions of this Agreement, the successful or prevailing party or parties shall be entitled to recover from the non-prevailing party, reasonable attorneys' fees, court costs and all expenses, (including, without limitation, all such fees, costs and expenses incident to appeals), incurred in that action or proceeding, in addition to any other relief to which such party or parties may be entitled

Section 8. Unforeseeable Delay. Neither party shall be considered in breach of its obligations under this Agreement due to unforeseeable causes beyond its reasonable control and without its fault or negligence, including, but not restricted to, acts of God, acts of the public enemy, acts of the Federal Government, orders of courts, acts of the other party, fires, floods, epidemics, quarantine restrictions, strikes, freight embargoes, and unusually severe weather or delays of subcontractors due to such causes. The party seeking the benefit of the provisions of this subsection shall, within 15 calendar days after actual notice of any such unforeseeable delay, have first notified the other party of such unforeseeable delay in writing, and of the cause or causes of the unforeseeable delay.

Section 9. Successors. This Agreement shall be binding upon and inure to the benefit of the Parties and its beneficiaries, successors and assigns, including successive as well as immediate successors and assigns.

Section 10. Agreement Binding on Parties; No Personal Liability; County Consents. All covenants, obligations, and agreements of the Parties contained in this Agreement shall be effective to the extent authorized and permitted by applicable law. No such covenant, obligation, or agreement shall be deemed to be a covenant, obligation, or agreement of any present or future member, official, officer, agent, or employee of either Party in other than their official capacity or

Attn: Evan Fitts

Section 13. Counterparts. This Agreement may be signed in one or more counterparts or duplicate signature pages with the same force and effect as if all required signatures were contained in a single original instrument. Any one or more of such counterparts or duplicate signature pages may be removed from any one or more original copies of this Agreement and annexed to other counterparts or duplicate signature pages to form a completely executed original instrument.

Section 14. Severability and Cooperation Clause. In the event that any portions, sections or subsections of this Agreement are rendered invalid by the decision of any court or by the enactment of any law, resolution or regulation, such provision of this Agreement will be deemed to have never been included therein and the balance of the Agreement shall continue in full force and effect. If the terms of this Agreement, or any amendment or amendments to any provision of any laws that are required to be enacted or amended as a consequence of this Agreement, are challenged by either referendum or administrative appeal to the courts or such other legal or equitable remedies sought by those who may oppose this Agreement, the parties agree to cooperate with each other to uphold the validity and enforceability of this Agreement. This cooperation clause only pertains to decisions relating to this Agreement, and this cooperation clause cannot be used to attempt to force the City to override other legislative or administrative decisions relating to the Project.

Section 15. Captions. The captions and headings in this Agreement are for convenience only and in no way define, limit or describe the scope or intent of any provisions or sections of this Agreement.

Section 16. Governing Law and Choice of Forum. This Agreement shall be governed exclusively by and construed in accordance with the laws of the State of Ohio, without regard to its conflict of law provisions that would cause the application of the laws of another jurisdiction. Each of the Parties irrevocably consents to the jurisdiction of any state court located within Franklin County, Ohio, in connection with any matter based upon or arising out of this Agreement, agrees that process may be served upon them in any manner authorized by the laws of the State of Ohio, and waived and covenants not to assert or plead any objection which they might otherwise have under such jurisdiction or such process.

Section 17. Assignments. NorthPoint agrees not to assign this Agreement without the prior written consent of the City, which consent shall not be unreasonably withheld, conditioned, or delayed. Notwithstanding the foregoing, NorthPoint may assign this Agreement without the City's consent to (i) any entity with which NorthPoint is affiliated (i.e., controls, is controlled by, or is under common control with), and (ii) NP Canal Winchester, LLC, a Delaware limited liability company. Without limiting the foregoing, any entity managed by NPD Management, LLC shall be deemed affiliated with NorthPoint.

(Remainder of page intentionally left blank – Signatures Follow)

As evidence of their intent to be bound by this Agreement, the authorized representatives of each of Party have executed this Agreement for and on behalf of the Party as of the Effective Date.

THE CITY OF CANAL WINCHESTER, OHIO

By: _____

Name: _____

Title: _____

Date: _____

NORTHPOINT DEVELOPMENT, LLC, a Missouri limited liability company

By: _____

Nathaniel Hagedorn, Manager

Date: _____

EXHIBITS:

A – Property

B – City’s Utility Improvements—Scope of Work

C – City’s Easement--location

D – City’s Easement—form

EXHIBIT A
THE PROPERTY

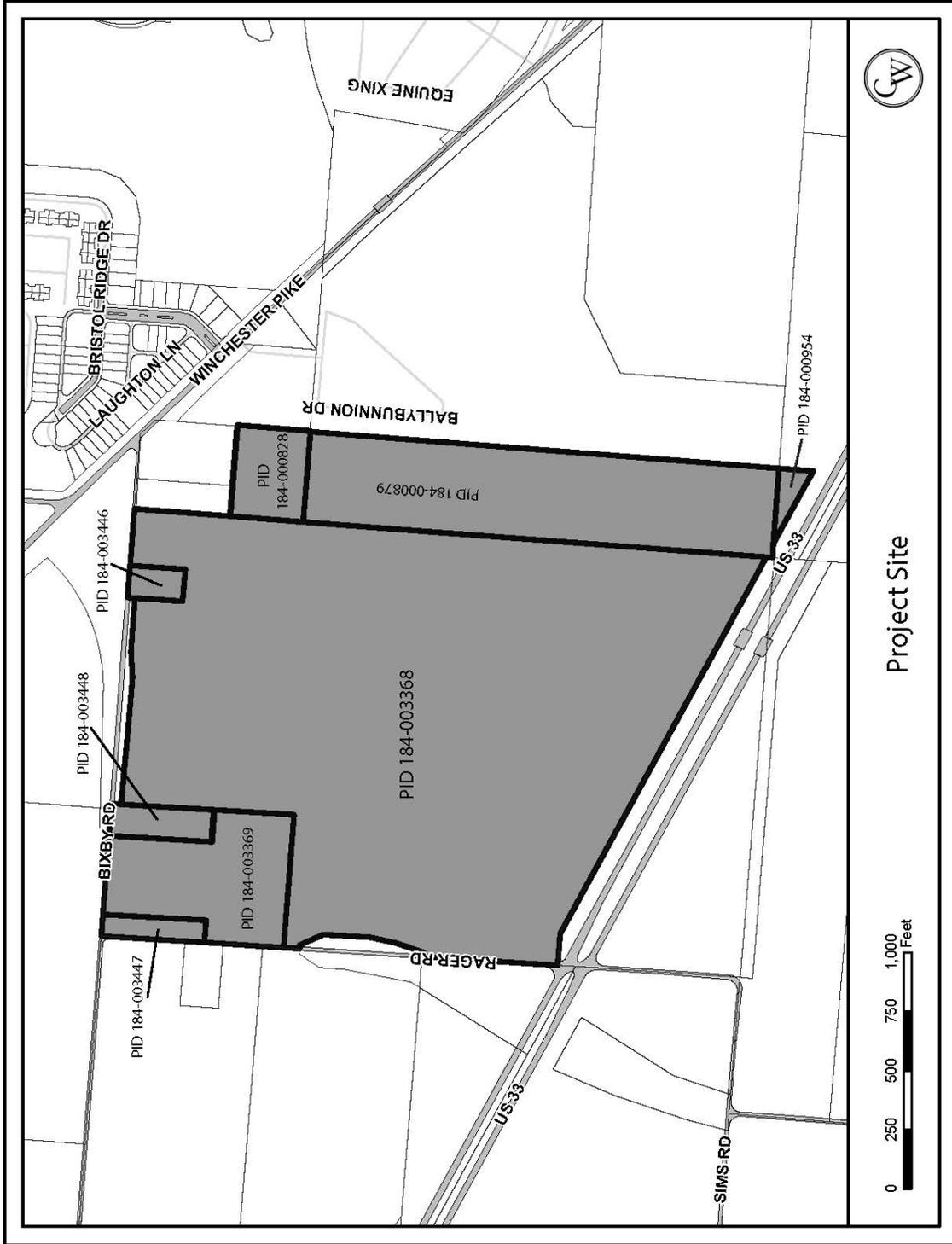


EXHIBIT B

CITY'S UTILITY WORK—SCOPE OF WORK

- 12" water main line
- 15" and 8" sanitary sewer lines
- Any deviations to the foregoing approved by NorthPoint in its reasonable discretion.

EXHIBIT C

Easement Descriptions

January 13, 2020

**DESCRIPTION OF A UTILITY EASEMENT
ALONG AND EAST FROM RAGER ROAD, NORTH OF U.S. RTE. 33,
CITY OF CANAL WINCHESTER, FRANKLIN CO., OHIO**

Situated in the State of Ohio, County of Franklin, City of Canal Winchester, in the northeast quarter of Section 23 and in the northwest and southwest quarters of Section 24, Township 11 North, Range 21 West, Congress Lands and being an easement, for utility purposes, through a portion of a 110.244 acre tract of land conveyed to _____, by deed of record in Instrument No. _____, said easement bounded and described as follows:

Beginning at a point at the southeast corner of a 0.43 acre tract of land conveyed, as Parcel 66A-WD for Rager Road roadway purposes, to the State of Ohio, by deed of record in Deed Book 3270, Page 459, in the east right-of-way line of Rager Road (variable width) and at a corner of said 110.244 acre tract;

thence N 19° 55' 33" E along a west line of said 110.244 acre tract and along an east line of said 0.43 acre tract a distance of 32.96 feet to a point;

thence crossing a portion of said 110.244 acre tract the following eight (8) courses:

1. S 86° 19' 20" E a distance of 70.03 feet to a point;
2. S 03° 40' 40" W a distance of 65.00 feet to a point;
3. N 86° 19' 20" W a distance of 49.25 feet to a point;
4. S 03° 40' 40" W a distance of 330.51 feet to a point;
5. S 59° 03' 41" E a distance of 694.34 feet to a point;
6. S 61° 29' 09" E a distance of 1235.23 feet to a point;
7. S 39° 14' 05" E a distance of 183.02 feet to a point;
8. S 61° 44' 05" E a distance of 272.48 feet to a point in an east line of said 110.244 acre tract and in a west line of a 41.990 acre tract of land conveyed to The Mountain Agency, LLC, by deed of record in Instrument No. 201110030124958;

thence S 04° 29' 47" W along a portion of an east line of said 110.244 acre tract and along a portion of a west line of said 41.990 acre tract a distance of 32.78 feet to a point;

thence crossing a portion of said 110.244 acre tract the following four (4) courses:

1. N 61° 44' 05" W a distance of 291.66 feet to a point;
2. N 39° 14' 05" W a distance of 183.09 feet to a point;
3. N 61° 29' 09" W a distance of 1,229.96 feet to a point;
4. N 59° 03' 41" W a distance of 713.27 feet to a point in the east right-of-way line of Rager Road (40 feet in width this section);

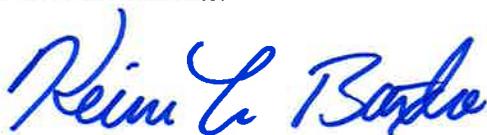
thence N 03° 40' 40" E crossing a portion of said 110.244 acre tract and along the east right-of-way line of Rager Road a distance of 382.16 feet to the place of beginning;

containing 2.003 acres of land, more or less.

TOGETHER WITH: A temporary construction easement along, adjacent to and fifty (50) feet easterly of the entire easterly lines of said above described permanent easement and along, adjacent to and fifty (50) feet northerly of the entire northerly lines of said above described permanent easement;

containing 3.199 acres of land, more or less.

The above description was prepared by Kevin L. Baxter, Ohio Surveyor No. 7697, of Bird + Bull, Inc., Consulting Engineers & Surveyors, Columbus, Ohio from best available Court House research, in December, 2019. Basis of bearings is the centerline of U.S. Rte. 33 ~ Southeast Parkway (FRA-33-(26.21-30.13)), being N 61° 15' 01" W, between Franklin County Engineer's Monuments 10-693 and 9-693, Ohio State Plane Coordinate System (South Zone - NAD 83, 2011 Adjustment) and all other bearings are based upon these monuments.



Kevin L. Baxter ~ Ohio Surveyor #7697

01/13/2020



January 13, 2020

**DESCRIPTION OF A SANITARY SEWER EASEMENT
ALONG AND EAST FROM RAGER ROAD, NORTH OF U.S. RTE. 33,
CITY OF CANAL WINCHESTER, FRANKLIN CO., OHIO**

Situated in the State of Ohio, County of Franklin, City of canal Winchester, in the northeast quarter of Section 23, Township 11 North, Range 21 West, Congress Lands and being an easement twenty (20) feet in width, for sanitary sewer purposes, through a portion of a 110.244 acre tract of land conveyed to _____, by deed of record in Instrument No. _____, said easement bounded and described as follows:

Beginning, for reference, at a point at the southeast corner of a 0.43 acre tract of land conveyed, as Parcel 66A-WD for Rager Road roadway purposes, to the State of Ohio, by deed of record in Deed Book 3270, Page 459, in the east right-of-way line of Rager Road (variable width) and at a corner of said 110.244 acre tract;

thence N 19° 55' 33" E along a west line of said 110.244 acre tract and along an east line of said 0.43 acre tract a distance of 129.77 feet to a point;

thence N 10° 16' 09" E along a west line of said 110.244 acre tract and along an east line of said 0.43 acre tract a distance of 100.35 feet to a point at the true place of beginning of the easement herein intended to described;

thence N 04° 15' 50" E along a portion of a west line of said 110.244 acre tract and along a portion of an east line of said 0.43 acre tract a distance of 22.00 feet to a point;

thence S 85° 15' 15" E crossing a portion of said 110.244 acre tract a distance of 865.65 feet to a point;

thence S 04° 44' 45" W crossing a portion of said 110.244 acre tract a distance of 20.00 feet to a point;

thence N 85° 15' 15" W crossing a portion of said 110.244 acre tract a distance of 845.48 feet to a point;

thence S 04° 15' 50" W crossing a portion of said 110.244 acre tract a distance of 194.27 feet to a point;

thence N 86° 19' 20" W crossing a portion of said 110.244 acre tract a distance of 20.00 feet to a point;

thence N 04° 15' 50" E crossing a portion of said 110.244 acre tract a distance of 214.65 feet to the true place of beginning;

containing 21,201 square feet (= 0.487 acre) of land, more or less.

TOGETHER WITH: A temporary construction easement along, adjacent to and fifty (50) feet southerly of the entire south line of said above described permanent easement and along, adjacent to and fifty (50) feet easterly of the entire east line (the leg closest to Rager Road) of said above described permanent easement; containing 1.150 acres of land, more or less.

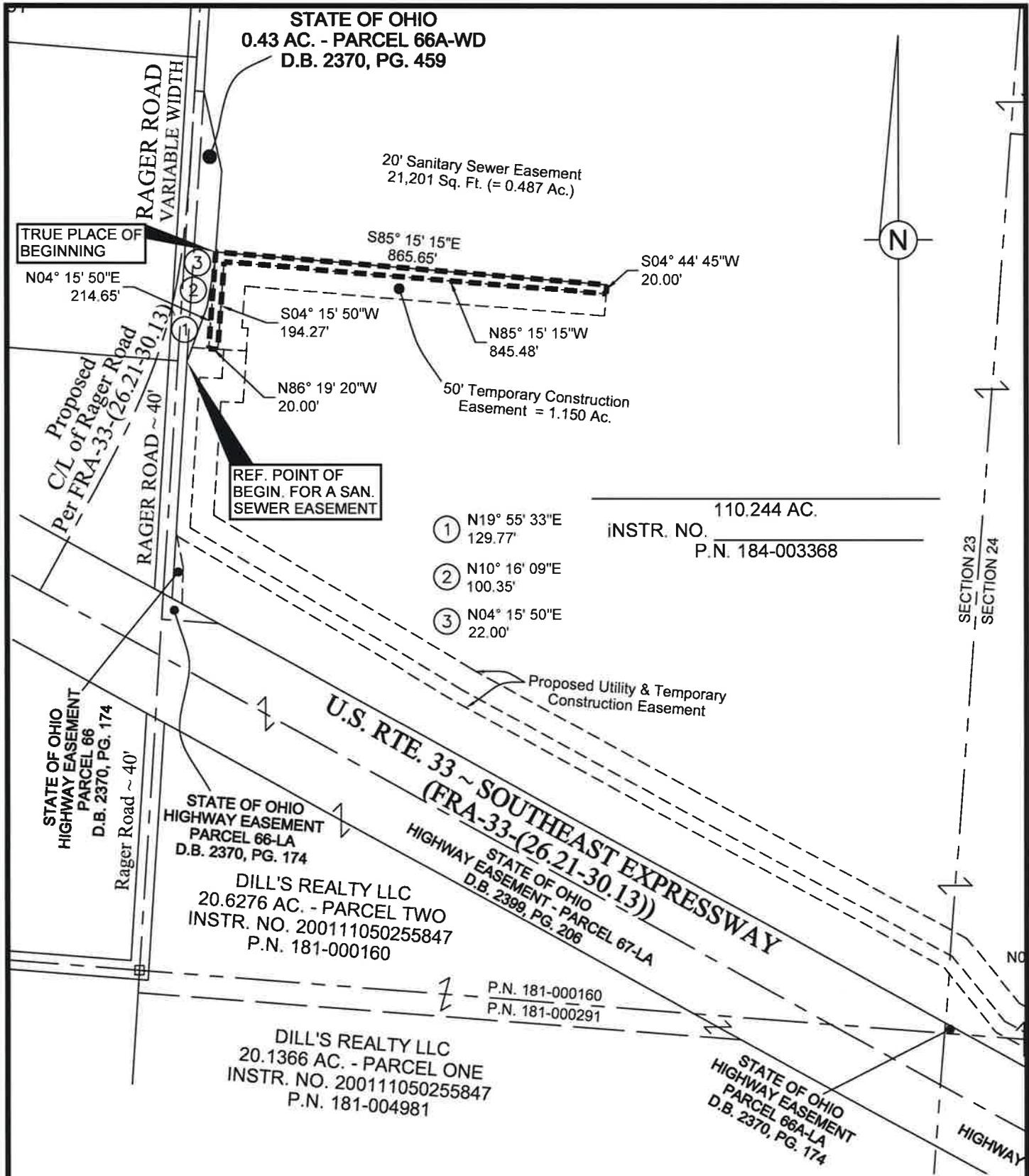
The above description was prepared by Kevin L. Baxter, Ohio Surveyor No. 7697, of Bird + Bull, Inc., Consulting Engineers & Surveyors, Columbus, Ohio from best available Court House research, in December, 2019. Basis of bearings is the centerline of U.S. Rte. 33 ~ Southeast Parkway (FRA-33-(26.21-30.13)), being N 61° 15' 01" W, between Franklin County Engineer's Monuments 10-693 and 9-693, Ohio State Plane Coordinate System (South Zone - NAD 83, 2011 Adjustment) and all other bearings are based upon these monuments.

Kevin L. Baxter

01/13/2020

Kevin L. Baxter ~ Ohio Surveyor #7697

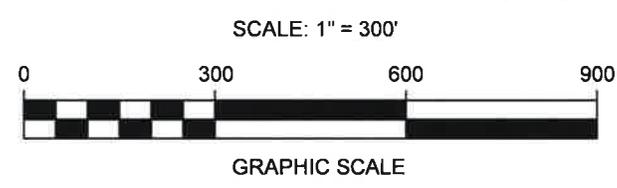




110.244 AC.
 INSTR. NO. _____
 P.N. 184-003368

- ① N19° 55' 33"E
129.77'
- ② N10° 16' 09"E
100.35'
- ③ N04° 15' 50"E
22.00'

BASIS OF BEARINGS: The Centerline of U.S. Rte. 33 ~ Southeast Express (FRA-33-(26.21-30.13)), being N 61° 15' 01" W between Franklin County Engineer's Monuments 10-693 & 9-693, Ohio State Plane Coordinate System (South Zone - NAD 83, 2011 Adjustment) and all other bearings are based upon these monuments



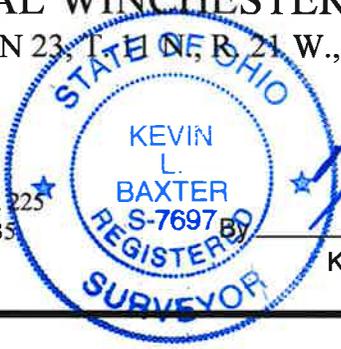
**EXHIBIT OF A SANITARY SEWER EASEMENT
 EAST FROM RAGER ROAD, NORTH OF U.S. RTE. 33
 CITY OF CANAL WINCHESTER, FRANKLIN CO., OHIO
 (SECTION 23, T. 12 N., R. 21 W., CONGRESS LANDS)**

SCALE: 1" = 300'

JANUARY 13, 2020



3500 Snouffer Road, Ste. 225
 Columbus, Ohio 43235
 Ph: (614) 761-1661



Kevin L. Baxter
 Kevin L. Baxter ~ Ohio Surveyor No. 7697

H:\Jobs\20181105\CADD\Survey\Exhibit\18-105 Easements.dwg 01/14/2020

January 13, 2020

**DESCRIPTION OF A WATERLINE EASEMENT
EAST FROM RAGER ROAD, NORTH OF U.S. RTE. 33,
CITY OF CANAL WINCHESTER, FRANKLIN CO., OHIO**

Situated in the State of Ohio, County of Franklin, City of canal Winchester, in the northeast quarter of Section 23, Township 11 North, Range 21 West, Congress Lands and being an easement twenty (20) feet in width, for waterline purposes, through a portion of a 110.244 acre tract of land conveyed to _____, by deed of record in Instrument No. _____, said easement bounded and described as follows:

Beginning, for reference, at a point at the southeast corner of a 0.43 acre tract of land conveyed, as Parcel 66A-WD for Rager Road roadway purposes, to the State of Ohio, by deed of record in Deed Book 3270, Page 459, in the east right-of-way line of Rager Road (variable width) and at a corner of said 110.244 acre tract;

thence N 19° 55' 33" E along a west line of said 110.244 acre tract and along an east line of said 0.43 acre tract a distance of 129.77 feet to a point;

thence N 10° 16' 09" E along a west line of said 110.244 acre tract and along an east line of said 0.43 acre tract a distance of 100.35 feet to a point;

thence N 04° 15' 50" E along a portion of a west line of said 110.244 acre tract and along a portion of an east line of said 0.43 acre tract a distance of 51.87 feet to a point at the true place of beginning of the easement herein intended to described;

thence continuing N 04° 15' 50" E along a portion of a west line of said 110.244 acre tract and along a portion of an east line of said 0.43 acre tract a distance of 20.00 feet to a point;

thence crossing a portion of said 110.244 acre tract the following fifteen (15) courses:

1. S 85° 18' 08" E a distance of 108.65 feet to a point;
2. N 04° 41' 52" E a distance of 9.51 feet to a point;
3. S 85° 15' 15" E a distance of 12.00 feet to a point;
4. S 04° 41' 52" W a distance of 9.50 feet to a point;
5. S 85° 18' 08" E a distance of 339.00 feet to a point;
6. N 04° 41' 52" E a distance of 9.22 feet to a point;
7. S 85° 15' 15" E a distance of 12.00 feet to a point;
8. S 04° 41' 52" W a distance of 9.21 feet to a point;
9. S 85° 18' 08" E a distance of 407.00 feet to a point;
10. N 04° 41' 52" E a distance of 3.00 feet to a point;
11. S 85° 15' 15" E a distance of 10.00 feet to a point;
12. S 04° 41' 52" W a distance of 3.00 feet to a point;
13. S 85° 18' 08" E a distance of 4.00 feet to a point;
14. S 04° 27' 43" W a distance of 20.00 feet to a point;
15. N 85° 18' 08" W a distance of 892.58 feet to the true place of beginning;

containing 18,107 square feet (= 0.416 acre) of land, more or less.

TOGETHER WITH: A temporary construction easement along, adjacent to and thirty (30) feet southerly of the entire south line of said above described permanent easement;

containing 26,991 square feet (= 0.620 acre) of land, more or less.

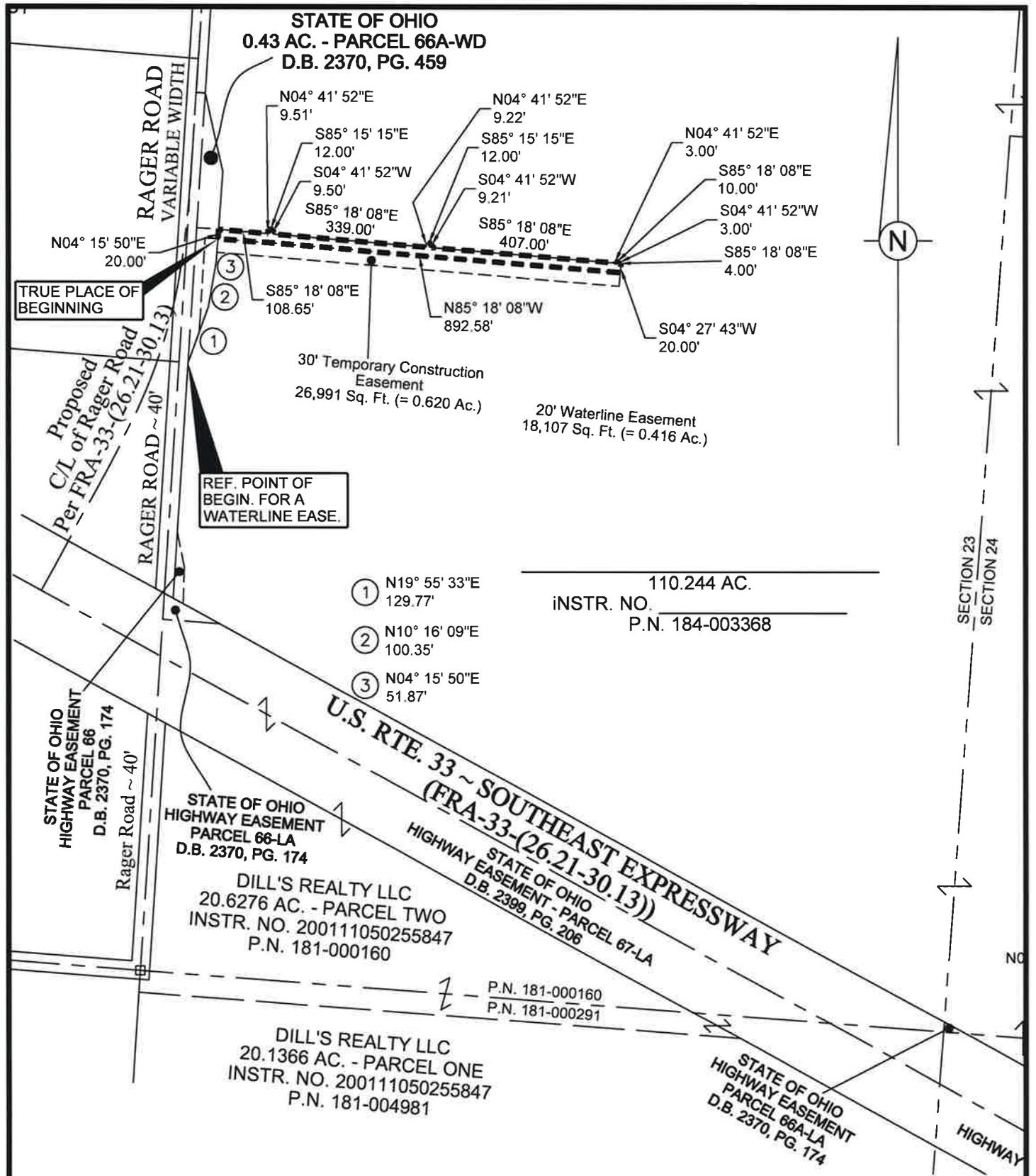
The above description was prepared by Kevin L. Baxter, Ohio Surveyor No. 7697, of Bird + Bull, Inc., Consulting Engineers & Surveyors, Columbus, Ohio from best available Court House research, in December, 2019. Basis of bearings is the centerline of U.S. Rte. 33 ~ Southeast Parkway (FRA-33-(26.21-30.13)), being N 61° 15' 01" W, between Franklin County Engineer's Monuments 10-693 and 9-693, Ohio State Plane Coordinate System (South Zone – NAD 83, 2011 Adjustment) and all other bearings are based upon these monuments.

Kevin L. Baxter

Kevin L. Baxter ~ Ohio Surveyor #7697

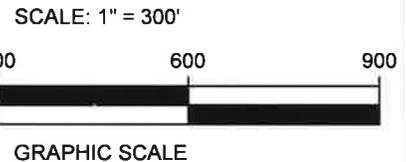


18-105/CW Water Easement



- ① N19° 55' 33"E
129.77'
- ② N10° 16' 09"E
100.35'
- ③ N04° 15' 50"E
51.87'

110.244 AC.
INSTR. NO. _____
P.N. 184-003368



BASIS OF BEARINGS: The Centerline of U.S. Rte. 33 ~ Southeast Express (FRA-33-(26.21-30.13)), being N 61° 15' 01" W between Franklin County Engineer's Monuments 10-693 & 9-693, Ohio State Plane Coordinate System (South Zone - NAD 83, 2011 Adjustment) and all other bearings are based upon these monuments

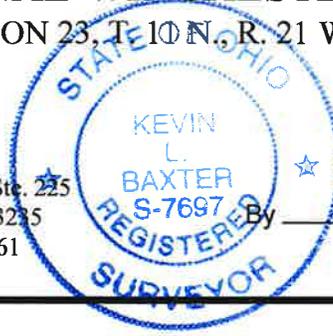
**EXHIBIT OF A WATERLINE EASEMENT
EAST FROM RAGER ROAD, NORTH OF U.S. RTE. 33
CITY OF CANAL WINCHESTER, FRANKLIN CO., OHIO
(SECTION 23, T. 10 N., R. 21 W., CONGRESS LANDS)**

SCALE: 1" = 300'

JANUARY 13, 2020



3500 Snouffer Road, Ste. 225
Columbus, Ohio 43235
Ph: (614) 761-1661



Kevin L. Baxter
By _____
Kevin L. Baxter ~ Ohio Surveyor No. 7697

H:\Jobs\2018\105\CADD\Survey\Exhibit\18-105 Easements.dwg 01/14/2020

EXHIBIT D

DEED OF EASEMENT

NORTHPOINT DEVELOPMENT, LLC, a Missouri limited liability company (hereinafter “Grantor”), who owns the property described in Exhibit A attached hereto (“Grantor’s Property”) pursuant to the deed recorded at Instrument Number _____ in the Franklin County, Ohio, Recorder’s Office, in consideration of One Dollar (\$1.00) and other good and valuable considerations, paid by the CITY OF CANAL WINCHESTER, an Ohio municipal corporation (hereinafter “Grantee”), receipt of which is hereby acknowledged, does hereby, for itself, its heirs, successors and assigns, GRANT AND CONVEY to Grantee, its successors and assigns forever, permanent easements on, over, through, under, and across Grantor’s Property: (i) to construct, install, operate, repair, replace, relocate, inspect and maintain water lines, together with all appurtenances incidental thereto, including but not limited to hydrants in the locations set forth on Exhibit B (the “Water Line Easement”), (ii) to construct, install, operate, repair, replace, relocate, inspect and maintain sanitary sewer lines, and tributary connections and appurtenant work in any part in the location set forth on Exhibit C (the “Sewer Line Easement”); and (iii) to construct, install, operate, repair, replace, relocate, inspect and maintain utility lines, which utilities may include natural gas, electric, water, storm sewer, sanitary sewer, internet, cable television, fiber optics, and telephone services in the location set forth on Exhibit D (the “Utility Easement Area”). The Water Line Easement Area, Sewer Line Easement Area and Utility Easement Area are at times collectively referred to as the “Easement Areas”. Grantor also grants and conveys to Grantee temporary construction easements as shown on Exhibits B, C, and D respectively. In addition, Grantor grants and conveys to grantee the right of ingress and egress at all reasonable times for the purposes aforesaid, on, over, through, under and across the Grantor’s Property to the Easement Areas.

To have and to hold said easements and rights-of-way, with all of the privileges and appurtenances thereto belonging, to said Grantee, its successors and assigns forever.

The easement granted hereby includes the right to trim and/or remove any trees or shrubbery which may hereafter interfere with the construction, reconstruction, operation and maintenance of said line, within the limits of the Easements.

The Grantee, its successors and assigns, shall have the right of ingress and egress from the site occupied by said line and appurtenances, and the right to do any and all things necessary, proper or incidental to the successful operation and maintenance thereof. The Grantor shall have

the right to use the Easement Areas for purposes not inconsistent with the Grantee's, and its successors and assigns, full enjoyment of the rights herein granted.

The consideration herein mentioned includes total compensation for grant of the easements and rights-of-way and for all damage caused by construction, installation, operation, repair, replacement, relocation, inspection and maintenance within the easement, provided however, that the Grantee, its successors and assigns, shall restore all property, including fences, except buildings or other structures, within the Easement Areas, to its original condition insofar as practicable, after entering upon said premises for any of the purposes herein set forth, including construction, repair, maintenance, replacement, relocation, operation, inspection and maintenance of all facilities and improvements of the Grantee, its successors and assigns, located within such Easement Areas and rights-of-way; provided, however, that Grantee shall have no obligation to restore paving, lighting, landscaping, drainage, or other improvements installed in the Easement Areas by Grantor subsequent to this grant of easement.

Grantor, for itself, its heirs, successors and assigns, covenants with the Grantee, its successors and assigns, that Grantor is lawfully seized of the premises and that Grantor will forever warrant and defend the same unto the Grantee, its successors and assigns, against all claims of all persons whomsoever.

IN WITNESS WHEREOF, the Grantor has hereunto caused Grantor's name to be subscribed this _____ day of _____, 2020.

NORTHPOINT DEVELOPMENT, LLC

By: _____

Its: _____

STATE OF _____

COUNTY OF _____, SS:

Before me, a Notary Public, personally appeared _____, an authorized representative of NorthPoint Development, LLC, who acknowledged the signing of the foregoing instrument to be his and its voluntary act and deed for the uses and purposes therein mentioned.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed my official seal this _____ day of _____, 2020.

Notary Public

This instrument prepared by: James S. Gray, Esq., Frost Brown Todd LLC, 10 W. Broad Street, Ste. 2300, Columbus, Ohio 43215

ORDINANCE NO. 20-008

AN ORDINANCE TO REPEAL CHAPTER 1130 OF THE CODIFIED ORDINANCES OF THE CITY OF CANAL WINCHESTER

WHEREAS, with the approval of Ordinance 18-047, which adopted Residential Appearance Standards set forth in Chapter 1198 of the Codified Ordinances, the City's Codifier has requested that Chapter 1130 of the Codified Ordinances, which set forth the previous version of the Planning and Zoning Residential Standards, be formally repealed; and,

WHEREAS, Council hereby finds and determines that it is in the best interest of the City of Canal Winchester to repeal Chapter 1130 of the Codified Ordinances.

NOW THEREFORE BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, STATE OF OHIO:

Section 1. That Chapter 1130 is hereby repealed.

Section 2. That this Ordinance shall take effect and be in force from and after the earliest period allowed by law.

DATE PASSED _____

PRESIDENT OF COUNCIL

ATTEST _____

CLERK OF COUNCIL

MAYOR

APPROVED AS TO FORM:

_____ DATE APPROVED

LEGAL COUNSEL

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by the Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.

Clerk of Council

ORDINANCE NO. 18-047

AN ORDINANCE ADOPTING SECTION 1198 OF THE CODIFIED ORDINANCES REGARDING RESIDENTIAL APPEARANCE STANDARDS

WHEREAS, City Council had formed a committee to review standards for residential development in the City of Canal Winchester to further assist developers and city officials in the preparation and review process of said developments; and

WHEREAS, the Residential Appearance Standards prepared by the committee have been presented to the Planning and Zoning Commission who held a public hearing and subsequently recommended their adoption by City Council; and

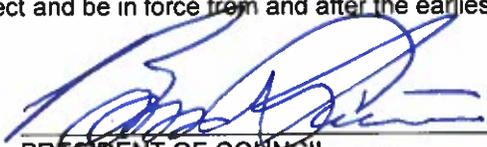
WHEREAS, Ordinance 82-06 adopting Section 1130 Planning and Zoning Residential Standards shall be repealed;

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, STATE OF OHIO:

SECTION 1. Section 1198 Residential Appearance Standards attached hereto as Exhibit "A" are hereby adopted.

SECTION 2. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

DATE PASSED: 1/7/19

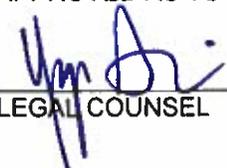

PRESIDENT OF COUNCIL

ATTEST: Amanda M Jackson

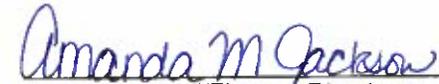

MAYOR

1-8-19
DATE APPROVED

APPROVED AS TO FORM:


LEGAL COUNSEL

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.


Clerk of Council/Finance Director

ORDINANCE NO. 20-009

AN ORDINANCE APPROVING THE FINAL DEVELOPMENT PLAN FOR OUTLOT 3 IDENTIFIED IN THE MEIJER OUTPARCEL DEVELOPMENT PATTERN BOOK, AND DECLARE AN EMERGENCY

WHEREAS, the final development plan for Outlot 3 of the Meijer Development has been approved with conditions by the Planning and Zoning Commission; and

WHEREAS, Council approved the Meijer Store and Outparcel Development Pattern Book with Ordinance 74-06; and

WHEREAS, per Ordinance No. 52-01, all final development plans of the Pifer property are also to be approved by the Council of the City of Canal Winchester.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, STATE OF OHIO:

SECTION 1. That the City Council hereby approves the Final Development Plan for Outlot 3 of the Meijer Development which is attached hereto as Exhibit A, subject to and conditioned upon, with the following conditions:

1. The electric transformer be screened on three sides by the arborvitae shown on the plan.
2. The FDC be relocated per Violet Township Fire Dept. recommendation.

SECTION 2. That this ordinance is hereby declared to be an emergency measure, necessary for the preservation of public health, safety, and welfare, such an emergency arising from the need to meet a specific construction schedule; wherefore this ordinance shall take effect and be in force from and after its passage.

DATE PASSED _____

PRESIDENT OF COUNCIL

ATTEST _____
CLERK OF COUNCIL

MAYOR

DATE APPROVED

APPROVED AS TO FORM:

LEGAL COUNCIL

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by the Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.

CLERK OF COUNCIL

February 11, 2020

Tim Dwyer
Leesman Engineering and Assoc.
4820 Glenway Ave
Cincinnati, OH 45238

Re: Application #FDP-20-001

To Whom it May Concern:

The Planning and Zoning Commission heard your above referenced application at their February 10, 2020 meeting. Following discussion, the Commission passed a motion to approve Final Development Plan application #FDP-20-001 with the following conditions and recommend to City Council for approval:

1. The electric transformer be screened on three sides by the arborvitae shown on the plan.
2. The FDC be relocated per Violet Township Fire Dept. recommendation.

A copy of the approved plans has been included with this letter.

This application is scheduled for the first reading on the February 18, 2020 Council Agenda.

If you have any questions regarding the above, please give me a call at (614) 837-6742 or e-mail me at amoore@canalwinchesterohio.gov.

Sincerely,

Andrew Moore
Planning and Zoning Administrator

**Final Development Plan #FDP-20-001
Shooters Sports Grill**

Owner: Meijer Stores Limited Partnership
Applicant: Shooters Franchise OH 5, LLC
Location: Outlot 3 of Meijer Outparcels (PID 042-389000)
Existing Zoning: PID (Planned Industrial District)
Proposed Use: New 6,620 sq. ft. Shooters Sports Grill Restaurant

Location and Surrounding Land Uses

The subject property is zoned PID (Planned Industrial District) and consists 1.99 acres (Outlot 3) in front of the Meijer store located at 8300 Diley Road. Outparcels to the north and south are part of the Meijer Planned District zoned PID. Property to the east is the Meijer Store, zoned PID. Property to the west is the Diley Medical Center zoned PCD (Planned Commercial District).

Setbacks

Building Setback

- Diley Road: 50' Build-to line
- Side Yard: 25'
- Rear Yard 25'

Parking Setback

- Diley Road: 50'
- North Setback: 20'
- South Setback: 10'
- East Setback: 20'

Analysis

The subject property is zoned PID (Planned Industrial District) and is subject to the Meijer Outparcel Development Pattern Book that was approved by City Council with ORD-74-06 on September 5, 2006. The outparcel development pattern book set a standard for building orientation and design, site layout, landscaping standards and signage regulations. The development was designed with the intent of all buildings to face outwardly and not internally to the development with a cohesive architectural design and enhanced landscape requirements.

The building being proposed for outlot 3 is a standalone restaurant consisting of approximately 6,620 sq. ft. The restaurant is positioned to face both Diley Road and to the North with dual entryways. The facility also features an 890 sq. ft. patio on the front of the building facing Diley Road.

Access and parking

The subject site is accessed from Road 'B' of the Meijer development with a single curb cut internal to the development. The site plan shows a total of 84 parking spaces to be provided on the north and east ends of the proposed building. The Meijer development text prohibits any pavement between the building and Diley Road.

The Meijer outparcel development pattern book indicates that building entries shall be convenient for parking but also acknowledge the importance of the public realm. The subject site has an entry facing both Diley Road and the parking areas to the north, meeting this requirement.

Additionally, the development standards require the site design to accommodate vehicular and pedestrian circulation that minimizes conflict and each structure must create a pedestrian connection to the circulation systems of the surrounding development. The applicant is showing a 5 foot concrete walk connecting the building to the existing asphalt multi-use path along Diley Road and a 5 foot concrete sidewalk around the east and north of the site.

Utilities

- Sanitary sewer service to the site is provided to the east with an 8" main that serves the development.
- Water service is provided by extending the 8" public water main from the north to the south, completing the loop for the outparcels 3-5.
- Storm Water is provided from an existing 30" pipe to the south of the site that will connect the storm water for outparcels 3-5 to the detention basin to the south. The applicant is showing connecting their internal stormwater with a series of pipes to the development main storm line.
- The fire department FDC location is shown on the south side of the building in the dumpster pad area. Violet Township Fire Dept. recommends that it be relocated as a remote FDC located to the south of the electric transformer so it is parallel with the private hydrant in the parking island.

The outparcel development pattern book discusses that all service areas, storage areas and refuse enclosures shall be screened from public view (all roads), and screened from adjacent sites and be constructed with decorative construction materials on all four sides. All utilities are to be screened by landscape or buildings to the extent allowable.

- The dumpster enclosure is proposed to be a 8 foot three sided brick enclosure with metal gate screened to the south by arborvitae.
- The electric transformer is on the west side of the building adjacent to the cooler. Staff recommends that the transformer be relocated to be behind the 3 arborvitae located to the south of the transformer.

Landscaping and Lighting

The Meijer outparcel development pattern book discusses that the landscaping shall blend with the area and shall be provided at the base of buildings to anchor them to the surrounding environment. Trees shall be used through paved areas to reduce heat build-up and glare and dense landscaping and architectural treatments shall be used to screen storage areas, trash enclosures, utility cabinets, and other similar elements.

The development pattern book requires the interior landscaping area shall be a minimum of 10% of the total area of the parking lot pavement and shall be used to visually break up the pavement, provide runoff filtration and provide landscaping walking paths between parking lots and the building. All

parking areas are to be screened from all roads with evergreen or deciduous hedge with a minimum 18” installation and maintained at a 4 foot height. The hedges can be staggered or broken up by masonry columns or trees to prevent monotony.

Parking lots shall incorporate 1 tree island per 6 parking spaces with a minimum of 1 shade tree per island. Islands must be a minimum of 8 feet curb-face to curb-face and no less than 100 square feet. Each tree within the island must be able to mature to a canopy of 20 feet minimum. The applicant is showing 16 trees around the parking lot meeting this requirement.

The building is required to provide a minimum planting width of 3 feet adjacent to the building with multi-stemmed ornamental trees, shrubs, perennial flowers and ground cover, consisting of no less than 40% of the building perimeter. The building perimeter landscaping meets this requirement.

The proposed lighting plan features nine (9) parking lot lights that are proposed to be a max 16 foot tall with a decorative bell shaped fixture. The proposed lighting meets the specs of the outparcel development book.

Architecture

The Meijer outparcel development pattern book requires that similar colors, materials and textures of the buildings need to match that of the Meijer store. Details and features on the Meijer building should be incorporated to the smaller scale of the outparcel developments. All sides of the buildings shall express a consistent architectural detail and character.

The outparcel development pattern book states that buildings shall be designed to reduce their visual impact and provide a human scale by installing elements such as planters and site walls, architectural wainscot treatments, pronounced eaves and cornices, subtle changes in color and texture and breaking down buildings into distinct masses while providing covered pedestrian frontages and recessed entries. The development pattern book prohibits gradation in paint color, extended bands of vibrant or contrasting colors/logos, long uninterrupted expanses of glass and floor to ceiling glass storefront treatments.

Buildings with flat roofs are required to have the integration of strong cornice lines. All flat roofs shall be required to have a parapet and or means of screening all rooftop mechanical equipment. The proposed building has a flat roof and the applicant indicates that it will meet the screening requirements with a metal HVAC screening.

All buildings are required to be traditional and natural in appearance such as brick, precast stone, wood and glass. No less than 60% of each façade shall be brick or stone. The proposed building is comprised of brick, stone and Eifs and meets the 60% brick requirement.

The street frontage of the building walls shall be no less than 40% window glass. The applicant is proposing 46.3% window glass on the Diley Road elevation.

Signage

The Meijer Outparcel Development Text has the following signage regulations:

1. When multiple corporations share one site, signs shall be integrated as one (1) unit to create shared identity for the property to the extent permitted by the ordinance or be located and or designed as a package.

2. Wall signs shall be composed of individual letters.
 - a. Back lit or indirectly lit individual letters are generally desirable.
 - b. Internally illuminated signs are prohibited.
 - c. Visible raceways and transformers for individual letters are not permitted.
 - d. Wall sign character height is max 24 inches.
 - e. Wall signs shall not exceed 1 square foot per linear foot of building frontage of the individual business. No individual sign shall exceed 200 sq. ft.
3. One wall sign per individual tenant frontage. Corner lots shall be allowed two (2) wall signs, one facing each roadway.
4. No roof signs. No signs with animation. No banners as permanent signs.
5. Each tenant may have a projecting sign not to exceed 4 sq. ft.
6. No monument signs permitted for the outlots.

The applicants signage drawings show metal individual letters that are back-lit on an oval background meeting the requirements for the wall signage.

Staff Recommendation

Staff recommends that Final Development Plan application FDP-20-001 be approved with the following conditions:

1. The electric transformer be screened on three sides by the arborvitae shown on the plan.
2. The FDC be relocated per Violet Township Fire Dept. recommendation.



City of Canal Winchester

36 South High Street
Canal Winchester, Ohio 43110
Development Department
Phone (614) 837-7501 Fax (614) 837-0145

DEVELOPMENT PLAN APPLICATION

_____ Preliminary X Final

rev. 09/24/2013

PROPERTY OWNER

Name Shooters Franchise OH 5, LLC

Address _____

Daytime Phone 614-419-5021 Email hedge43@gmail.com

APPLICANT

Name Leesman Engineering and Associates - Tim Dwyer

Address 4820 Glenway Avenue

Daytime Phone 513-702-0571 Email email@leesmanengineering.com

Address/Location of Subject Property Meijer Store #246 - Outlot 3

Tax Parcel ID (not yet created) Current Zoning Planned Industrial Acreage 1.99

Attach a current survey (within 2 years) of the subject property and all supporting materials as required by Chapter 1141 and Chapter 1173 as applicable (see attachment). Additional information may be required by the Planning and Zoning Administrator or the Planning and Zoning Commission.

I certify that the information provided with this application is correct and accurate to the best of my ability.

1-8-2020

Property Owner's or Authorize Agent's Signature

Date

DO NOT WRITE BELOW THIS LINE

Date Received: ___/___/___

Fee: \$ _____
Paid

Historic District: ___ Yes ___ No

Preservation District: ___ Yes ___ No

Date of Action: ___/___/___

Application ___ No

Expiration Date: ___/___/___

Approved: ___ Yes

___ Yes, with conditions

Tracking Number: PDP - _____



LEESMAN ENGINEERING & ASSOCIATES

2720 Topichills Dr. ♦ Cincinnati, OH 45248 ♦ Phone 513-417-0420 ♦

Email: email@leesmanengineering.com

OUTLOT 3

1.989 ACRES

VILLAGE OF CANAL WINCHESTER, FAIRFIELD COUNTY, OHIO

SITUATED IN THE STATE OF OHIO, COUNTY OF FAIRFIELD, TOWNSHIP OF VIOLET AND CITY OF CANAL WINCHESTER, BEING IN SECTION 28, TOWNSHIP 15, RANGE 20, CONGRESS LANDS, BEING PART OF THE 56.115 ACRE TRACT OF LAND CONVEYED TO MEIJER STORES LIMITED PARTNERSHIP OF RECORD IN OFFICIAL RECORD 1459, PAGE 766, RECORDER'S OFFICE, FAIRFIELD COUNTY OHIO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A MONUMENT BOX FOUND WITH A 3/4-INCH SOLID IRON PIPE, 36 INCHES LONG WITH AN ALUMINUM CAP INSCRIBED TRUCCO CONSTRUCTION ODOT C/L P.S. 7961, IN THE CENTERLINE OF DILEY ROAD AT THE NORTHWESTERLY CORNER OF SAID SECTION 28, THE SAME BEING THE NORTHEASTERLY CORNER OF SECTION 29, THE SOUTHEASTERLY CORNER OF SECTION 20; THENCE S 04°42'50" W, WITH THE CENTERLINE OF SAID DILEY ROAD, THE WESTERLY LINE OF SAID SECTION 28, A DISTANCE OF 284.41 FEET TO A POINT;

THENCE WITH THE COMMON PROPERTY LINE OF A 0.066 ACRE TRACT CONVEYED AS PARCEL 46-WDV TO BOARD OF FAIRFIELD COUNTY COMMISSIONERS BY DEED OF RECORD IN OFFICIAL RECORD 1180, PAGE 977, AND A 0.879 ACRE TRACT CONVEYED AS PARCEL 40-WDV TO BOARD OF FAIRFIELD COUNTY COMMISSIONERS BY DEED OF RECORD IN OFFICIAL RECORD 1324, PAGE 81, S 87°21'47"E 65.56 FEET TO A SET IRON PIN AND CAP #8352 AND THE TRUE POINT OF BEGINNING;

THENCE THE FOLLOWING SEVEN (7) COURSES;

- 1) S87°21'47"E A DISTANCE OF 16.63 FEET TO A SET IRON PIN AND CAP #8352;
- 2) N22°15'01"E A DISTANCE OF 34.64 FEET TO A SET IRON PIN AND CAP #8352;
- 3) S85°14'15"E A DISTANCE OF 303.70 FEET TO A SET IRON PIN AND CAP #8352;
- 4) S16°32'12"E A DISTANCE OF 33.09 FEET TO A SET IRON PIN AND CAP #8352;
- 5) S04°45'45"W A DISTANCE OF 226.08 FEET TO A SET IRON PIN AND CAP #8352;
- 6) N85°14'35"W A DISTANCE OF 338.18 FEET TO A SET IRON PIN AND CAP #8352;
- 7) N03°35'30"E A DISTANCE OF 223.33 FEET TO A SET IRON PIN AND CAP #8352 TO THE TRUE POINT OF BEGINNING.

SAID PARCEL OF LAND CONTAINING 1.989 ACRES, MORE OR LESS SUBJECT HOWEVER TO ALL COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, AND EASEMENTS CONTAINING IN ANY INSTRUMENT OF RECORD PERTAINING TO THE ABOVE DESCRIBED TRACT OF LAND. THIS DESCRIPTION WAS PREPARED FROM A FIELD SURVEY PERFORMED BY STEVEN J. LEESMAN OHIO LICENSE #8352 ON AUGUST 16, 2019 WITH BEARINGS BASED UPON LEGAL DESCRIPTION OF OFFICIAL RECORD 1459, PAGE 766, RECORDER'S OFFICE, FAIRFIELD COUNTY OHIO. ALL PINS SET ARE 5/8" X 36" WITH CAP S.J. LEESMAN WITH CAP #8352.

STEVEN J. LEESMAN

DATE

OH#8352

SHOOTERS SPORTS GRILL

XXXX DILEY ROAD
CANAL WINCHESTER, OHIO 43110

LOT DATA

OUTLOT - MELJER CANAL WINCHESTER, OHIO
PARCEL ID: _____
ZONING - PLANNED INDUSTRIAL

SITE DATA

USES
PROPOSED USE: RESTAURANT
HOURS OF OPERATION: 11am - 1am (SUNDAY TO THURSDAY)
11am - 2:30am (FRIDAY & SATURDAY)

PROPOSED BUILDING:
FLOOR AREA: 7,510 SF (INCLUDING PATIO)

F.A.R. CALCULATION
F.A.R. = 7,510 SQ. FT. / 86,637 SQ. FT. = 8.7%

SETBACK REQUIREMENTS- MELJER SETBACKS
BUILDING
FRONT: 50' (WEST) *BUILD-TO LINE
SIDE: 40' (NORTH)
SIDE: 25' (SOUTH)
REAR: 25' (EAST)

PARKING ANALYSIS

USE: RESTAURANT
PARKING REQUIRED:
REQ(MIN): 1 PER EACH (100) SQUARE FEET OF FLOOR AREA (INCLUDING PATIO)
MINIMUM = 7,510/100 = 76 SPACES
REQ(MAX): (125% x FLOOR AREA)/100
MAXIMUM = 9,387/100 = 94 SPACES

PARKING PROVIDED:

TOTAL PARKING: 86 SPACES
REQUIRED ADA ACCESSIBLE: 4 SPACES (1 VAN & 3 CAR)
PROVIDED ADA ACCESSIBLE: 4 SPACES

FLOOD DATA

MAP NUMBER: NO FEMA FLOOD ZONE STUDY
COMMUNITY NUMBER: 390169
PANEL -
ZONE X
MAP REVISED: NO FLOOD MAP AVAILABLE

ISR CALCULATIONS:

PROPOSED LOT - 1.99 ACRES (86,637 SQ. FT.)
PROPOSED IMPERVIOUS AREA= 48,128 SQ. FT.
ISR= 55.6% IMPERVIOUS

DISTURBED AREA:
1.70 ACRES (ON-SITE)

VICINITY MAP:

N.T.S.



OWNER/DEVELOPER:

SHOOTERS FRANCHISE OH 5, LLC
(614) 419-5021
hedge43@gmail.com

PREPARER/ENGINEER:

LEESMAN ENGINEERING & ASSOC.
ENGINEER: STEVEN J. LEESMAN, PE E-60565
PREPARER: MICHAEL CHANDLER
4820 GLENWAY AVE
CINCINNATI, OHIO 45238
PH: 513-304-7196

UTILITY NOTES AND OWNERS

The utility information shown hereon was taken from actual field evidence, utility agency records, or any other available evidence. Other utilities may exist and may not be shown, or may vary from where shown. No guarantee is expressed or implied in regard to the utility locations shown hereon. The Owner(s) and Contractor(s) should assume responsibility to verify utility existence, size, location, depth, and availability of service, and be solely responsible for contacting the utility location service prior to commencing construction.

WATER & SANITARY SEWER
CITY OF CANAL WINCHESTER
WATER TREATMENT FACILITY
223 N HIGH STREET
CANAL WINCHESTER, OHIO 43110

STORM
CITY OF CANAL WINCHESTER
PUBLIC SERVICES
400 ASHBROOK RD
CANAL WINCHESTER, OHIO 43110
614-834-5111

GAS
NORTHEAST OHIO NATURAL GAS
5640 LANCASTER-NEWARK RD NE
PLEASANTVILLE, OH 43148
800-237-2099

ELECTRIC
SOUTH CENTRAL POWER CO
110 DANVILLE PIKE
HILLSBORO, OH 45133
800-282-5064

CABLE
ATT & SPECTRUM

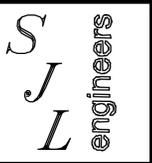
DRAWING INDEX

| SHT # | DESCRIPTION | DATE |
|--------|--|--------------|
| T 1 | TITLE SHEET / DESIGN CRITERIA / VICINITY MAP | 25 NOV. 2019 |
| ALTA | EXISTING CONDITIONS / ALTA SURVEY | 18 OCT. 2019 |
| C 1 | DEMOLITION AND EPSC PHASE 1 | 25 NOV. 2019 |
| C 2 | EPSC PHASE 2 | 25 NOV. 2019 |
| C 3 | SITE PLAN | 25 NOV. 2019 |
| C 4 | GRADING PLAN | 25 NOV. 2019 |
| C 4.1 | STORM SEWER PLAN | 25 NOV. 2019 |
| C 5 | UTILITY PLAN | 25 NOV. 2019 |
| | SITE LIGHTING PLAN | 5 DEC. 2019 |
| C 6 | DETAIL PAGE | 25 NOV. 2019 |
| C 7 | DETAIL PAGE | 25 NOV. 2019 |
| 634859 | CONTECH CS-5 WATER QUALITY UNIT DETAIL | 5 DEC. 2019 |
| L 1 | LANDSCAPE PLAN | 5 DEC. 2019 |
| L 2 | LANDSCAPE PLAN | 5 DEC. 2019 |

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------------|----|------|
| 1 | REVISIONS AND/OR ISSUES | | |



SHOOTERS SPORTS GRILL
 XXXX DILEY ROAD
 CANAL WINCHESTER, OHIO 43110
 LEESMAN ENGINEERING & ASSOC.
 ENGINEERING, SURVEYING, PLANNING
 2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0420



DRAWING TITLE

TITLE SHEET

PROJ. NO. DATE
SSG-CW 11/25/19
DRAWN CHECKED
MDC SJL

DRAWING NO.

T1

The undersigned hereby certifies, as of SEPTEMBER 9, 2019 to

and its successors, nominees and assigns as follows:

- a) I have surveyed, on the ground in accordance with the minimum Standard Detail Requirements for ALTA/ASCM Land Title Surveys as jointly established and adopted by the American Land Title Association and American Congress on Surveying & Mapping and National Society of Professional Surveyors, 2016 and this meets the requirements for an urban survey as defined therein, the property legally described hereof and that said legal description is correct, complete and accurate.
- b) The boundaries of the property as depicted in the plat were established by actual field measurements and the pins, monuments or other markers were set or found as shown.
- c) The size, dimensions and locations of all of the boundaries of the property, buildings, structures, fences and party walls and other improvements, recorded and visible unrecorded easements, streets, signs, drainage ditches, roads, railroads, streams, means of public access, rights of way, utility lines and connections, and set-back lines which affect the property are correctly and accurately shown hereon.
- d) All encroachments, overlaps or overhangs on easements, adjoining property, streets or alleys by any of said buildings, structures or other improvements, are as shown on the drawing. There are no encroachments, no overlaps or overhangs on said property by buildings, structures or other improvements situated on adjoining property and r/w except as shown.
- e) This plat correctly shows (i) the courses and measured distances of the exterior property lines of the property and any easements located on or affecting the property; (ii) the scale, north direction, the beginning point and point of reference from which the property is measured, the width of the streets on which the said property abuts, the lot and block number shown on any map or plat to which reference is made in the legal description of the property, together with the recording references for said map or plat; (iii) the address of the property; (iv) the location and number of parking spaces and the total area of the property in acres and square feet and any easements located on or affecting the property; (v) the dimensions of all buildings on the property at ground surface level and the distance therefrom to the nearest facing exterior property lines; and (vi) names of adjoining owners.
- f) The property lines shown as surveyed and described on the plat is contiguous along its entire boundaries and is not enclosed within the perimeters thereof.
- g) The dimensions shown hereon are expressed in feet and decimal part thereof.
- h) All bearings are related to an assumed meridian and are intended to indicate angles only.
- i) All parcels are contiguous with each other and there are no gaps or gores between or among parcels.
- j) A physical examination of the property reveals no apparent use of the property for pathways, driveways or roadways for which there are not recorded easements nor for solid waste dump, sump, sanitary land fill, drilling, excavating, building, street or sidewalk construction or repairs, or any changes in street right-of-way lines, either completed or proposed, nor does it serve adjoining property for drainage, ingress, egress or any other purpose.
- k) The property has direct frontage to a dedicated, complete and accepted public street maintained by governmental authority know as DILEY ROAD with NO DIRECT ACCESS. Access is being provided via common access drive and easement on and along the NORTHERN property line of subject property. Shared-Access Drive is UNNAMED.
- l) The property does NOT lie within a flood plain. NO FEMA FLOOD MAP AVAILABLE.
- m) A physical examination of the property does not reveal evidence of cemeteries.
- n) There are no parking restrictions on said property.
- o) No portion of the property lies within a federally designated wetlands protection area as determined by the maps of the Army Corps of Engineers, nor within any designated flood hazard area as determined by the U.S. Department of Housing and Urban Development, the Federal Emergency Management Agency or other federal, state or local government entity.
- p) There was NO evidence of building construction during survey.

PROPERTY INFORMATION

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE BEARING OF NORTH 04°42'50" EAST FOR THE CENTERLINE OF DILEY ROAD AS SHOWN ON THE DEED TO MEIJER STORES LIMITED PARTNERSHIP OF RECORD IN O.R. 1459, PG. 766 OF THE FAIRFIELD COUNTY, OHIO RECORDER'S OFFICE.

FLOOD DATA

MAP NUMBER : NO FEMA FLOOD ZONE STUDY
 COMMUNITY NUMBER: 390169
 PANEL -
 ZONE X
 MAP REVISED: NO FLOOD MAP AVAILABLE

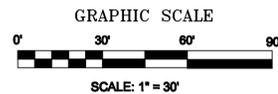
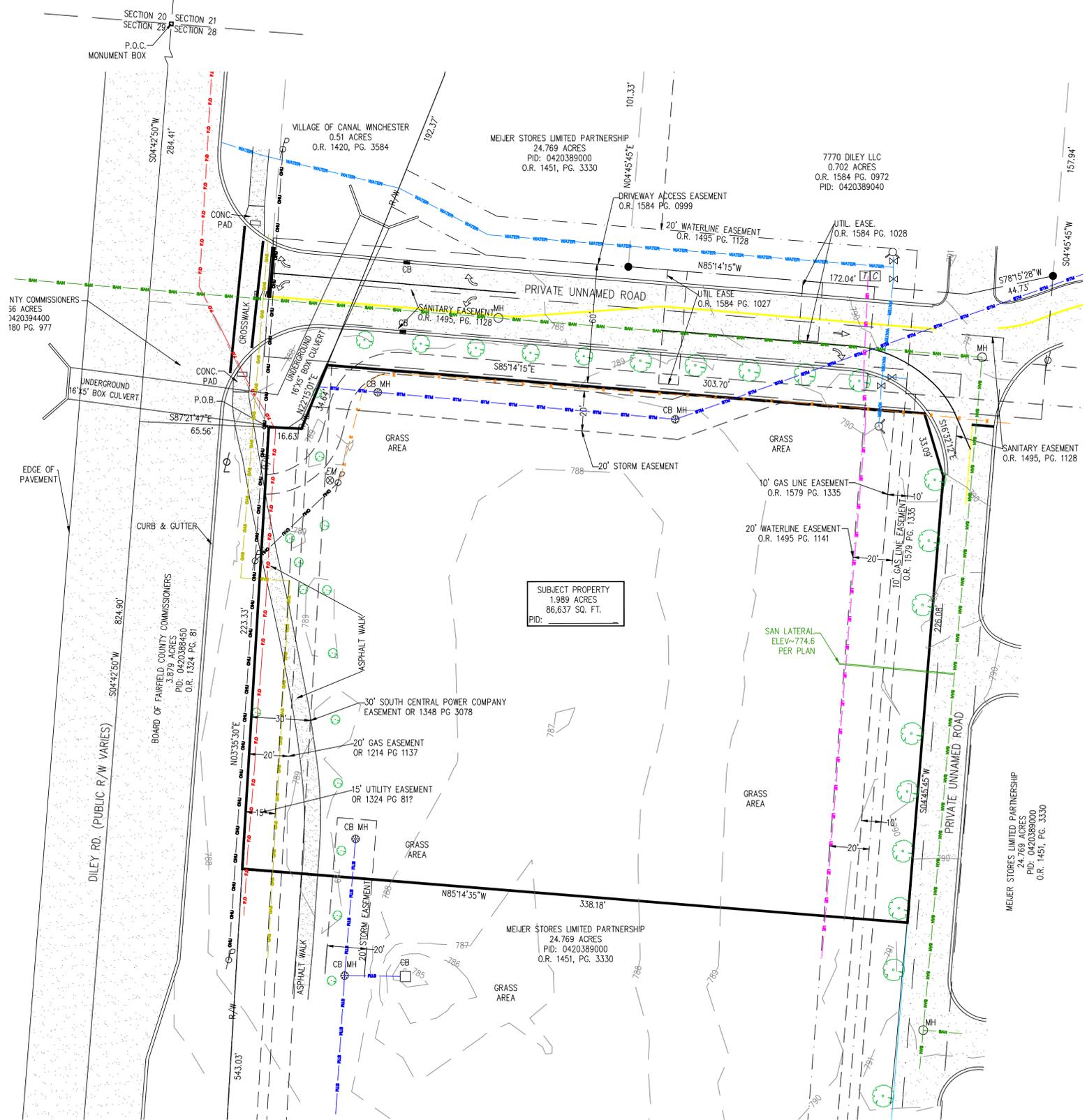
ENCROACHMENT NOTES

DRAWING NOTES

- 1) ALL UTILITIES ARE SHOWN BY VISUAL INSPECTION OF THE SITE OR MARKINGS ON THE GROUND BY OTHERS.
- 2) FROM OBSERVED EVIDENCE AS SHOWN HEREON, GAS, ELECTRIC, STORM, SANITARY SEWER, AND TELEPHONE ARE AVAILABLE FOR THE SUBJECT PROPERTY.
- 3) DATE OF TITLE COMMITMENT: -----

LEGEND

- | | |
|----------------|-------------------|
| ● FOUND I.P. | CB CATCH BASIN |
| ✕ FOUND C.N. | MH MAN HOLE |
| ⊕ LIGHT POLE | EM ELECTRIC METER |
| ⊙ GAS VALVE | ⊠ CABLE BOX |
| ⊙ FIRE HYDRANT | ⊠ TELEPHONE BOX |
| ⊙ WATER VALVE | |

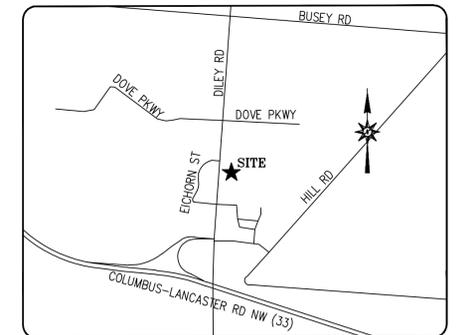


LEESMAN ENGINEERING & ASSOC.
 ENGINEERING, SURVEYING, PLANNING
 2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0420

| DRAWING DATA | REVISIONS | |
|---------------|-----------|----|
| | DATE | BY |
| SCALE: 1"=30' | | |
| DRAWN BY: BRR | | |
| CHECKED BY: | | |
| DWG. No.: | | |

LEGAL DESCRIPTION

SCH. B II ITEMS. COMMITMENT NO. 000



VICINITY MAP
N.T.S.

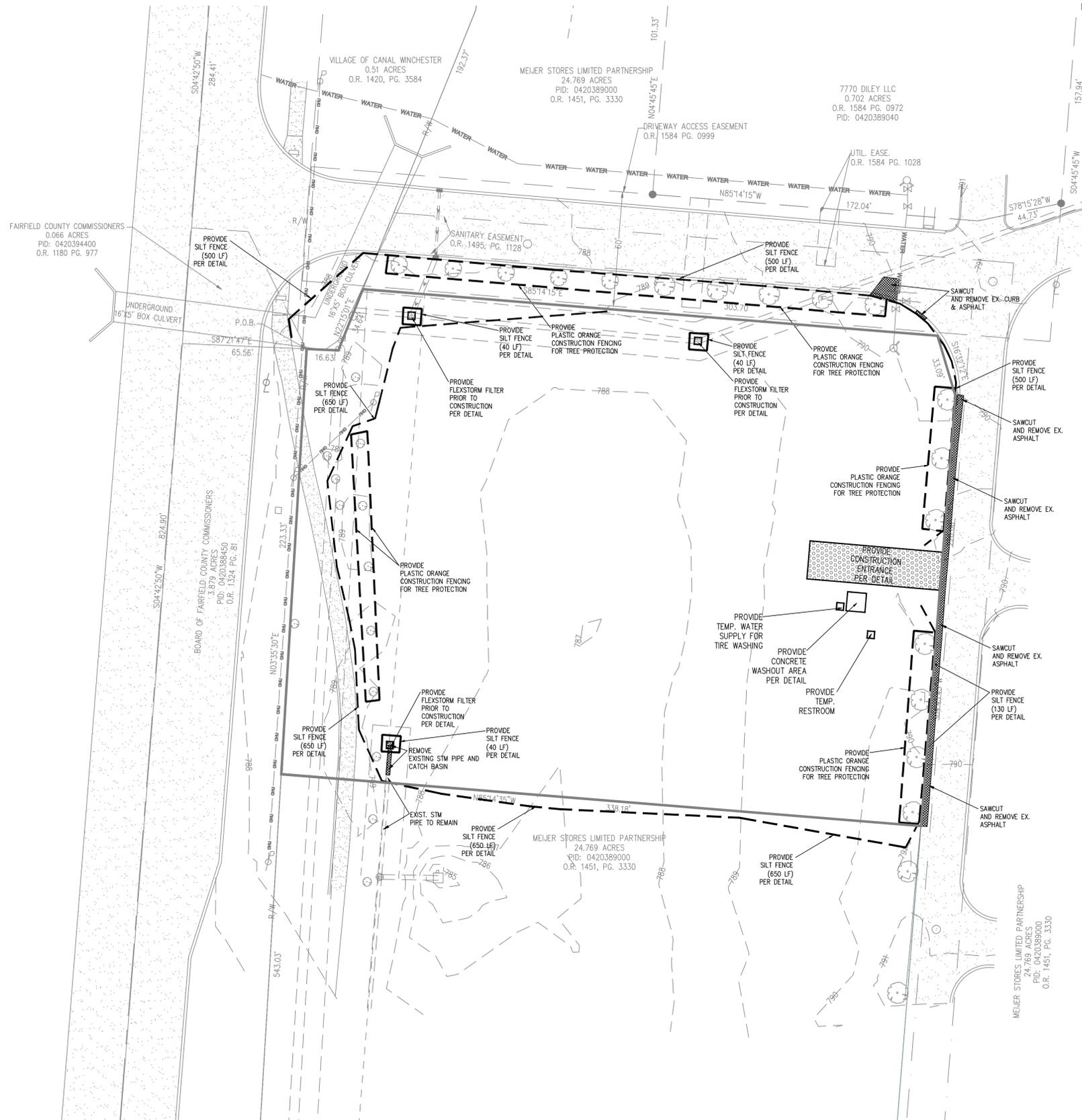
ALTA/NSPS LAND TITLE SURVEY

Date of PLAT/MAP: SEPTEMBER 9, 2019



PRELIMINARY

Steven J. Leesman, Leesman Engineering & Associates
 Registered Land Surveyor
 Reg. No. 8352
 State of Ohio
 Date of survey: AUGUST 26, 2019
 Contact info: email@leesmanengineering.com



DEMOLITION NOTES

- 1) ALL EXISTING UTILITIES ARE SHOWN PER PLANS PROVIDED BY OWNER AND UTILITY DEPARTMENTS. CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO START OF CONSTRUCTION.
- 2) MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED. EPSC BMP'S (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED PER THE PLAN AND CLERMONT COUNTY STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDDED AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM THE STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES. SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, OR CATCH BASIN. WHERE CONSTRUCTION OR LAND DISTURBING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICAL, BUT NO LATER THAN 14 DAYS AFTER ACTIVITY HAS CEASED.

SITE DEMOLITION NOTES:

1. EXISTING TREES ALONG PERIMETER OF SITE TO REMAIN. CONTRACTOR TO LOCATE PROPOSED SIDEWALK AND NOTIFY DESIGN ENGINEER OF CONFLICTS (IF ANY).

EROSION CONTROL NOTES

- 1) ALL AREAS THAT ARE UNPROTECTED SHALL BE SEEDDED IN A TIMELY MANNER. NO UNPROTECTED AREA SHALL BE LEFT UNSEEDDED FOR MORE THAN 14 DAYS.
- 2) USE TEMPORARY SEEDING AND/OR VEGETATION TO PROTECT AREAS THAT ARE BARE SOIL
- 3) USE OF SPRINKLERS OVER DRY SOIL TO KEEP DUST TO A MINIMUM.
- 4) NO WORK SHALL COMMENCE UNTIL ALL SEDIMENT AND EROSION PROTECTION MEASURES HAVE BEEN INSTALLED AND INSPECTED.
- 5) ALL SEDIMENT AND EROSION MEASURES ARE TO BE INSPECTED ON A REGULAR BASIS, IF AT ANY TIME THESE MEASURES ARE TO FAIL THE CONTRACTOR IS TO REPAIR IMMEDIATELY.
- 6) UPON COMPLETION OF GRADING A MINIMUM OF 4 INCHES OF TOPSOIL IS TO BE PLACED OVER GRASSED AREAS. FINAL GRASS SEEDING IS TO BE PER LANDSCAPE ARCHITECT PLAN.
- 7) WHEN PROJECT IS COMPLETE AND INSPECTED THE EROSION CONTROL MEASURES ARE TO BE REMOVED AND SEEDDED PER LANDSCAPE PLAN FINAL SEEDING CHART.
- 8) CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND FUELING EQUIPMENT. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE CONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITTEE.
- 9) STEEP SLOPES (35% GRADE OR GREATER) SHALL BE TEMPORARILY STABILIZED NOT LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY ON THE SLOPE HAS TEMPORARILY OR PERMANENTLY CEASED.

EPSC PHASING

1. INSTALL CONSTRUCTION ENTRANCE & TEMP. RESTROOM
2. INSTALL SILT FENCE
3. INSTALL INLET PROTECTION ON EXISTING CATCH BASINS
4. INSTALL CONC. WASHOUT
5. BEGIN GRADING AND CONSTRUCTION OF STORM DRAINAGE
6. INSTALL INLET PROTECTION ON EACH STRUCTURE AS CONSTRUCTED
7. TEMPORARY SEED AND STRAW DISTURBED AREAS
8. COMPLETE CONSTRUCTION
9. PERMANENT SEED AND STRAW ENTIRE SITE
10. REMOVE SILT FENCE AND INLET PROTECTION ON STRUCTURES

EROSION CONTROL SCHEDULE

ALL EROSION AND SEDIMENT MEASURES ARE TO BE IN PLACE AND INSPECTED PRIOR TO ANY CLEARING OR GRADING. THESE MEASURES SHALL BE CHECKED AND INSPECTED ON A REGULAR BASIS AND AT NO TIME SHALL BE REMOVE UNTIL COMPLETION OF PROJECT AND FINAL APPROVAL FROM CITY STORM WATER DEPT.

EPSC & DEMO PLAN

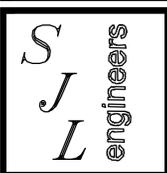


| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------------|----|------|
| 1 | REVISIONS AND/OR ISSUES | | |



SHOOTERS SPORTS GRILL
 XXXX DILEY ROAD
 CANAL WINCHESTER, OHIO 43110

LEEBSMAN ENGINEERING & ASSOC.
 ENGINEERING, SURVEYING, PLANNING
 2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0420



DRAWING TITLE

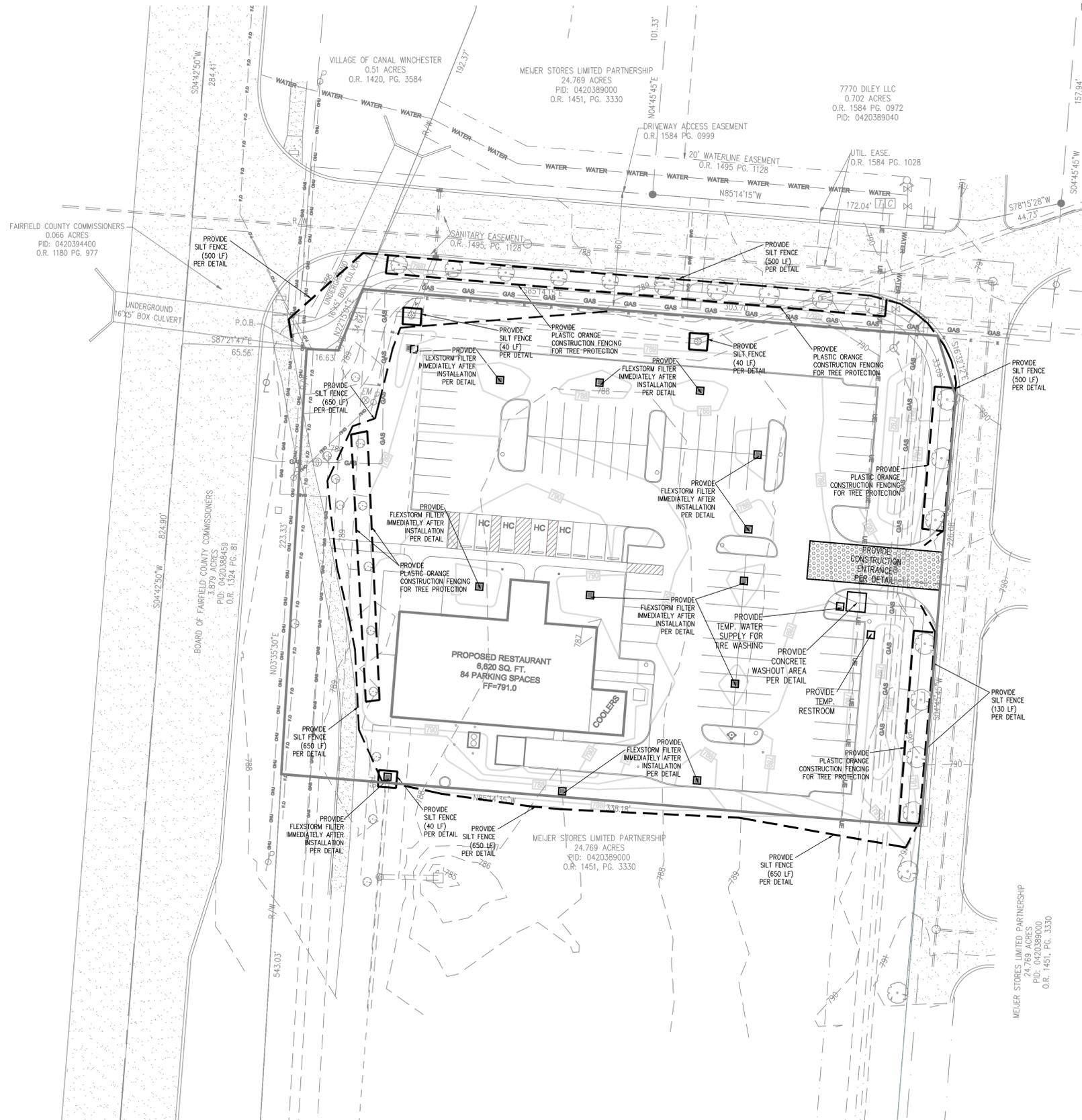
EPSC & DEMO PLAN

| | |
|---------------------|------------------|
| PROJ. NO. SSG-CW | DATE 11/25/19 |
| DRAWN MDC | CHECKED SJL |

3 WORKING DAYS
 BEFORE YOU DIG

DRAWING NO.

C1



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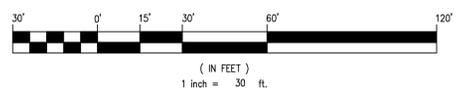
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EROSION CONTROL SCHEDULE

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EPSC-PHASE 2

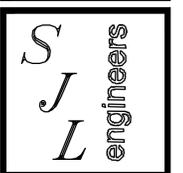


3 WORKING DAYS
BEFORE YOU DIG
UTILITIES PROTECTION SERVICE

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------------|----|------|
| 1 | REVISIONS AND/OR ISSUES | | |



SHOOTERS SPORTS GRILL
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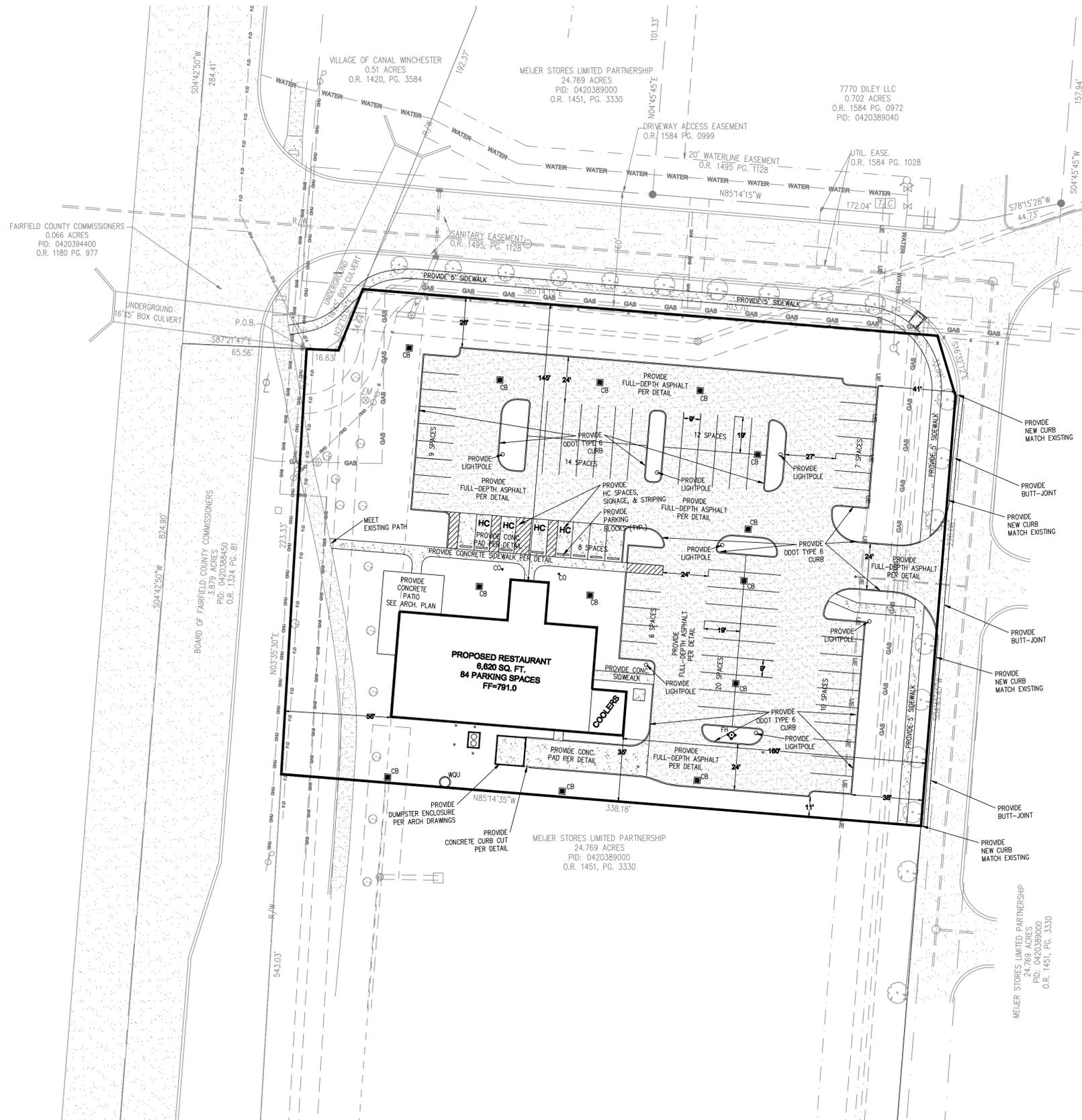


DRAWING TITLE

EPSC-PHASE 2

| | |
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| PROJ. NO. SSG-CW | DATE 11/25/19 |
| DRAWN MDC | CHECKED SJL |

DRAWING NO.
C2



CONSTRUCTION NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
3. ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE ENGINEER IMMEDIATELY.
4. CLERMONT COUNTY WATER AND SEWER DEPARTMENT STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN ALL UTILITY CONSTRUCTION.
5. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS AND IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO EXTRA COST TO THE OWNER.
6. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OR OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
7. CONTRACTOR SHALL COORDINATE INSTALLATION OF WATER SERVICE WITH DEPARTMENT OF PUBLIC WORKS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, PURCHASE AND/OR FEES ASSOCIATED WITH ALL APPARATUS INCLUDING: WATER METERS, BACK FLOW PREVENTERS, POST INDICATOR VALVES, AND ENCLOSURES.
8. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF WATER AND SEWER LINE IS (10') TEN FEET. THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINES IS (18") EIGHTEEN INCHES.
9. ALL DOMESTIC WATER LEADS SHALL HAVE REDUCED PRESSURE VALVES AS DIRECTED BY THE OWNER'S ARCHITECT.
10. EXISTING UTILITIES LOCATIONS ARE APPROXIMATE AND SHOULD BE VERIFIED FOR LOCATION AND NUMBER BY THE CONTRACTOR.
11. CONTRACTOR TO COORDINATE INSTALLATION OF ALL UTILITIES BY OTHERS WITH HIS WORK.
12. ALL EASEMENTS TO BE PLATTED BY THE CONTRACTOR (UNLESS OTHERWISE NOTED).
13. ANY UTILITIES NOT SHOWN THAT REQUIRE RELOCATION OR REMOVAL IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS TO REPORT ALL DISCREPANCIES TO THE ENGINEER IMMEDIATELY UPON DISCOVERY.

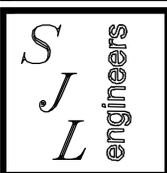
GENERAL NOTE

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS IN THE AREA OF PROPOSED WORK. IF CONDITIONS OTHER THAN THOSE SHOWN ON THE DRAWINGS ARE ENCOUNTERED, THE CONTRACTOR MUST NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
2. THE LOCATIONS OF THE EXISTING UTILITIES SHOWN ON THE PLAN FOR PLANNING PURPOSES ONLY AND HAVE BEEN OBTAINED BY FIELD CHECKS AND SEARCHES OF AVAILABLE RECORDS AND ARE BELIEVED TO BE CORRECT. HOWEVER, THE CONTRACTOR MUST VERIFY EXACT LOCATIONS BEFORE BEGINNING CONSTRUCTION. CONTACT THE UTILITIES PROTECTION SERVICE AT LEAST TWO (2) WORKING DAYS IN ADVANCE OF CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING STRUCTURES AND UTILITIES DURING OR RESULTING FROM CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING AND REPLACING ALL UTILITIES IGNORED TO COMPLETE AND UNDERGROUND UTILITIES. THIS PROJECT INCLUDING ALL OVERHEAD.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, INSPECTIONS, ETC. COORDINATION REQUIRED BY THE APPLICABLE UTILITY. THE CONTRACTOR SHALL MAKE ALL RESTORATION, REPLACEMENT, AND REPAIR IN ACCORD WITH THE APPLICABLE REQUIREMENTS OF THE UTILITY. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE OF OHIO CONSTRUCTION AND MATERIAL SPECIFICATIONS.
5. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASINS, EARTH DIKES, TEMPORARY OR PERMANENT SEEDING, MULCHING AND/OR MULCH NETTING OR ANY OTHER GENERALLY ACCEPTED METHODS TO PREVENT EROSION, MUD AND DEBRIS FROM BEING DEPOSITED ON OTHER PROPERTY, ON NEWLY CONSTRUCTED OR EXISTING ROADS, OR INTO EXISTING SEWERS OR NEW SEWERS WITHIN THE WORK AREA. THE CONTRACTOR SHALL CONTINUALLY MONITOR THE CONSTRUCTION PROGRESS AND MAKE ANY NECESSARY TEMPORARY ADJUSTMENTS TO MAINTAIN THIS CONTROL.
6. ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO BE FINAL GRADE AND ARE TO REMAIN SO, SHALL RECEIVE VEGETATIVE STABILIZATION.
7. FOLLOW WRITTEN DIMENSIONS ALWAYS. DO NOT SCALE.
8. ADJUSTMENTS TO GRADE MAY BE ALLOWED TO PROVIDE A BALANCED SITE. NO ADJUSTMENT TO GRADE ARE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
9. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORD WITH VILLAGE OF AMELIA AND ODOT DETAILS AND SPECIFICATIONS.
10. SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS
11. LIGHTING TO BE SHOWN ON BUILDING WITH ARCHITECTURAL PLANS
12. ROOF DRAINS, FOUNDATION DRAINS AND OTHER STORM WATER CONNECTIONS TO SANITARY SEWER ARE PROHIBITED

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------------|----|------|
| 1 | REVISIONS AND/OR ISSUES | | |



SHOOTERS SPORTS GRILL
 XXXX DILEY ROAD
 CANAL WINCHESTER, OHIO 43110
LEESMAN ENGINEERING & ASSOC.
 ENGINEERING, SURVEYING, PLANNING & ASSOC.
 2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0420

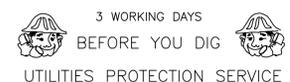


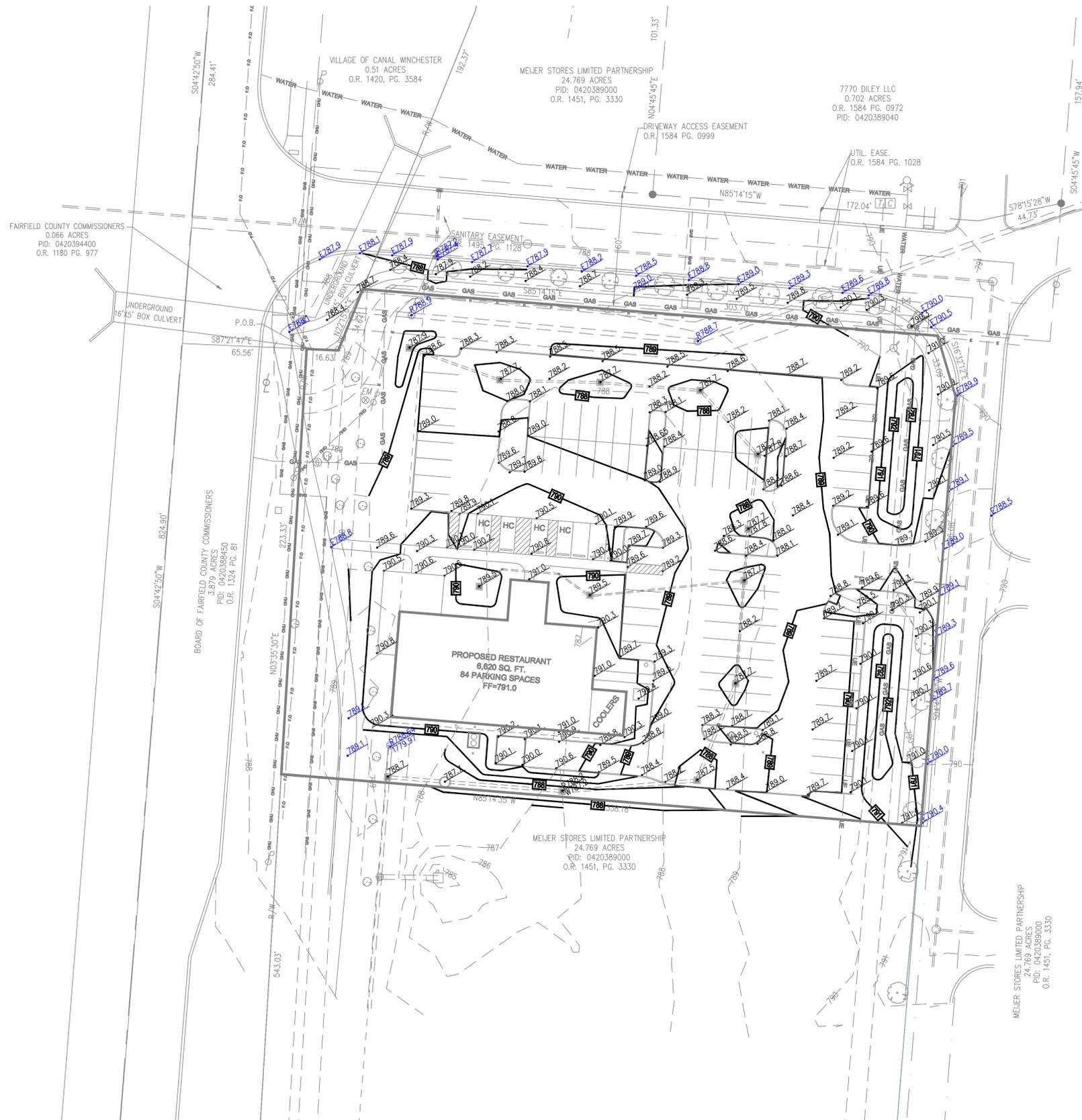
DRAWING TITLE

| | |
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| SITE PLAN | |
| PROJ. NO. SSG-CW | DATE 11/25/19 |
| DRAWN MDC | CHECKED SJL |

DRAWING NO.

C3





| TEMPORARY SEEDING | | | |
|--------------------|--------------|-----------------|-------------------------|
| SPECIES | SEEDING RATE | | SEEDING DATES |
| | LB./AC. | LB./1000 sq.ft. | |
| OATS | 4 BUSHEL | 3 | MARCH 1 TO AUGUST 15 |
| TALL FESCUE | 40 | 1 | |
| ANNUAL RYEGRASS | 40 | 1 | |
| PERENNIAL RYEGRASS | 40 | 1 | |
| TALL FESCUE | 40 | 1 | |
| ANNUAL RYEGRASS | 40 | 1 | |
| RYE | 2 BUSHEL | 3 | AUGUST 16 TO NOVEMBER 1 |
| TALL FESCUE | 40 | 1 | |
| ANNUAL RYEGRASS | 40 | 1 | |
| WHEAT | 2 BUSHEL | 3 | |
| TALL FESCUE | 40 | 1 | |
| ANNUAL RYEGRASS | 40 | 1 | |
| PERENNIAL RYEGRASS | 40 | 1 | |
| TALL FESCUE | 40 | 1 | |
| ANNUAL RYEGRASS | 40 | 1 | |

USE MULCH ONLY, SOODING PRACTICES NOVEMBER 1 TO SPRING SEEDING
OR DORMANT SEEDING
NOTE: OTHER

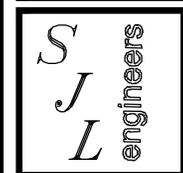
| PERMANENT SEEDING | | | |
|---------------------------|--------------|-----------------|-------------------------------|
| SEED MIX | SEEDING RATE | | NOTES |
| | LB./AC. | LB./1000 sq.ft. | |
| GENERAL USE | | | |
| CREeping RED FESCUE | 20-40 | 1/2-1 | MARCH 1 TO AUGUST 15 |
| DOMESTIC RYEGRASS | 10-20 | 1/4-1/2 | |
| KENTUCKY BLUEGRASS | 10-20 | 1/4-1/2 | |
| TALL FESCUE | 40 | 1 | |
| DWARF FESCUE | 40 | 1 | |
| STEEP BANKS OR CUT SLOPES | | | |
| TALL FESCUE | 20-40 | 1 | |
| CROWN VETCH TALL FESCUE | 10-20 | 1/4-1/2 | DO NOT SEED LATER THAN AUGUST |
| FLAT PEA TALL FESCUE | 20 | 1/2 | DO NOT SEED LATER THAN AUGUST |
| ROAD DITCHES AND SWALES | | | |
| TALL FESCUE | 40 | 1 | |
| DWARF FESCUE | 90 | 2 1/2 | |
| KENTUCKY BLUEGRASS | 5 | | |
| LAWNS | | | |
| KENTUCKY BLUEGRASS | 60 | 1 1/2 | |
| PERENNIAL RYEGRASS | 60 | 1 1/2 | |
| KENTUCKY BLUEGRASS | 60 | 1 1/2 | FOR SHADED AREAS |
| CREeping RED FESCUE | 60 | 1 1/2 | FOR SHADED AREAS |

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------------|----|------|
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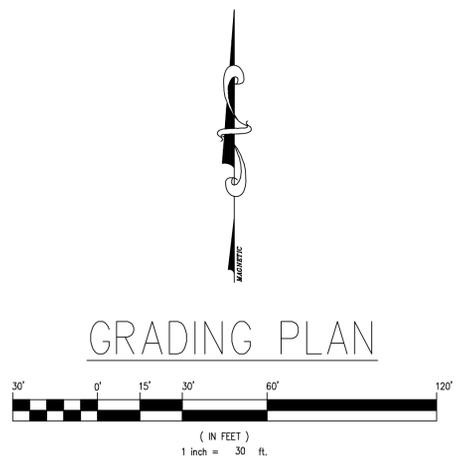
DRAWING TITLE

GRADING PLAN

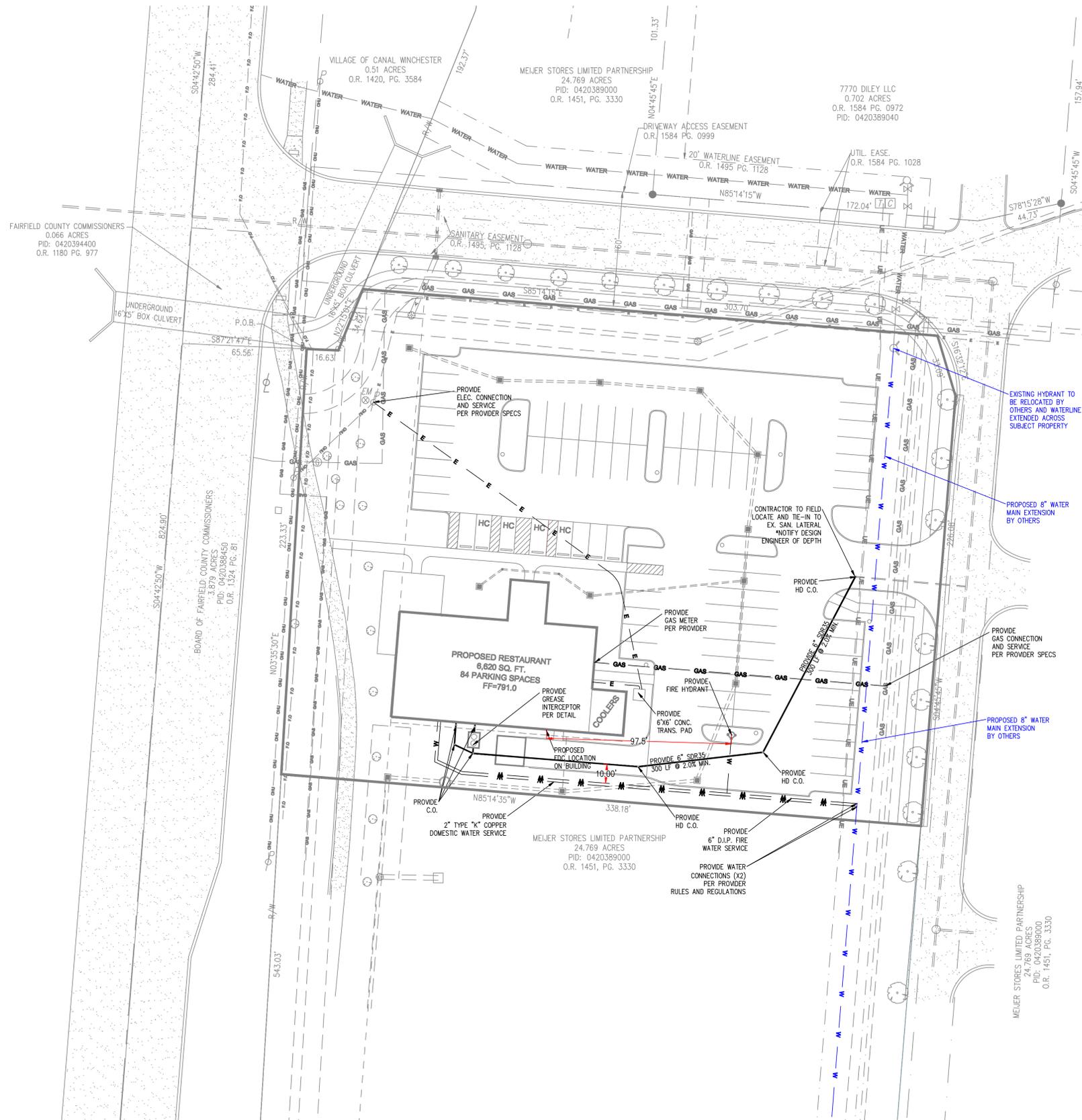
PROJ. NO. SSG-CW
DRAWN MDC
DATE 11/25/19
CHECKED SJL

DRAWING NO.

C4



3 WORKING DAYS
BEFORE YOU DIG
UTILITIES PROTECTION SERVICE

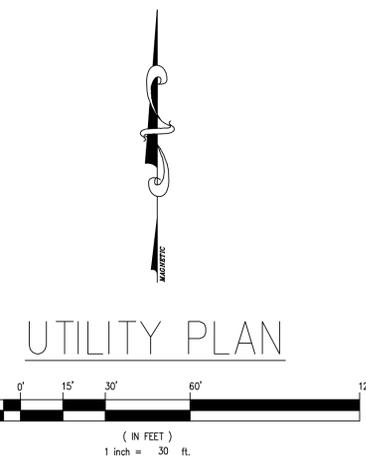


UTILITY NOTES:

- A. VERIFY EXACT LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
 - B. ROOF DOWN SPOUTS FROM THE PROPOSED BUILDING ARE TO DRAIN INTO STORM SEWER SYSTEM. CONNECTION TO SANITARY SEWER SYSTEM IS STRICTLY PROHIBITED.
 - C. TRAFFIC MARKING PAINT IN RIGHT-OF-WAY SHALL BE ODOT ITEM 644 THERMOPLASTIC. PARKING LOT MARKING PAINT SHALL BE ALKYD-RESIN TYPE, AASHTO M248 TYPE 1 4" STRIPE WIDTH, COLOR: WHITE.
 - D. EACH UTILITY CONTRACTOR IS TO ADJUST ANY UTILITY ELEMENT INTENDED TO BE FLUSH WITH GRADE (CLEANOUTS, MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- CITY OF CANAL WINCHESTER/LOCAL UTILITY PROVIDER IS NOT RESPONSIBLE FOR ADJUSTING ANY UTILITY INCLUDING WATER, SEWER, ELECTRICAL, TELECOMMUNICATIONS, OR STORM UTILITY ELEMENTS. ALL ITEMS THAT REQUIRE ADJUSTMENTS DUE TO CONSTRUCTION ACTIVITIES SHALL BE THE RESPONSIBILITY OF OWNER.
- E. SEWER PIPE TO BE AS INDICATED: POLYVINYL CHLORIDE PIPE (PVC) ASTM D3034, SDR 35, GASKETED JOINTS ONLY. MINIMUM SLOPE OF 2.0% ON ALL SEWAGE PIPE UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
 - F. PRECAST MANHOLES SHALL CONFORM TO ASTM C478, WITH PROVISION FOR RUBBER GASKET JOINTS. STRUCTURES SHALL COMPLY WITH SPECIFICATIONS AND STANDARDS OF ODOT.
 - G. PROVIDE THE FOLLOWING MINIMUM COVERS OVER THE TOP OF PROPOSED UTILITIES.
 1. SANITARY MAIN = 4'-0"
 2. WATER MAINS = 4'-0"
 3. STORM WATER LINES = 2'-0"
 4. GAS & ELECTRIC = 2'-0"

IRRIGATION NOTE:

- A. AN IRRIGATION PLAN AND SYSTEM ARE REQUIRED FOR THIS SITE. CONTRACTOR TO SUPPLY DESIGN TO ENGINEER PRIOR TO INSTALLATION FOR REVIEW.

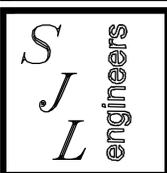


UTILITY PLAN

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------------|----|------|
| 1 | REVISIONS AND/OR ISSUES | | |



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| | |
|---------------------|------------------|
| DRAWING TITLE | |
| UTILITY PLAN | |
| PROJ. NO. SSG-CW | DATE 11/25/19 |
| DRAWN MDC | CHECKED SJL |

DRAWING NO.
C5

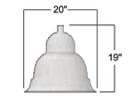
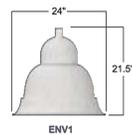
3 WORKING DAYS
 BEFORE YOU DIG
 UTILITIES PROTECTION SERVICE



AV Poles & Lighting

AVPL ENV - Architectural Bell Luminaire

AV POLES & LIGHTING
4327 Division St.
Lancaster, CA 93535
Toll Free: (844) 775-AVPL
Fax: (951) 945-2764
sales@avplg.com
www.avplg.com



Description

Decorative architectural design provides a unique lighting solution for a variety of applications. The ENV series by AV Poles and Lighting is ideal for commercial, municipal, and design build lighting applications.

Features

- Spun Aluminum construction
- Stainless Steel hardware
- Dark Sky/ Full Cutoff
- IP67 rated modules - 5 year warranty
- Up to 130+ Lumens Per Watt output
- Low maintenance cost with lifetime >54,000 hrs
- Multiple lighting distribution options with optical lens transmittance up to 98%.
- Multiple LED modules can easily be connected in series
- TGIC thermoseal polyester powder coat finish is electrostatically applied at a 3.0 mil nominal thickness. A five stage metal pre-treatment process and sealer provides maximum corrosion resistance. The powder top coat is baked in excess of 400 degrees for supreme endurance.



Ordering Information

| Luminaire | Lamp Type | Volts | Mounting | Finish | Options |
|-----------|----------------------|-------|---------------|-------------|--|
| AVPL ENV1 | 700mA 35W 1A | 120 | Wall Mount... | Dark Bronze | Optical |
| AVPL ENV2 | 100W 100W 100W | 208 | 1..... | Black | House Site Shield |
| | 150W 150W 150W | 240 | 2-90..... | White | Electrical |
| | 200W 200W 200W | 277 | 2-180..... | Grey | 15-200V Surge Dimmable Driver(s) |
| | 300W 300W 300W | MT | 3-90..... | Green | Photo Cell + Voltage |
| | 400W 400W 400W | | 3-120..... | | High/Low Dimming for Hardened Building or Non-Integrated Motion Sensor |
| | 500W 500W 500W | | 4-90..... | | |

16' MOUNTING HEIGHT

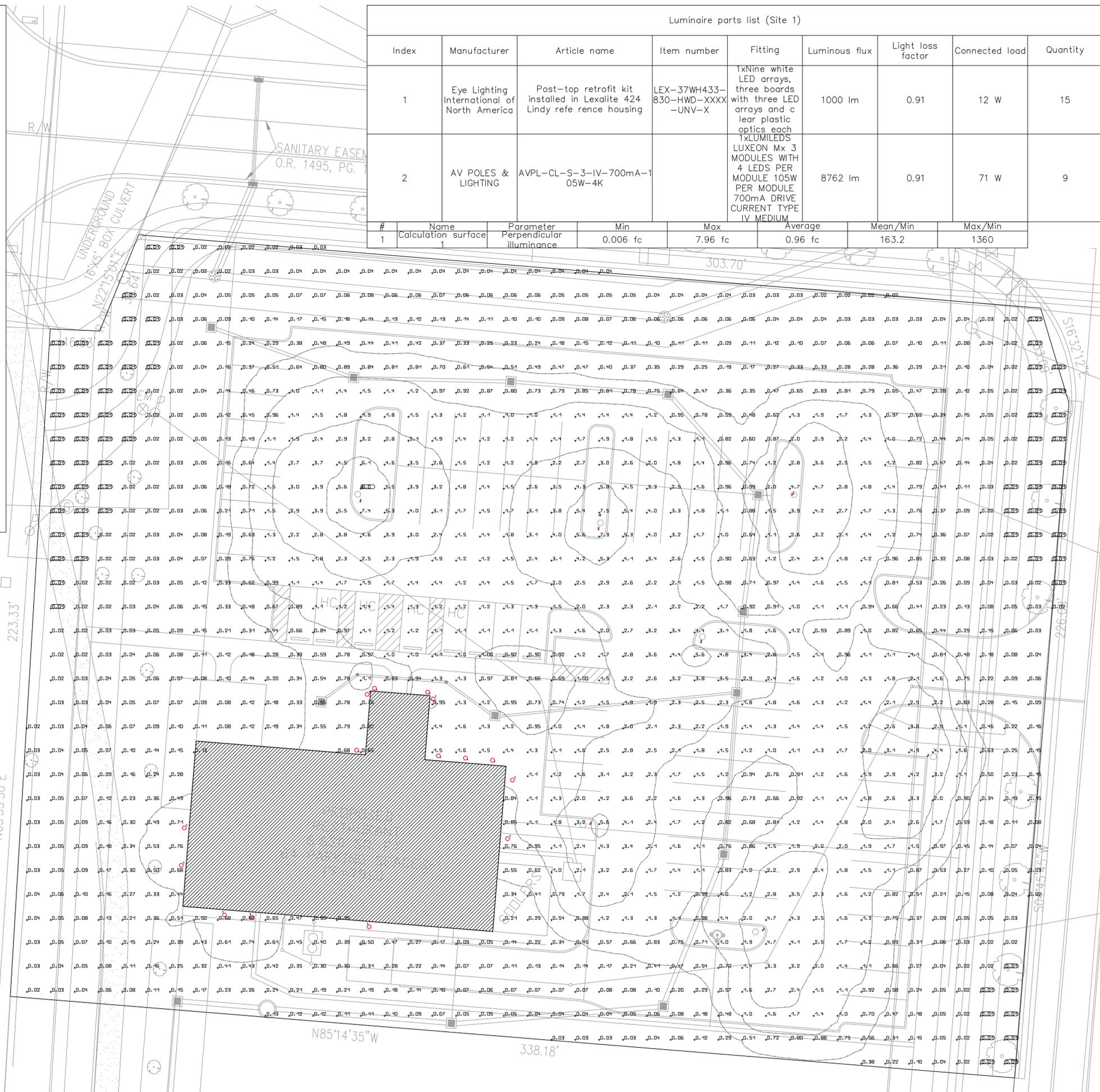
S04°42'50"W 824.90'

BOARD OF FAIRFIELD COUNTY COMMISSIONERS
3.879 ACRES
PID: 0420388450
O.R. 1324 PG. 81

N03°35'30"E

223.33'

UNDERGROUND
16"x5" BOX CULVERT
N12°15'01"E
36.64'



Luminaire parts list (Site 1)

| Index | Manufacturer | Article name | Item number | Fitting | Luminous flux | Light loss factor | Connected load | Quantity |
|-------|---|---|--------------------------------|---|---------------|-------------------|----------------|----------|
| 1 | Eye Lighting International of North America | Post-top retrofit kit installed in Lexalite 424 Lindy reference housing | LEX-37WH433-830-HWD-XXXX-UNV-X | 1xNine white LED arrays, three boards with three LED arrays and clear plastic optics each | 1000 lm | 0.91 | 12 W | 15 |
| 2 | AV POLES & LIGHTING | AVPL-CL-S-3-IV-700mA-105W-4K | | 1xLUMILEDS LUXEON Mx 3 MODULES WITH 4 LEDS PER MODULE 105W 700mA DRIVE CURRENT TYPE IV MEDIUM | 8762 lm | 0.91 | 71 W | 9 |

| # | Name | Parameter | Min | Max | Average | Mean/Min | Max/Min |
|---|---------------------|---------------------------|----------|---------|---------|----------|---------|
| 1 | Calculation surface | Perpendicular illuminance | 0.006 fc | 7.96 fc | 0.96 fc | 163.2 | 1360 |

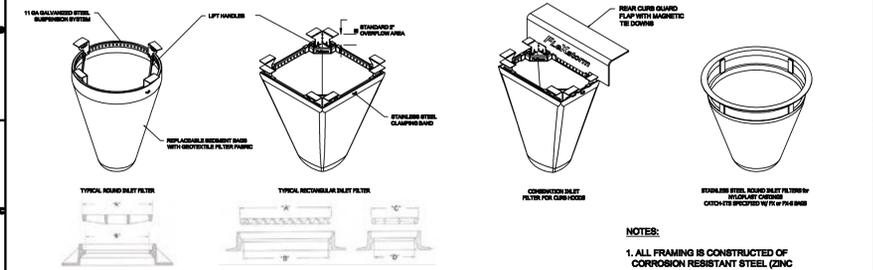
Shooters Canal Winchester

SCALE: N/A
DATE: 12/19/2019

130 W. Ross Ave
Cincinnati, Ohio 45217
P. 513-693-4060
www.leesman.com



FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING



1. IDENTIFY YOUR FRAME STYLE AND SIZE

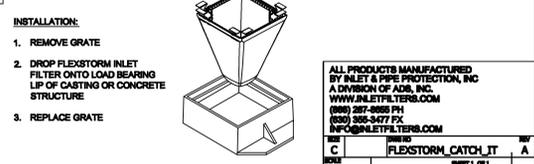
| STYLE | FRAME STYLE AND SIZE | FRAME P/N |
|--------------|--|-----------|
| ROUND | Small Round (up to 30" dia pipe (A) dia) | 6298D |
| | Med Round (30" - 36" dia pipe (A) dia to 24" dia opening (B)) | 6298D |
| | Large Round (36" - 50" dia pipe (A) dia to 30" opening (B)) | 6298D |
| | XL Round (50" dia - 30" dia grate (A) dia to 30" dia opening (B)) | 6298D |
| RECT. SQUARE | Small Rect / Square (up to 30" (B) x 30" (C) opening or 24" (B) x 24" (C) opening) | 6298S |
| | Med Rect / Square (up to 36" (B) x 36" (C) opening or 30" (B) x 30" (C) opening) | 6298S |
| | Large Rect / Square (up to 50" (B) x 30" (C) opening or 30" (B) x 50" (C) opening) | 6298S |
| | XL Rect / Square (up to 50" (B) x 30" (C) opening or 30" (B) x 50" (C) opening) | 6298S |
| RECT. SQUARE | Small Rect / Square (up to 30" (B) x 30" (C) opening or 24" (B) x 24" (C) opening) | 6298S |
| | Med Rect / Square (up to 36" (B) x 36" (C) opening or 30" (B) x 30" (C) opening) | 6298S |
| | Large Rect / Square (up to 50" (B) x 30" (C) opening or 30" (B) x 50" (C) opening) | 6298S |
| | XL Rect / Square (up to 50" (B) x 30" (C) opening or 30" (B) x 50" (C) opening) | 6298S |

2. SELECT YOUR BAG PART NUMBER

| ITEM | 12" depth / 112 bag (A) | 12" depth / 112 bag (B) | Clear Water Flow Rate (GPM/ft ²) | Min. A.O.S. (ft) |
|-----------------------|-------------------------|-------------------------|--|------------------|
| IX Standard Weave Bag | 75 | 75 | 200 | 40 |
| III DOT Non Weave Bag | 11 | 11 | 145 | 70 |

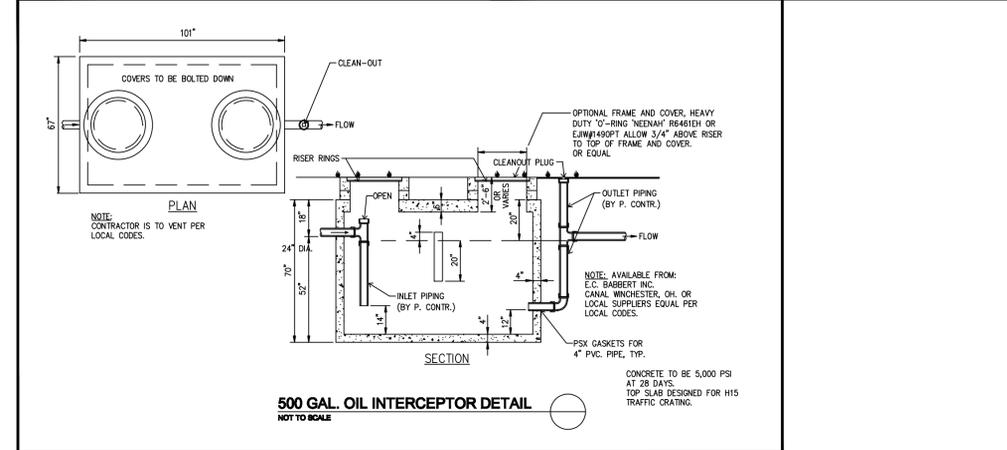
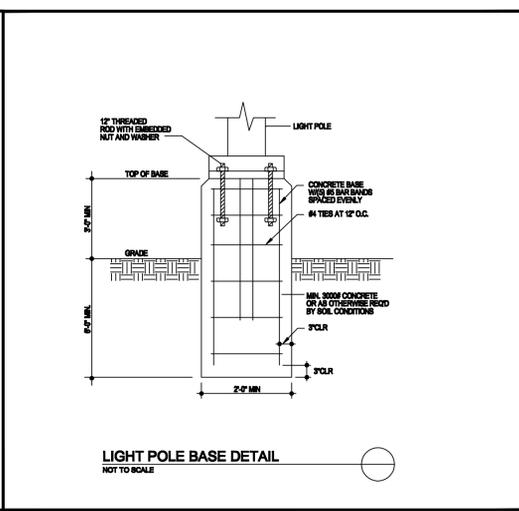
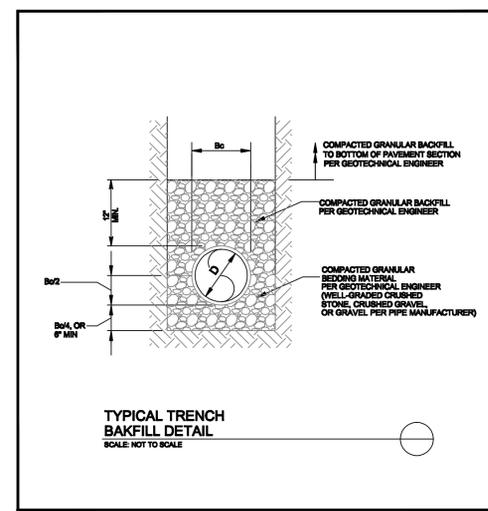
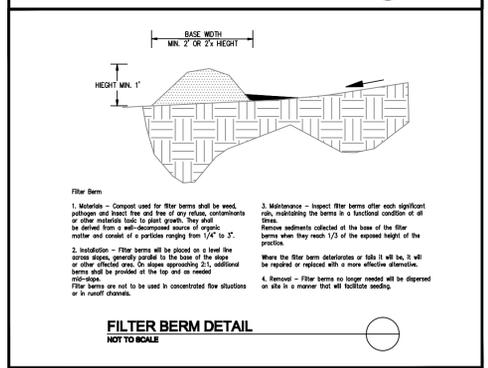
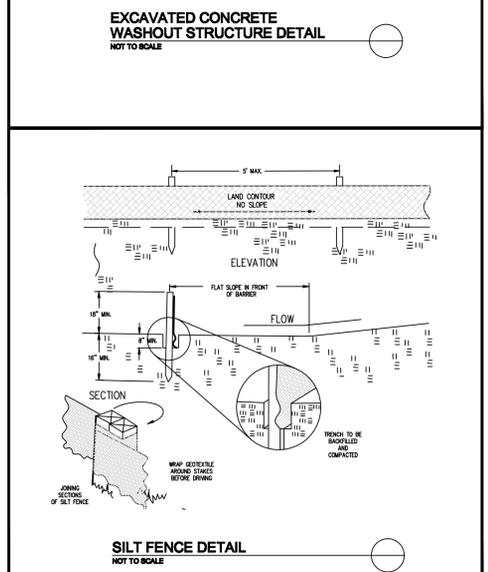
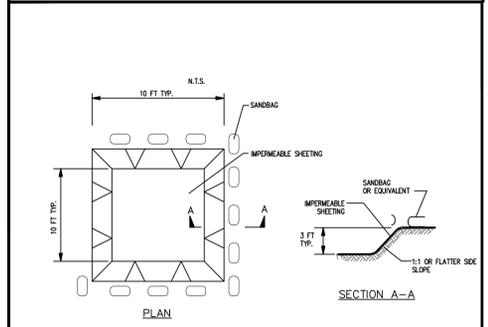
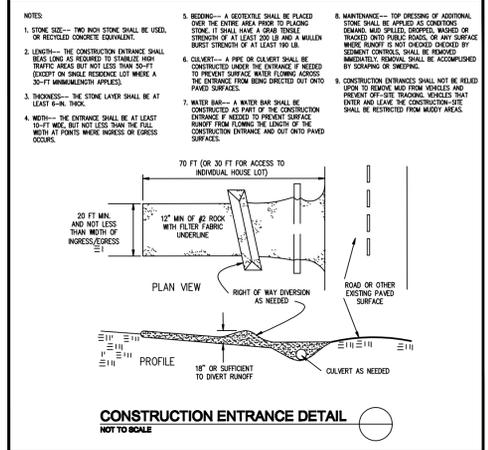
3. CREATE YOUR FLEXSTORM INLET FILTER PART NUMBER

Frame P/N from Step 1: _____ Filter Bag P/N from Step 2: _____



FLEXSTORM FILTER DETAIL
 NOT TO SCALE

EPSC DETAILS
 N.T.S.



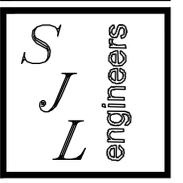
UTILITY DETAILS
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| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------------|----|------|
| 1 | REVISIONS AND/OR ISSUES | | |



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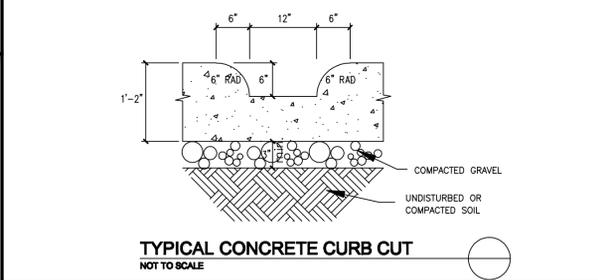
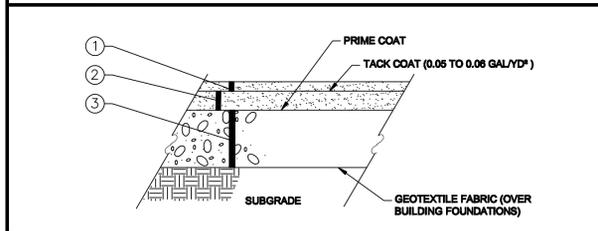
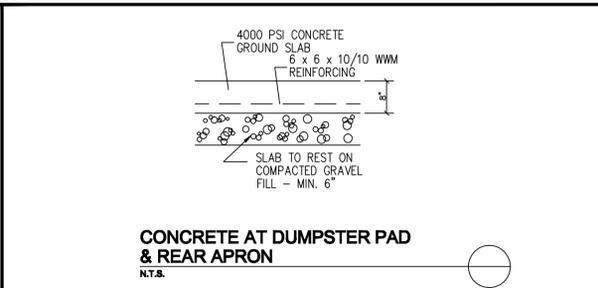
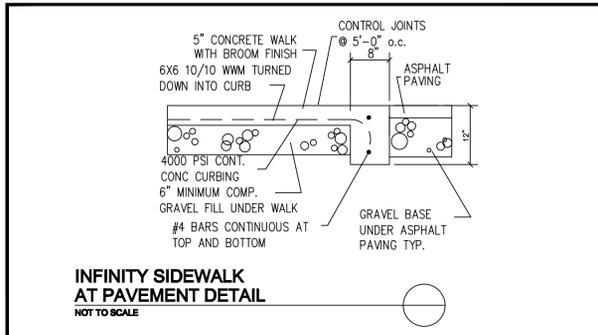
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DETAILS

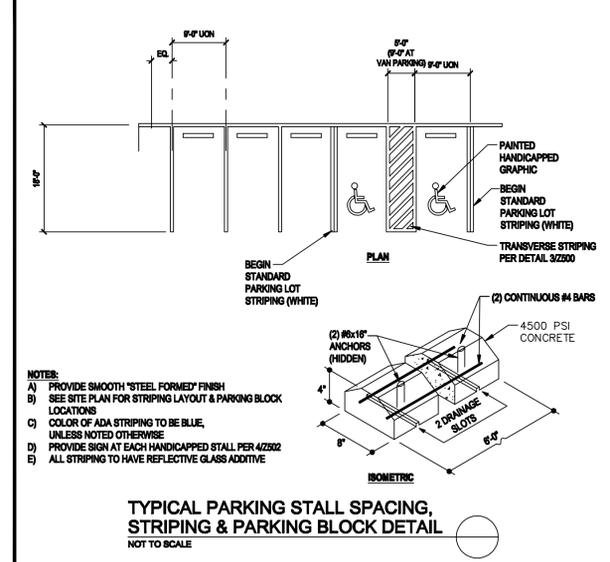
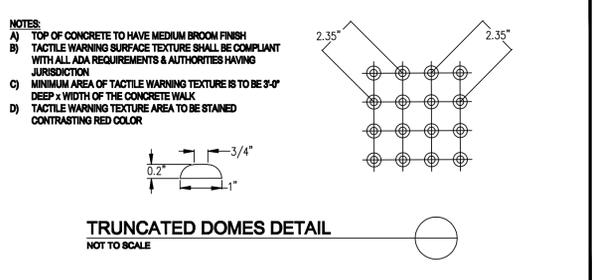
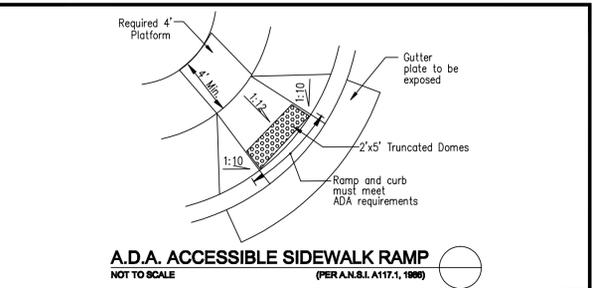
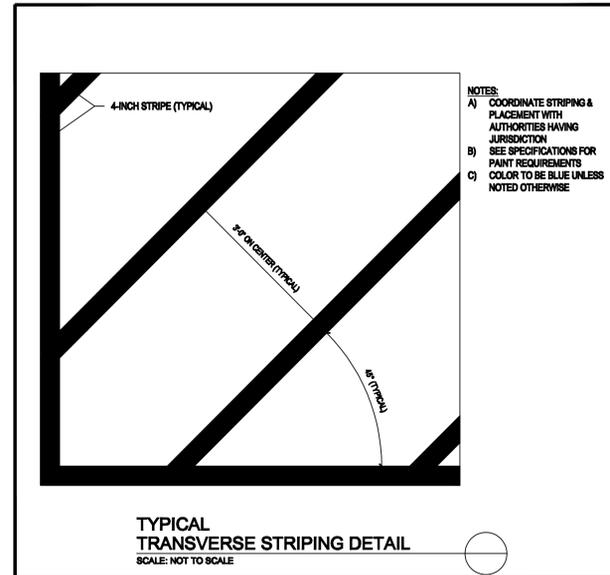
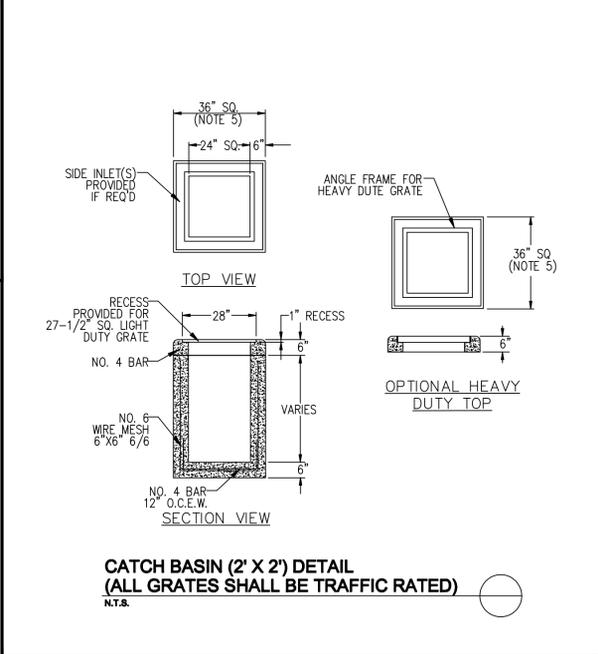
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| PROJ. NO. SSG-CW | DATE 11/25/19 |
| DRAWN MDC | CHECKED SJL |

DRAWING NO.
 C6

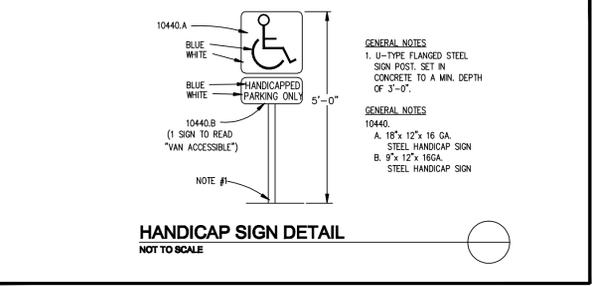
3 WORKING DAYS
 BEFORE YOU DIG
 UTILITIES PROTECTION SERVICE



| ROAD SURFACE MATERIALS | | |
|------------------------|---|-----------|
| TYPE | DESCRIPTION | THICKNESS |
| 1 | ASPHALT CONCRETE SURFACE COURSE | 1.5" |
| 2 | ASPHALT CONCRETE BINDER COURSE | 3" |
| 3 | AGGREGATE BASE - APPLIED IN TWO (2) LIFTS | 6" |



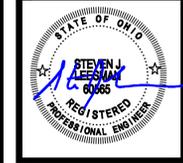
- MINIMUM STANDARDS** - The standards shown herein are to be considered the minimum requirements. It is the responsibility of the developer and their engineer to meet all federal and state regulations involving handicapped accessibility.
- Curb ramps shall meet requirements of the Americans With Disabilities Act Accessible Guidelines (ADAAG) regulatory standards.
 - Each ramp may vary in width and length per conditions found in the field or on the plans. The field engineer will determine how each ramp is to be constructed.
 - Truncated domes are to be included as part of the ramp design. The domes shall be aligned with the normal path of travel.
 - The walls (if needed) at the sides of the ramp can be poured as part of the ramp itself. The ramp should be structurally one unit. The walls should be tapered to meet the existing ground at the top of the ramp.
 - Curb ramps constructed at crosswalks shall be placed such that a minimum 4' clear space exists within the crosswalk at the front of the ramp.
 - When objects such as utility poles, pull boxes, traffic controllers, and pole bases obstruct the proper placement of the ramp to meet the specified grades, exceptions may be made to the ramp design, as determined by the Engineer.
 - The front edge of the truncated dome section must be no further than 8" from the back of curb. They should be placed as close to the back of curb as possible, while still maintaining proper alignment.
 - All curb required to install the ramp, at least curb to the tangent section, must be constructed with an exposed gutter plate. This requires raising the gutter plate to meet the existing flow line at the edge of pavement if the gutter was originally paved over.
- ADA ACCESSIBILITY NOTES**
NOT TO SCALE



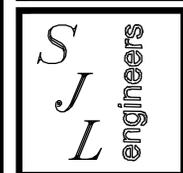
SITE DETAILS
N.T.S.

ADA DETAILS
N.T.S.

| | | | |
|-----|-------------------------|----|------|
| NO. | DESCRIPTION | BY | DATE |
| 1 | REVISIONS AND/OR ISSUES | | |



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2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0420



DRAWING TITLE

DETAILS

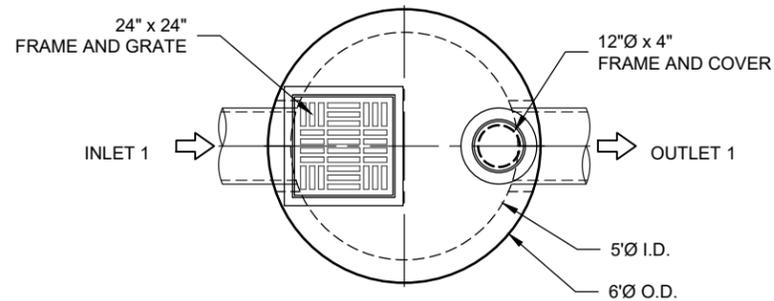
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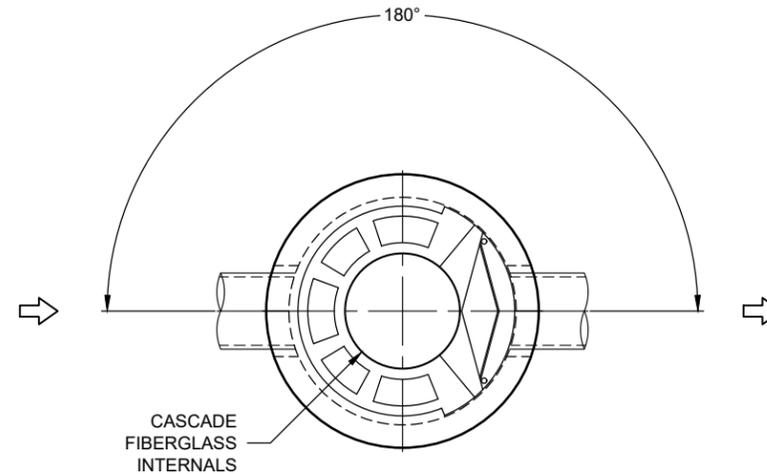
C7

3 WORKING DAYS
BEFORE YOU DIG
UTILITIES PROTECTION SERVICE

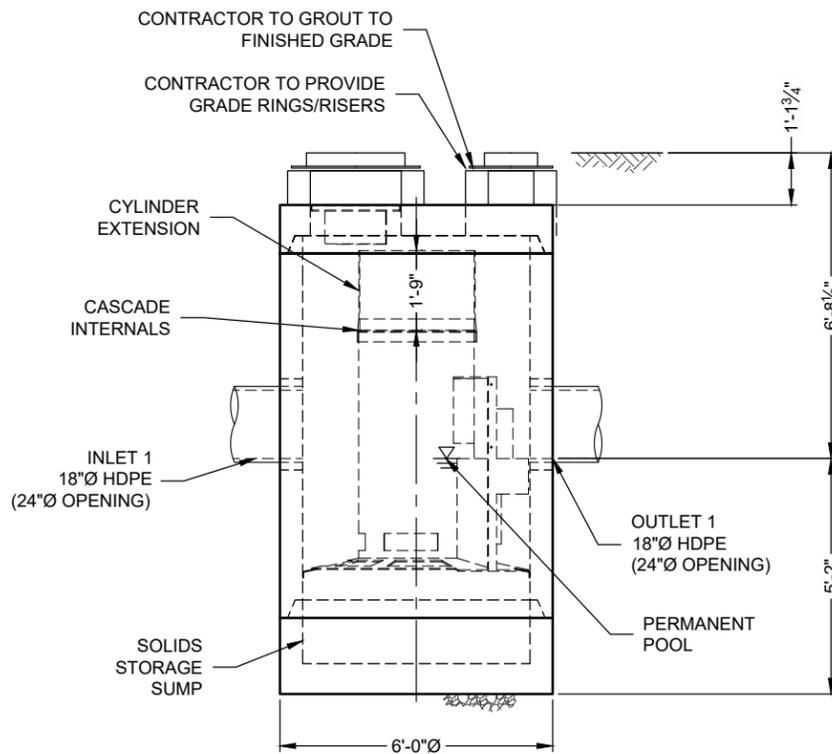
I:\MERLIN\PROJECT\ACTIVE\634859\634859-10-CASCADE\DRAWINGS\634859-10-CS-5-CONFAB.DWG 12/5/2019 1:28 PM



PLAN VIEW
(INTERNALS NOT SHOWN)



SECTION FOR PIPE ORIENTATION
(TOP SLAB NOT SHOWN)



ELEVATION VIEW

RIM ELEV. 787.70+/-

TOP OF SYSTEM
ELEV. 786.55'

INLET 1 INVERT
ELEV. 780.99'
OUTLET 1 INVERT
ELEV. 780.99'

OUTSIDE BOTTOM
ELEV. 775.82'

MATERIAL LIST (PROVIDED BY CONTECH)

| COUNT | DESCRIPTION | INSTALLED BY |
|-------|--|--------------|
| 1 | CS-5 FIBERGLASS CYLINDER INSERT, STD. | CONTECH |
| 4 | CS-5 ALUMINUM INSTALLATION BRACKET | CONTECH |
| 1 | CS-5 FIBERGLASS CYLINDER EXTENSION, 1 FT. | CONTRACTOR |
| 1 | 24" INLET TRAY | CONTRACTOR |
| 1 | SEALANT FOR JOINTS | CONTRACTOR |
| 1 | 24" x 24" FRAME & GRATE, EJ#45624050A01, OR EQUIV. | CONTRACTOR |
| 1 | 12"Ø x 4" FRAME & COVER, EJ#41610201, OR EQUIV. | CONTRACTOR |

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.ContechES.com
- CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
- CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

STRUCTURE WEIGHT
APPROXIMATE HEAVIEST PICK = 10500 LBS.
OF 3 PIECES

MAXIMUM FOOTPRINT = 6'Ø

CONTECH
PROPOSAL
DRAWING

NCI
LAYOUT 1A

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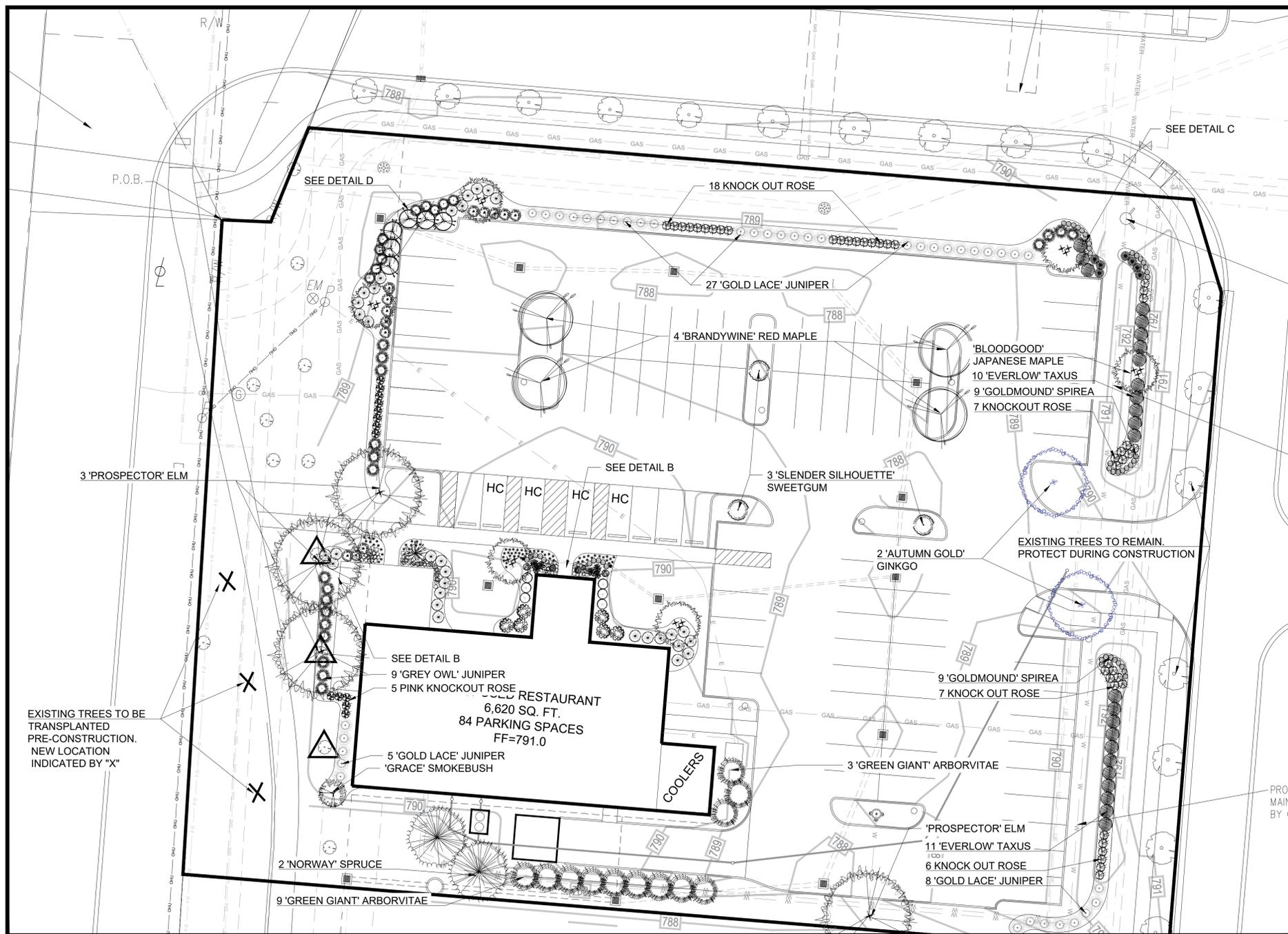
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CS-5 - 634859-10
SHOOTERS SPORTS GRILL - CANAL
WINCHESTER, OH
CANAL WINCHESTER, OH

CONTECH
ENGINEERED SOLUTIONS LLC
www.ContechES.com
7037 Ridge Road, Hanover, MD 21076
410-796-5505 866-376-8511 FAX

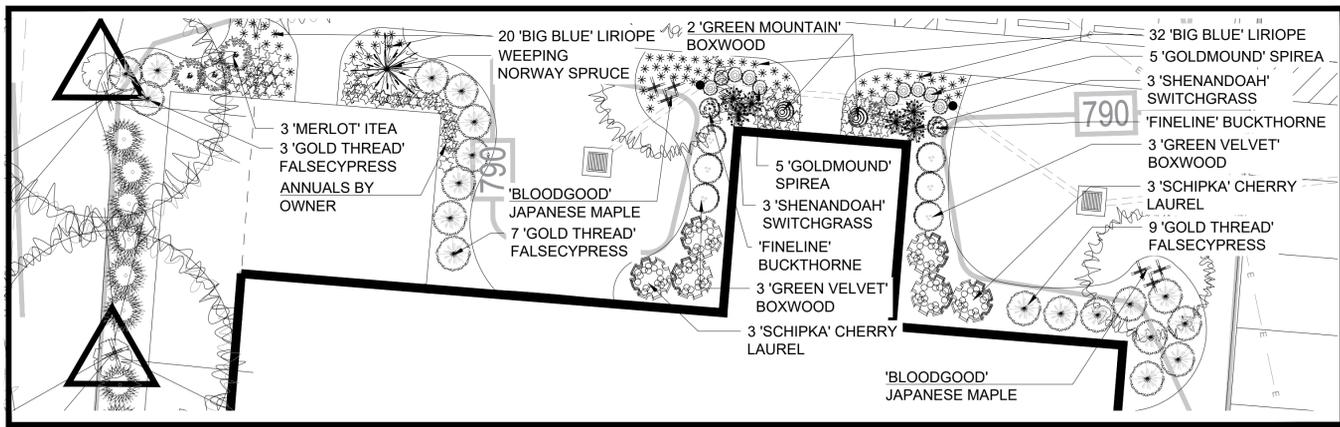
CASCADE
separator™

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| DATE: 12/05/19 | |
| DESIGNED: MAK | DRAWN: MAK |
| CHECKED: MAK | APPROVED: MAK |
| PROJECT No.: 634859 | SEQUENCE No.: 10 |
| SHEET: 1 OF 1 | |



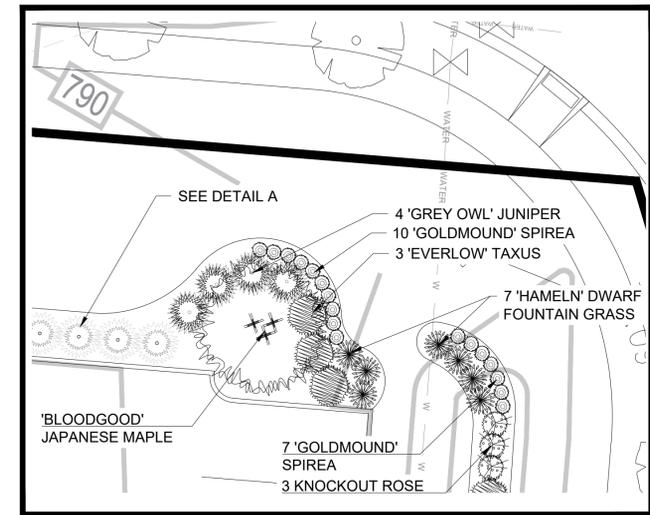
A PLAN: VUA LANDSCAPE AND BUFFER PLANTING

1"=20'-0"



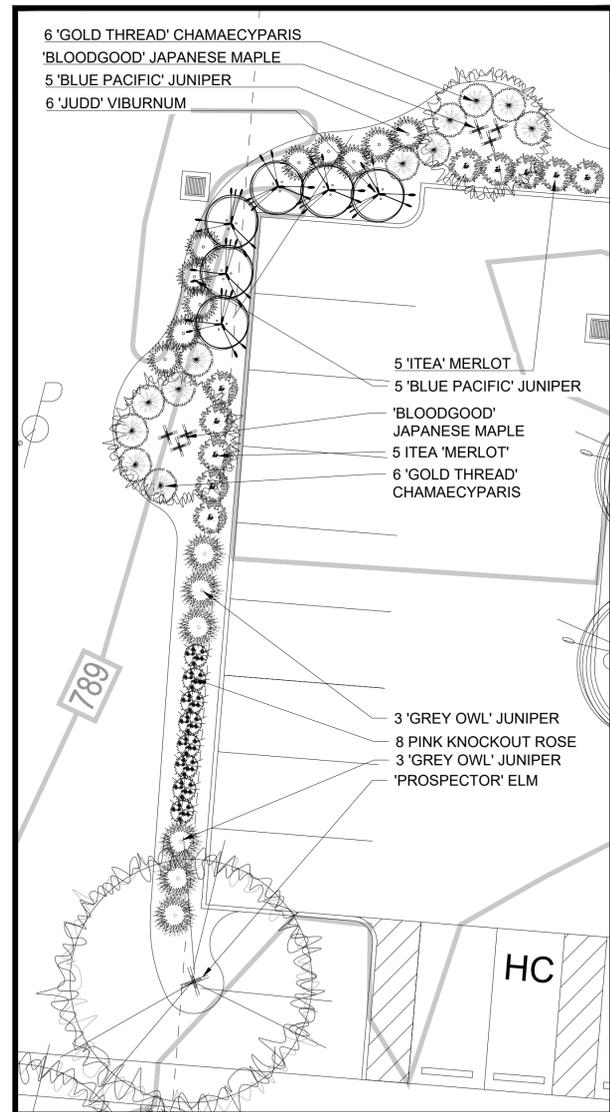
B PLAN: BUILDING LANDSCAPE

1"=10'-0"



C PLAN: BUFFER PLANTING

1"=10'-0"



D PLAN: BUFFER PLANTING

1"=10'-0"

SEED AND STRAW ALL DISTURBED AREAS

△ TRANSPLANT

| | | | |
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| NO. | DESCRIPTION | BY | DATE |
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| | | | |
| | | | |



SHOOTERS SPORTS GRILL
 XXXX DILEY ROAD
 CANAL WINCHESTER, OHIO 43110
LEESMAN ENGINEERING & ASSOC.
 ENGINEERING, SURVEYING, PLANNING
 2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513.417-0420



| | |
|----------------|----------|
| DRAWING TITLE | |
| LANDSCAPE PLAN | |
| PROJ. NO. | DATE |
| SSG-CW | 12.15.19 |
| DRAWN | CHECKED |
| JT | GAF |

DRAWING NO.
L1 of 2

SPECIFICATIONS

GENERAL PLANTING NOTES

- *CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL LINES MARKED PRIOR TO COMMENCING WORK
- *PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK."
- *FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- *PROVIDE TREES AND SHRUBS OF SIZES AND GRADES COMPLYING WITH ANSI Z60.1 FOR TYPE OF TREES AND SHRUBS REQUIRED. TREES AND SHRUBS OF LARGER SIZE MAY BE USED, IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- *IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.
- *LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
- *LANDSCAPE ARCHITECT MAY OBSERVE TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.
- *TOPSOIL SHALL BE ASTM D 5268, pH RANGE OF 5.5 TO 7, A MINIMUM OF 4 PERCENT ORGANIC MATERIAL CONTENT, FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- *COMPOST SHALL BE WELL-COMPOSTED, STABLE AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH ONE INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS.
- *FERTILIZER TO BE SLOW-RELEASE, GRANULAR OR PELLETED CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHORUS, AND POTASSIUM IN AMOUNTS RECOMMENDED FOR TYPE OF PLANT BEING GROWN.

PREPARATION AND PLANTING

- *LOCATE ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. IF A PLANT IS SHOWN ON THE PLAN WITHIN THREE FEET OF AN UNDERGROUND UTILITY, NOTIFY LANDSCAPE ARCHITECT FOR ADJUSTMENT INSTRUCTIONS.
- *PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND LAWNS AND EXISTING EXTERIOR PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
- *PROVIDE EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
- *LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.
- *TREES SHALL BE SITED IN FIELD BY LANDSCAPE ARCHITECT WHERE NOTED ON PLANS.

- *ALL PLANTING BEDS ARE TO BE PREPARED AS FOLLOWS:
 - LOOSEN SUBGRADE TO A DEPTH OF 4 - 6". REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - SPREAD COMPOST AT A DEPTH OF 4 - 6" AND TILL WITH LOOSENED SUBGRADE, MIXING THOROUGHLY.
 - GRADE PLANTING BEDS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
 - EDGE BEDS 3 - 4" DEEP (SEE DETAIL).
- ADDITIONAL PREPARATION FOR PERENNIAL BEDS:
 - PROVIDE A TOTAL OF 6" OF COMPOST AND 6" UNSHREDDED TOPSOIL, THOROUGHLY BLEND MIXTURE, DO NOT COMPACT. MULCH WITH MINI PINE NUGGETS, 100% COVERAGE. LANDSCAPE ARCHITECT TO OBSERVE AND APPROVE.

- *ALL PLANTS ARE TO BE INSTALLED WITH ORGANIC BIO-TONE STARTER (A MYCORRHIZAL FUNGI STIMULANT)
- *AND TRICHODERMA ABSORBENT GEL, PER MANUFACTURER'S SPECIFICATIONS ON INSTALLATION MEANS AND METHODS AND APPLICATION RATES.

Type of Plants Normal Planting Dates

- Non-Container Grown, Deciduous October 1 to April 1
- Non-Container Grown, Other October 1 to May 1
- Non-Container Grown, Other October 1 to May 1
- Container Grown, All Year-Round, if suitable precautions are taken to protect the stock from extremes of moisture and temperature, if there is a doubt, obtain a variance or a performance bond

ABSOLUTELY NO PLANT SUBSTITUTIONS WITHOUT WRITTEN PERMISSION OF THE MUNICIPALITY ZONING STAFF, CLIENT REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OH OR KY DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND PROJECT MANAGEMENT SPECIFICATIONS". IN THE EVENT OF A CONFLICT THE MORE STRINGENT STANDARD SHALL APPLY.

- *NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PITS.
- *NOTIFY LANDSCAPE ARCHITECT IF A LIGHT FIXTURE OR OTHER UTILITY HAS BEEN BUILT WITHIN 10' OF PROPOSED TREE.
- *ALL PLANTS ARE TO BE FERTILIZED WITH A SLOW-RELEASE FERTILIZER PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *REFER TO TYPICAL PLANTING DETAILS FOR PLANT INSTALLATION.
- *IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE A TREE, BUT IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ASSURE PLANTS REMAIN IN AN UPRIGHT POSITION UNTIL THE END OF THE WARRANTY PERIOD.
- *ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS ARE TO BE MULCHED AT A DEPTH OF 3". APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *FOR ALL PLANT MATERIALS, PRUNE TO REMOVE DEAD OR INJURED BRANCHES ONLY, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.
- *IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
 - KEEP ADJACENT PAVINGS AND CONSTRUCTION CLEAN, AND MAINTAIN WORK AREA IN AN ORDERLY CONDITION, FOR DURATION OF PROJECT.
 - PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS, TREAT, REPAIR, OR REPLACE DAMAGED EXTERIOR PLANTING.
 - REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.

- *CONTRACTOR SHALL PROVIDE OWNER WITH A WRITTEN WARRANTY FOR LABOR AND MATERIAL.
- *CONTRACTOR SHALL WARRANT EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLECT OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- *WARRANTY SHALL INCLUDE SPECIFIC WARRANTY PERIODS FOR TREES AND SHRUBS, SEED INSTALLATION, GROUND COVERS, AND OTHER EXTERIOR PLANTS.
- *SERVICES PROVIDED BY WARRANTY SHALL INCLUDE:
 - MAINTAINING UPRIGHT POSITION OF EXTERIOR PLANTINGS DURING WARRANTY PERIOD.
 - IMMEDIATE REMOVAL OF DEAD EXTERIOR PLANTS AND IMMEDIATE REPLACEMENT, UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON.
 - REPLACEMENT OF EXTERIOR PLANTS THAT ARE MORE THAN 25 PERCENT DEAD OR IN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.
- *WARRANTY SHALL BE LIMITED TO ONE REPLACEMENT OF EACH EXTERIOR PLANT, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH REQUIREMENTS.
- PERFORM A SOIL TEST FOR SEED NEEDS, AND FERTILIZE AS REQUIRED FOR SUCCESSFUL GERMINATION.
- *TILL AREA TO BE SEED TO A DEPTH OF 4". RAKE TILLED AREA TO REMOVE DEBRIS 1" OR LARGER IN SIZE THAT HAS BEEN BROUGHT TO THE SURFACE DURING TILLING.
- *SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURER'S WRITTEN RECOMMENDED RATE.
- *RAKE SEED LIGHTLY INTO TOP OF TOPSOIL, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
- *PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:6 AND/OR SWALES/AREAS OF HIGHER WATER FLOW WITH EROSION-CONTROL FIBER MESH INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *SEED CONTRACTOR SHALL IDENTIFY THESE POTENTIAL AREAS OF EROSION AND PROVIDE MEANS TO MITIGATE SUCH.
- *PROTECT ALL OTHER SEEDED AREAS BY SPREADING STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO FORM A CONTINUOUS BLANKET 1-1/2" IN LOOSE DEPTH OVER.
- *SEED INSPECTION SHALL BE PERFORMED TO WARRANT A 90% GERMINATION, YIELDING 80% OPACITY WITHIN 90 DAYS OR INSTALLATION.
- *SEED ONLY AS THE WEATHER AND TEMPERATURE ALLOWS FOR SUCCESS.

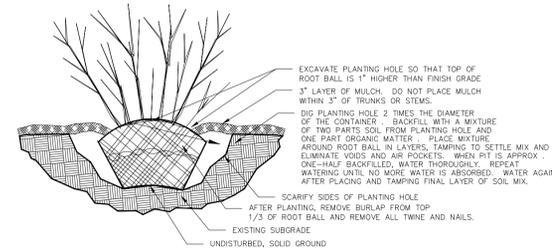
MULCH TO BE FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS. GRADE A MATERIALS APPLY TO 100 PERCENT OPACITY TO LAST 7 MONTHS WITHOUT ANY ADDITIONAL TOP DRESSING. DEPTH WILL VARY DEPENDING ON PRODUCT INSTALLED. TYPICALLY 3" DEPTH

- PROVIDE CLIENT OR CLIENT REPRESENTATIVE WITH PRICE AND A SAMPLE OF THE FOLLOWING OPTIONS:
- LONG LASTING DYED BLACK MULCH DOUBLE SHREDDED
 - DYED BROWN MULCH DOUBLE SHREDDED
 - DOUBLE SHREDDED HARDWOOD BLEND
 - CYPRESS MULCH
 - MINI PINE NUGGET
 - MINI PINE FINES
 - PINE STRAW
 - PREMIUM WOOD CHIP
 - WOOD CHIP

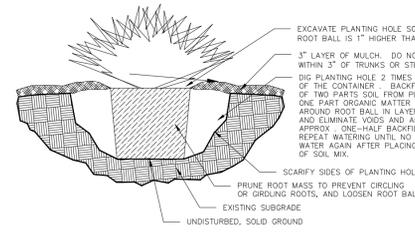
PROVIDE CLIENT WITH QNT MULCH PROVIDED _____ CUBIC YARDS

PROVIDE CLIENT WITH QNT OF COMPOST PROVIDED _____ CUBIC YARDS

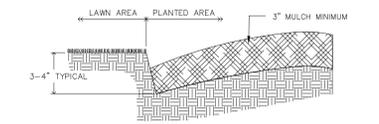
PROVIDE CLIENT WITH QUANTITY OF TOPSOIL PROVIDED _____ CUBIC YARDS



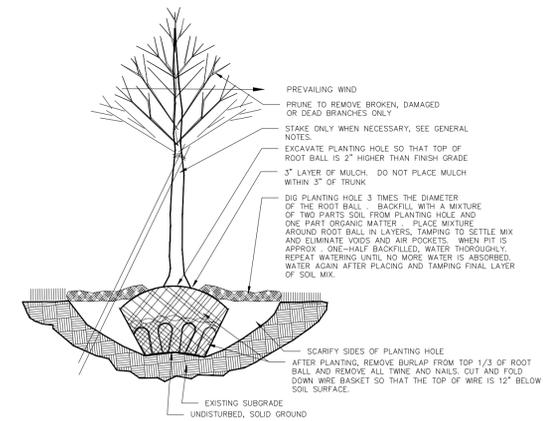
PLANTING DETAIL : BALLED AND BURLAPPED SHRUB
NOT TO SCALE



PLANTING DETAIL : CONTAINERIZED PLANTS
NOT TO SCALE



PLANTING DETAIL : BALLED AND BURLAPPED TREE
NOT TO SCALE



PLANTING DETAIL : BALLED AND BURLAPPED TREE
NOT TO SCALE

SHOOTERS CANAL WINCHESTER

PLANT KEY

12.15.19

| QNT | SIZE | COMMON | BOTANICAL |
|-----|----------|------------------------------|--|
| 4 | 2 in | Brandywine Red Maple | Acer rubrum 'Brandywine' |
| 2 | 2 in | Autumn Gold Ginkgo | Ginkgo biloba 'Autumn Gold' |
| 3 | 2 in | Sweetgum slender silhouette | Liquidambar styraciflua 'Slender Silhouette' |
| 4 | 2 in | Prospector Elm | Ulmus wilsoniana 'Prospector' |
| 6 | 1.5" | Japanese Bloodgood Maple | Acer palmatum 'Bloodgood' |
| 2 | 5' | Norway Spruce | Picea abies |
| 1 | 6'-7' | Norway Weeping Spruce | Picea abies var. pendula |
| 12 | 5' | Green Giant Arborvitae | Thuja plicata 'Green Giant' |
| 1 | 5 gal | Grace Smokebush | Cotinus coggygia 'Grace' |
| 13 | 18" | Merlot Itea | Itea virginica 'Merlot' |
| 2 | 5 gal | Fine Line Buckthorn | Rhamnus frangula 'Fine Line' |
| 13 | 18" | Double Knock Out Rose | Rosa 'Double Knock Out' |
| 41 | 18" | Knock Out Rose | Rosa 'Knock Out' |
| 45 | 18" | Gold Mound Spirea | Spiraea japonica 'Gold Mound' |
| 6 | 5 gal | Judd Viburnum | Viburnum x Judd |
| 2 | 24 in | Green Mountain Boxwood | Buxus x 'Green Mountain' |
| 6 | 15-18 in | Green Velvet Boxwood | Buxus x 'Green Velvet' |
| 31 | 18" | Gold Thread Falsecypress | Chamaecyparis pisifera 'Filifera Aurea' |
| 40 | 18" | Gold Lace Juniper | Juniperus chinensis 'Gold Lace' |
| 10 | 3 gal | Blue Pacific Juniper | Juniperus conferta 'Blue Pacific' |
| 19 | 18" | Grey Owl Juniper | Juniperus virginiana 'Grey Owl' |
| 6 | 3 gal | Otto Luyken Cherrylaurel | Prunus laocerasus 'Otoot Luyken' |
| 24 | 18" | Dense Yew | Taxus x media 'Densiformis' |
| 6 | 3 gal | Shenandoah Switch Grass | Panicum virgatum 'Shenandoah' |
| 7 | 2 gal | Hamelin Dwarf Fountain Grass | Pennisetum alopecuroides 'Hamelin' |
| 67 | 1 gal | Big Blue Lily Turf | Liriope muscari 'Big Blue' |

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SHOOTERS SPORTS GRILL
XXXX DILEY ROAD
CANAL WINCHESTER, OHIO 43110

LEESMAN ENGINEERING & ASSOC.
ENGINEERING, SURVEYING, PLANNING
2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513.417-0420



DRAWING TITLE

LANDSCAPE PLAN

| | |
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| PROJ. NO. | DATE |
| SSG-CW | 12.15.19 |
| DRAWN | CHECKED |
| JT | GAF |

DRAWING NO.

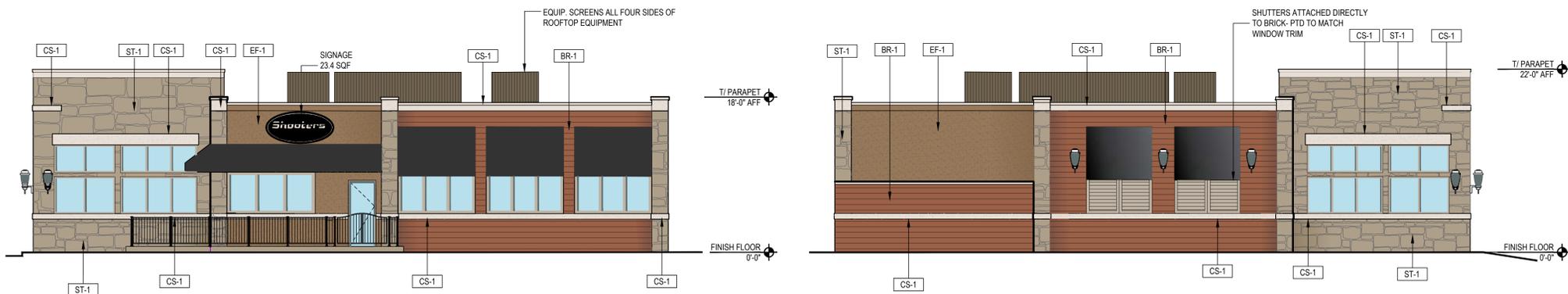
L2 of 2



H1 SIDE ELEVATION- LEFT
SCALE: 1/8" = 1'-0"



D1 SIDE ELEVATION- RIGHT
SCALE: 1/8" = 1'-0"



A1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

A7 REAR ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL SQUARE FOOTAGE CHART

LEFT ELEVATION

TOTAL SQUARE FOOTAGE: 2062 SQF
GLASS: 446 SQF= 21.6%
EIFS: 236 SQF= 11.2%
BRICK/STONE: 1408.18 SQF= 68.29%

FRONT ELEVATION

TOTAL SQUARE FOOTAGE: 1451 SQF
GLASS BETWEEN 2&10= 46.3%
EIFS: 243.3 SQF = 17%
BRICK/STONE: 866 SQF= 61%

RIGHT ELEVATION

TOTAL SQUARE FOOTAGE: 2019 SQF
GLASS: 213 SQF= 10.5%
EIFS: 571 SQF = 28.2%
BRICK/STONE: 1174 SQF= 58.14.6%

REAR ELEVATION

TOTAL SQUARE FOOTAGE: 1477.4 SQF
GLASS: 113.6 SQF= 7.6%
EIFS: 209 SQF= 14.2%
BRICK/STONE: 1154.54 SQF= 78%

FINISH SCHEDULE

- BR-1** GLEN-GERY MEDALIA COLLECTION
ROSEWOOD "MODULAR" (3 COURSES =8")
• COLOR: DARK RED TO BROWN
- EF-1** EXTERIOR INSULATION AND FINISH SYSTEM:
DRYVIT OR EQUAL
• SAND FINISH TO BE APPROVED BY OWNER/ARCHITECT
• COLOR TO MATCH BRICK
- CS-1** CAST STONE
GLEN-GERY LANDMARK STONE OR EQUAL
• COLOR: BUFF
• METAL CAP TO MATCH STONE COLOR
• SAMPLE TO BE APPROVED BY OWNER/ARCHITECT
- ST-1** CULTURED STONE:
GLEN-GERY LANDMARK STONE OR LOCAL EQUAL
• GLENRIDGE ASHFORD
• COLOR: TAN/BROWN TO BE APPROVED BY
OWNER/ARCHITECT

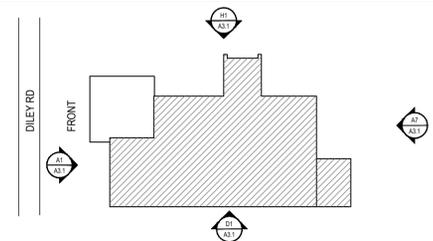
NOTE: FOR CORNER CONDITIONS- USE PRE MANUFACTURED
CORNER PEICES

EXTERIOR LIGHTING SCHEDULE

EXTERIOR WALL SCONCE
MANUF: KICHLER TOWNHOUSE BLACK 27" H OUTDOOR
SCONCE, SIZE: 27"H X 9 1/2" X 10 1/2"

ARCHITECTURAL WALL PACK
MANUF: ECONOLIGHT, LED FULL CUT OFF
E-WP503

KEY PLAN



ROOFTOP EQUIPMENT SCREENS



SHOOTERS SPORTS GRILL
8300 MEIJER DR
CANAL WINCHESTER
OH

PROJECT NO: 19025

ISSUANCES

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| 01-31-2020 - ZONING |
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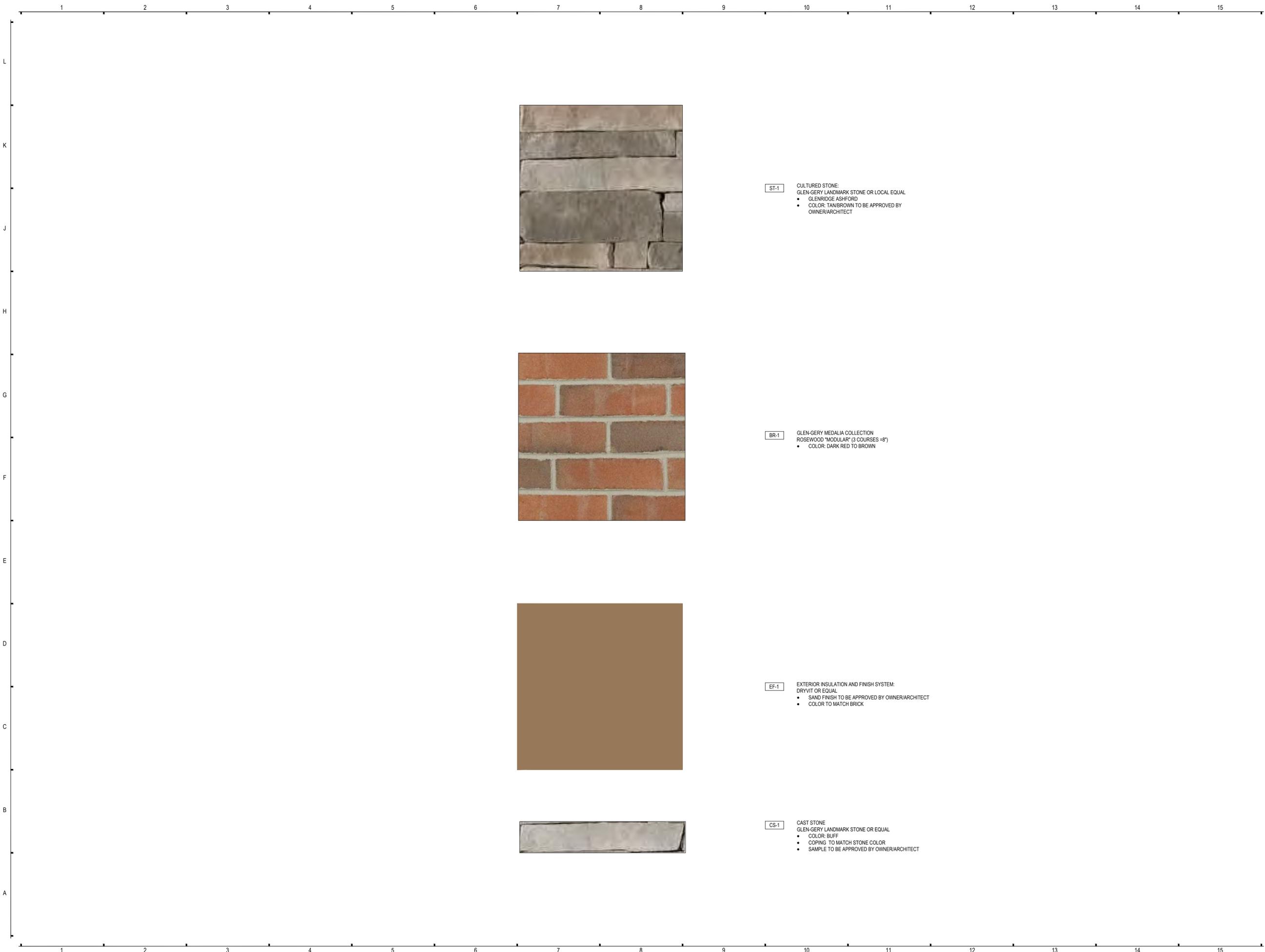
OPEN ARCHITECTURE, INC.

EXTERIOR ELEVATIONS

DRAWN BY: OA

REVIEWED BY: GK

ZE-1



ST-1 CULTURED STONE:
 GLEN-GERY LANDMARK STONE OR LOCAL EQUAL
 • GLENRIDGE ASHFORD
 • COLOR: TAN/BROWN TO BE APPROVED BY OWNER/ARCHITECT



BR-1 GLEN-GERY MEDALIA COLLECTION
 ROSEWOOD "MODULAR" (3 COURSES -8")
 • COLOR: DARK RED TO BROWN



EF-1 EXTERIOR INSULATION AND FINISH SYSTEM:
 DRYVIT OR EQUAL
 • SAND FINISH TO BE APPROVED BY OWNER/ARCHITECT
 • COLOR TO MATCH BRICK



CS-1 CAST STONE
 GLEN-GERY LANDMARK STONE OR EQUAL
 • COLOR: BUFF
 • COPING TO MATCH STONE COLOR
 • SAMPLE TO BE APPROVED BY OWNER/ARCHITECT



SHOOTERS SPORTS GRILL

8300 MEYER DR
 CANAL WINCHESTER
 OH

PROJECT NO: 19025

ISSUANCES

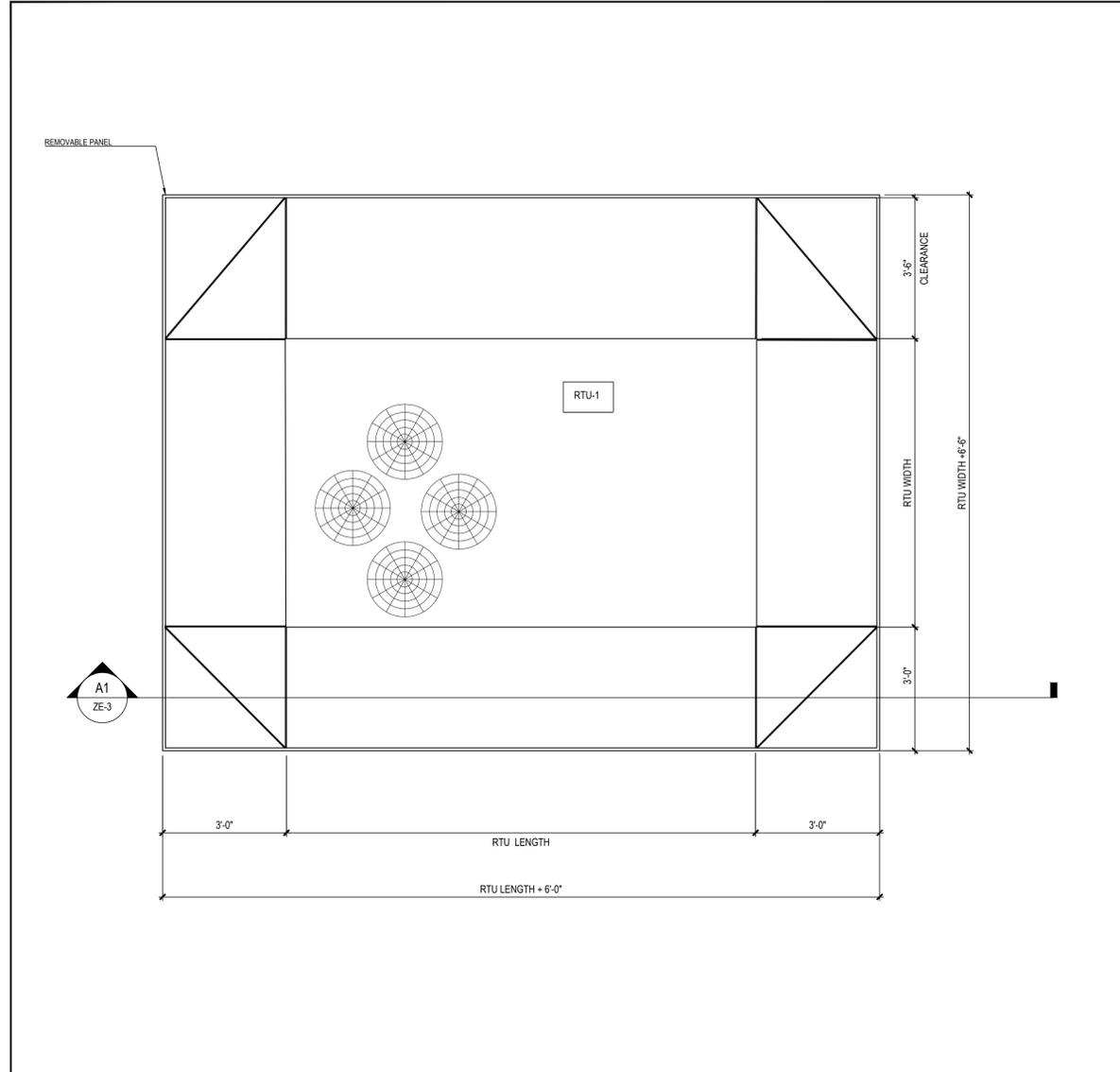
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| 01-31-2020 - ZONING |
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OPEN ARCHITECTURE, INC.

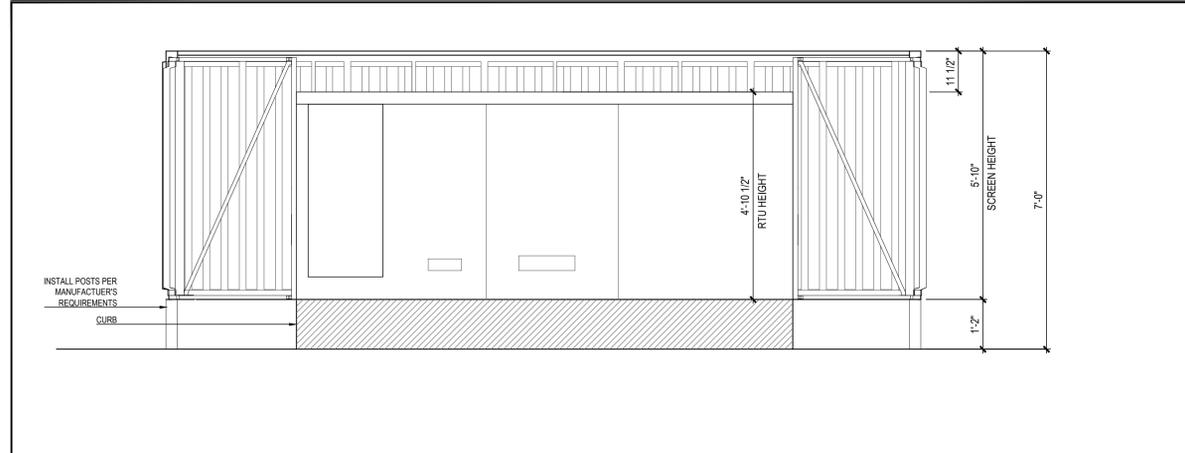
EXTERIOR MATERIALS

DRAWN BY: OA
 REVIEWED BY: GK

TYPICAL RTU SCREENING APPLICATION



D1 Screen Plan
SCALE: 1/2" = 1'-0"



A1 Screen Section
SCALE: 1/2" = 1'-0"



SHOOTERS SPORTS GRILL

8300 MEYER DR
CANAL WINCHESTER
OH

PROJECT NO: 19025

ISSUANCES

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| 01-31-2020 - ZONING |
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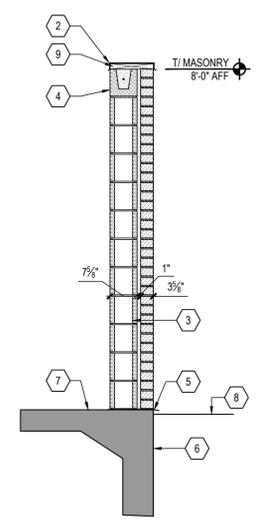
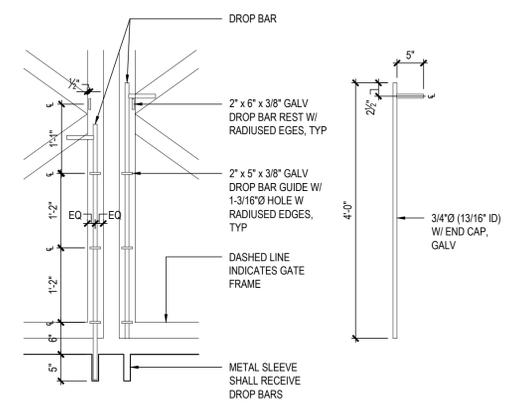
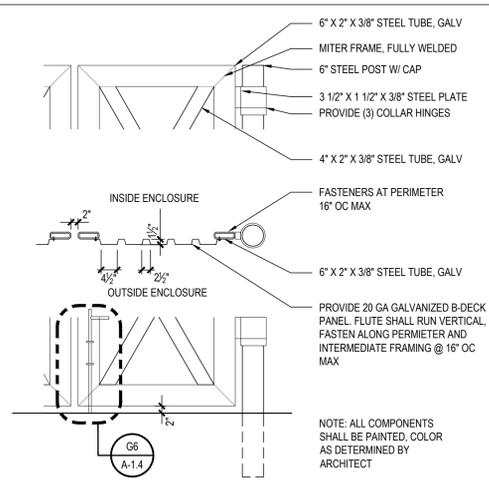
OPEN ARCHITECTURE, INC.

SCREEN DRAWINGS

DRAWN BY: OA
REVIEWED BY: GK

ZE-3

GATE HARDWARE:
 A. PROVIDE (2) 1-3/8" INDUSTRIAL DROP BARS, (2) 1-5/8" GUIDES & ALL REQUIRED NUTS & BOLTS. DRILL CONCRETE TO RECEIVE METAL SLEEVE. METAL SLEEVE TO ACCOMMODATE INDUSTRIAL DROP BARS. CONTACT EME FENCE CO. (513)231-7640
 B. (3) ROTATING STEEL COLLAR TO FIT AROUND PIPE - FILL CAVITY WITH HEAVY DUTY GREASE. POST AND COLLAR TO BE PAINTED
 C. EVERBOLT HEAVY DUTY GATE FLUID CATCH MODEL #20474
 COLOR: BLACK



GENERAL NOTES

- SEE FOUNDATION PLAN FOR FOUNDATION WALLS AND FOOTINGS LAYOUT AND CONCRETE SLAB RELATED INFORMATION
- DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
- REFER TO CIVIL DRAWINGS FOR COORDINATION AND PLACEMENT

KEY NOTES

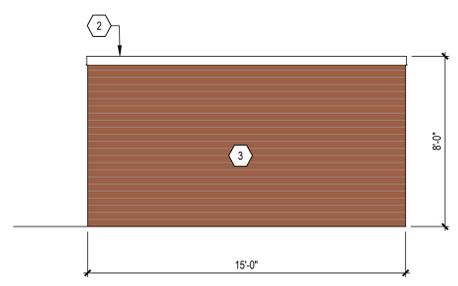
- TRASH ENCLOSURE W/ METAL GATE. GATE AND POSTS PAINTED TO MATCH BRICK. REFER TO DETAIL G1/A-1.4.
- METAL COPING, PAINTED TO MATCH ADJACENT BRICK
- 8" CONCRETE BLOCK WITH 1" AIRSPACE AND 3-5/8" FACE BRICK. REFER TO SECTION G10/A-1.4 FOR DETAILS.
- CONTINUOUS BOND BEAM- REFER TO STRUCTURAL
- "BLOK-FLASH" THRU WALL MASONRY FLASHING SYSTEM AS SHOWN AND AS INDICATED IN DRAWINGS AND SPECIFICATIONS.
- FOUNDATION- REFER TO STRUCTURAL
- CONCRETE FLOOR SLAB- REFER TO STRUCTURAL
- GRADE- REFER TO CIVIL DRAWINGS
- PRESSURE TREATED SOLID WOOD BLOCKING

NOTE:
 REMOTE DUMPSTER
 LOCATION. REFER TO CIVIL
 DRAWINGS FOR LOCATION

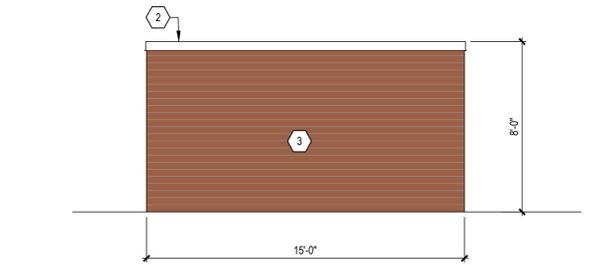
G1
 SCALE: 1/2" = 1'-0"
Dumpster Enclosure Gate Detail

G6
 SCALE: 3/4" = 1'-0"
Cane Bolt Detail

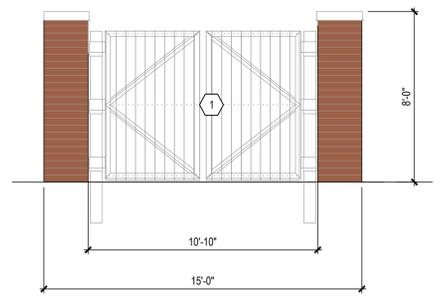
G10
 SCALE: 1/2" = 1'-0"
Wall Section



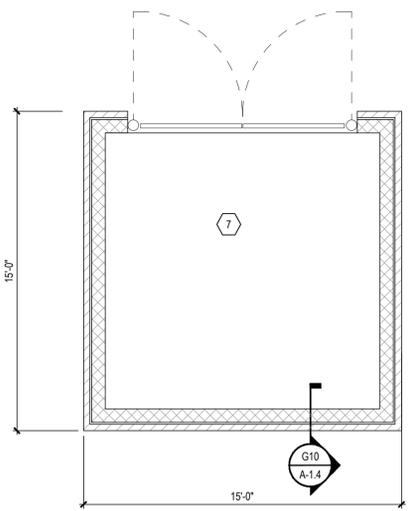
D1
 SCALE: 1/4" = 1'-0"
Dumpster Side Elevation Left/Right



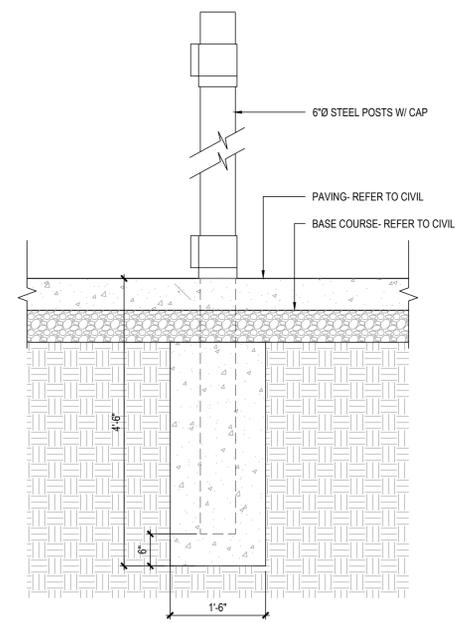
D5
 SCALE: 1/4" = 1'-0"
Dumpster Rear Elevation



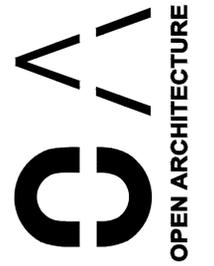
A1
 SCALE: 1/4" = 1'-0"
Dumpster-Front



A5
 SCALE: 1/4" = 1'-0"
Dumpster Plan



A10
 SCALE: 3/4" = 1'-0"
Steel Posts



SHOOTERS SPORTS GRILL
 8300 MEIJER DR
 CANAL WINCHESTER
 OH

PROJECT NO: 19025

ISSUANCES

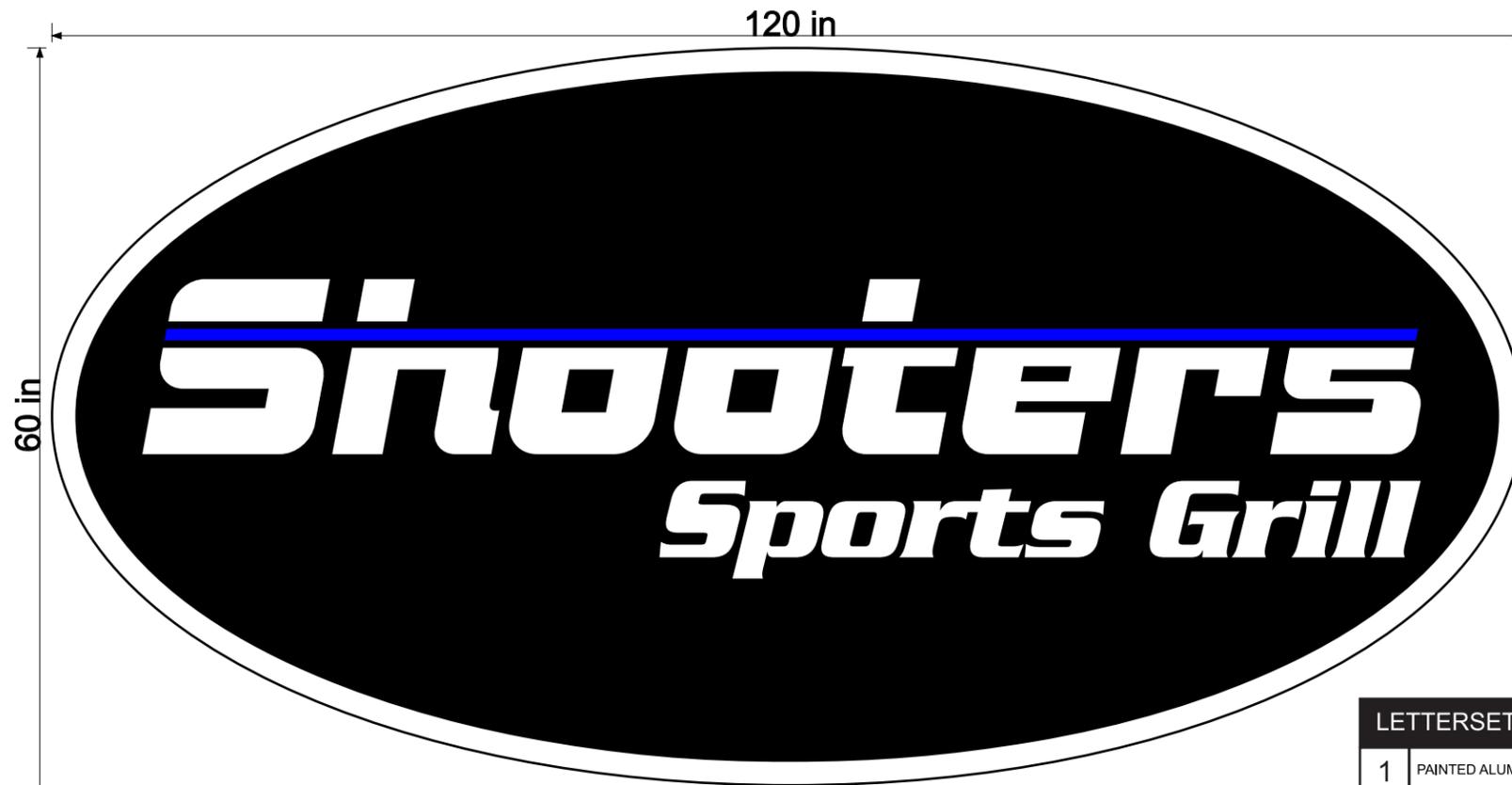
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| 01-31-2020 - ZONING |
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OPEN ARCHITECTURE, INC.

ENLARGED DUMPSTER PLAN AND DETAILS

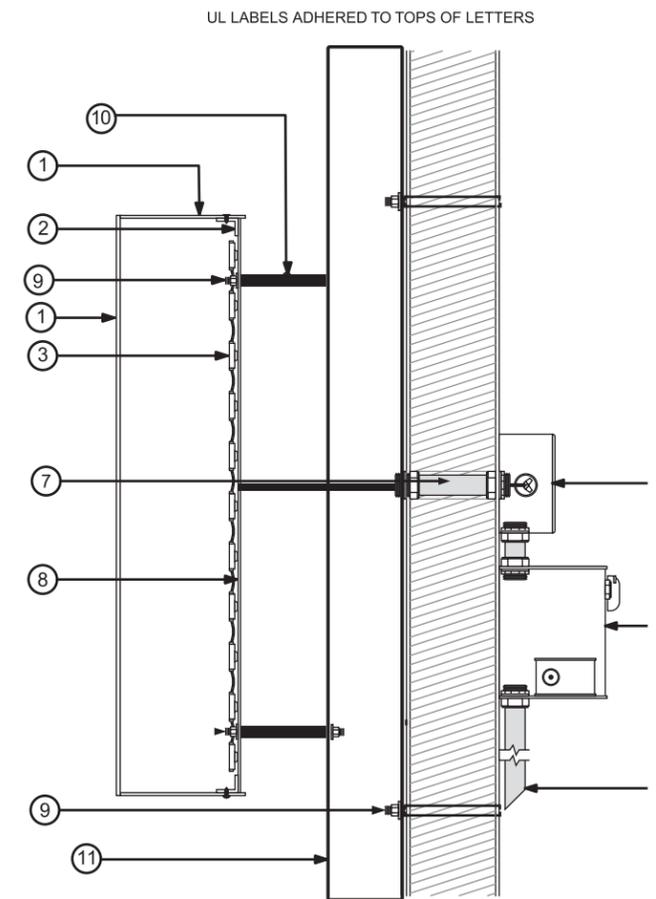
DRAWN BY: SP
 REVIEWED BY: ERC/KCB

ZE-4



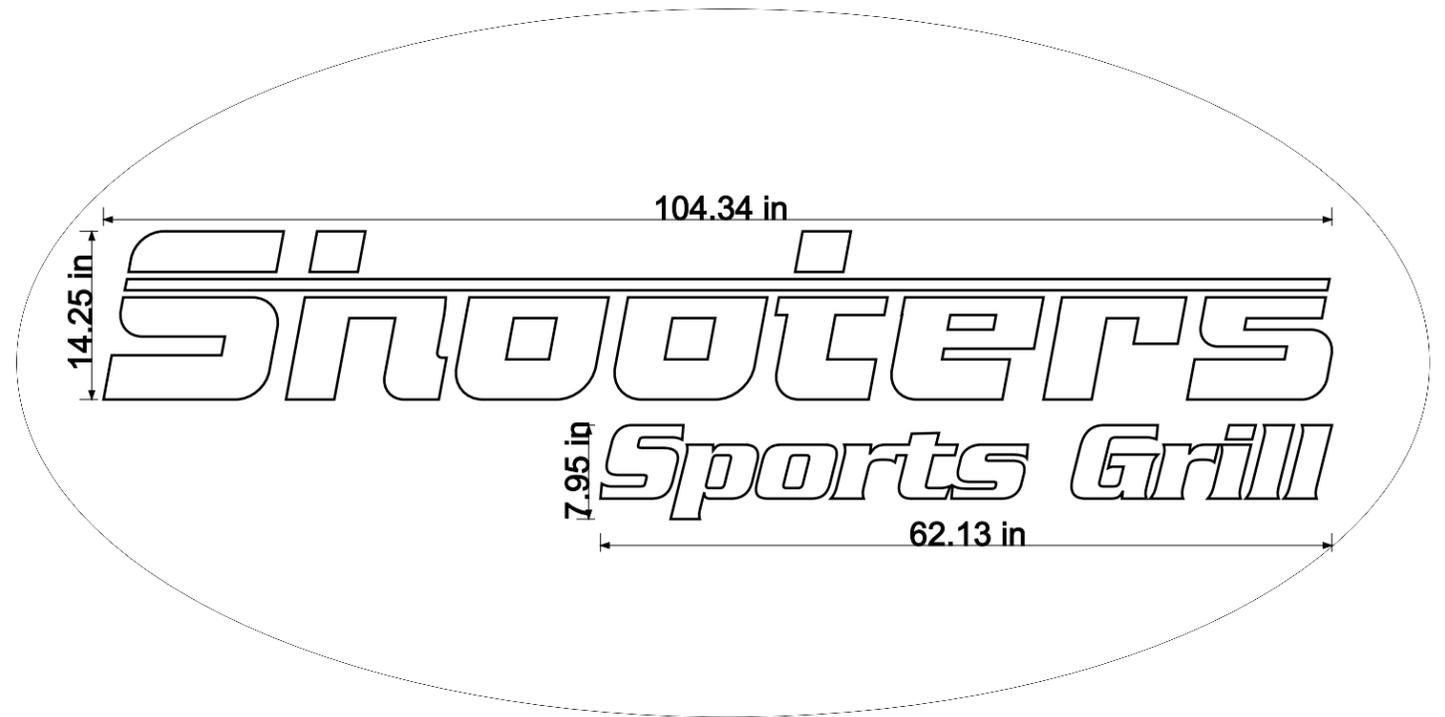
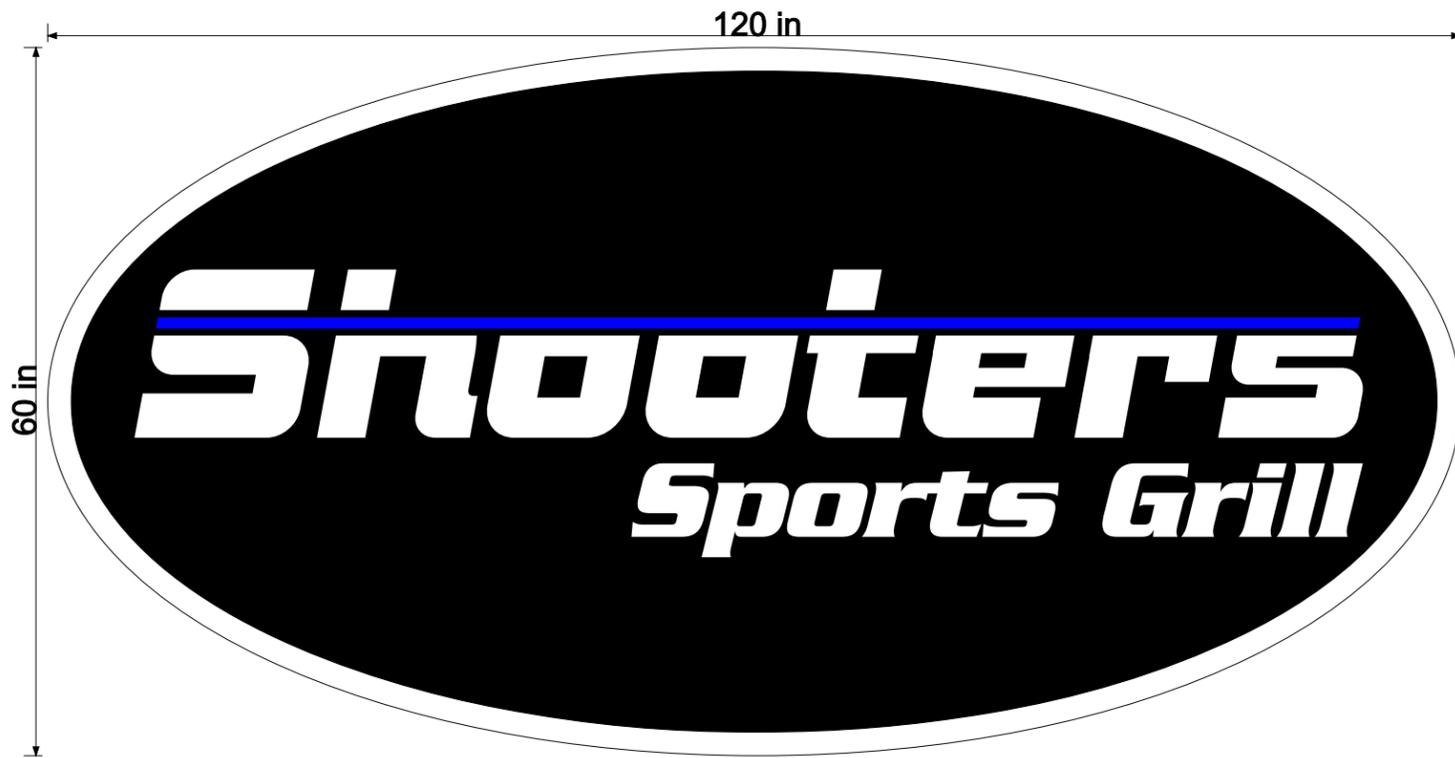
building left

| LETTERSET SPECIFICATIONS | |
|--------------------------|---|
| 1 | PAINTED ALUMINUM 3" RETURN AND FACE |
| 2 | BACKER MOUNTING CLIP: L-CLIP RIVETED TO BACKER |
| 3 | LED UNITS (WHITE) |
| 4 | UL LISTED HOUSING SECONDARY WIRING SPLICE POINT (WHEN NEEDED) |
| 5 | UL LISTED HOUSING CONTAINING POWERSUPPLY* DISCONNECT SWITCH FOR DEDICATED PRIMARY POWER CIRCUIT |
| 6 | PRIMARY POWER CIRCUIT (PROVIDED BY OTHERS) TO BE PLACED WITHING 3 FT OF SIGN |
| 7 | CONDUIT: SECONDARY ELECTRIC RUN |
| 8 | CLEAR BACKER: MODUALES MOUNTED DIRECT |
| 9 | MOUNTING HARDARE : VARIES ON FACADE TYPE AND SUPPORT STRUCTURE |
| 10 | 1-1/2" BLACK SPACERS |
| 11 | 2" METAL BACKER |



BP HALO LIT LETTER SECAION
SCALE: NTS

building left

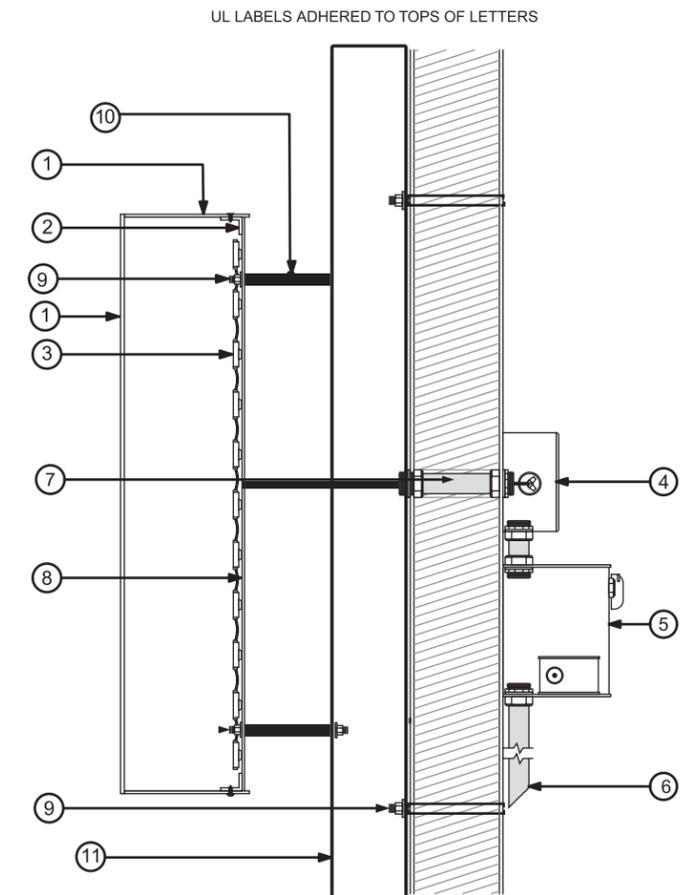


HALO LIT LETTERING AND BOARDER



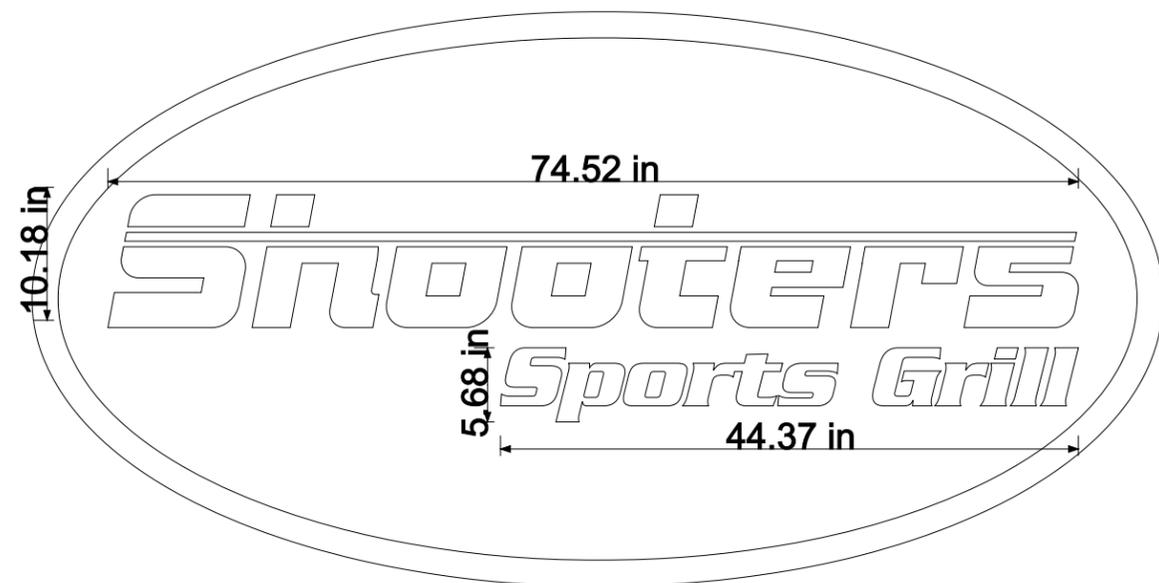
building front

| LETTERSET SPECIFICATIONS | |
|--------------------------|---|
| 1 | PAINTED ALUMINUM 3" RETURN AND FACE |
| 2 | BACKER MOUNTING CLIP: L- CLIP RIVETED TO BACKER |
| 3 | LED UNITS (WHITE) |
| 4 | UL LISTED HOUSING SECONDARY WIRING SPLICE POINT (WHEN NEEDED) |
| 5 | UL LISTED HOUSING CONTAINING POWERSUPPLY* DISCONNECT SWITCH FOR DEDICATED PRIMARY POWER CIRCUIT |
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| 8 | CLEAR BACKER: MODUALES MOUNTED DIRECT |
| 9 | MOUNTING HARDARE : VARIES ON FACADE TYPE AND SUPPORT STRUCTURE |
| 10 | 1-1/2" BLACK SPACERS |
| 11 | 2" METAL BACKER |



BP HALO LIT LETTER SECACTION
SCALE: N.T.S.

building front



HALO LIT LETTERING AND BOARDER

Townhouse 1 Light Wall Light Black

9788BK (Black)

Project Name: _____
 Location: _____
 Type: _____
 Qty: _____
 Comments: _____



Certifications/Qualifications

| | |
|-----------------|--|
| Location Rating | CSA UL Listed Wet |
| | www.kichler.com/warranty |

Dimensions

| | |
|---|-------------|
| Base Backplate | 4.50 X 5.25 |
| Extension | 6.50" |
| Weight | 2.15 LBS |
| Height from center of Wall opening (Spec Sheet) | 2.75" |
| Height | 11.75" |
| Width | 6.50" |

Mounting/Installation

| | |
|-------------------|------------|
| Interior/Exterior | Exterior |
| Mounting Style | Wall Mount |
| Mounting Weight | 2.15 LBS |

Primary Lamping

| | |
|------------------------|--------------|
| Lamp Included | Not Included |
| Lamp Type | A19 |
| Light Source | Incandescent |
| Max or Nominal Watt | 100W |
| # of Bulbs/LED Modules | 1 |
| Socket Type | Medium |
| Socket Wire | 150 |

Product/Ordering Information

| | |
|--------|--------------|
| SKU | 9788BK |
| Finish | Black |
| Style | Traditional |
| UPC | 783927165846 |

Specifications

| | |
|----------------------|---------------|
| Diffuser Description | Clear Beveled |
| Material | CAST ALUMINUM |

Additional Finishes



Black



Tannery Bronze

Kichler

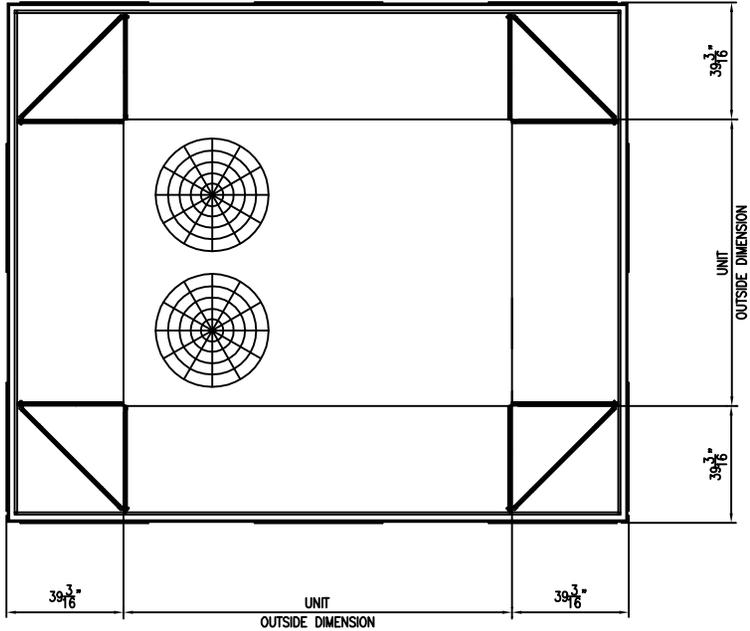
7711 East Pleasant Valley Road Cleveland, Ohio 44131-8010
 Toll free: 866.558.5706 or kichler.com

Notes:

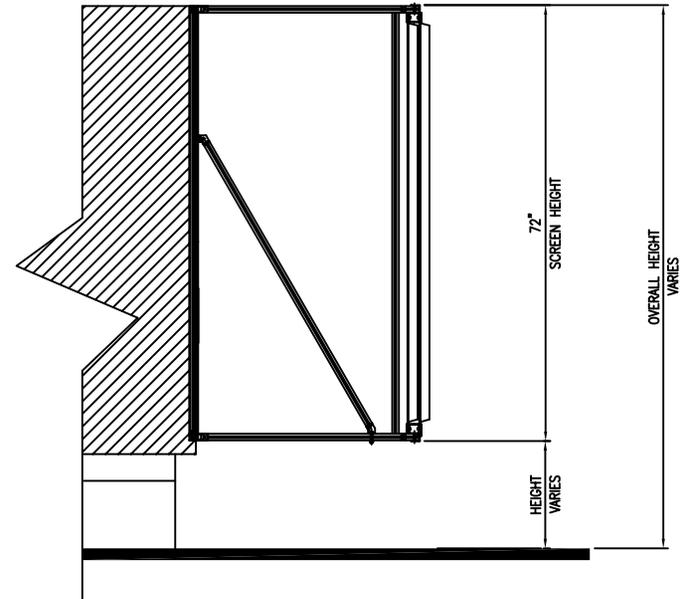
- 1) Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions.
- 2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

KICHLER®

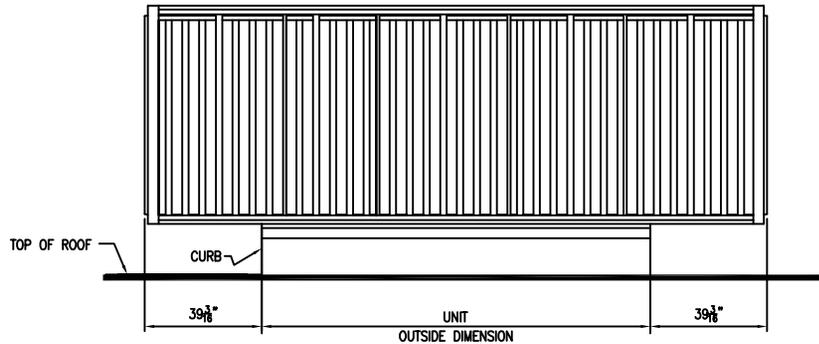
70" VERTICAL STYLE ENVISOR
FOOTPRINT



70" VERTICAL STYLE ENVISOR
SECTION



70" VERTICAL STYLE ENVISOR
ELEVATION



NOTE: The Screen System shown corresponds to a typical construction of the Envisor 70" Vertical Style using Flat Rib Panels. This drawing is intended to illustrate general dimensions of the Envisor System when installed on an average Roof Top Unit. Dimensions and specifications of the system can vary depending on the RTU's location to each other and performance characteristics.

cityscapes
architectural innovations

4200 LYMAN COURT
HILLIARD, OH (614) 850-2549

THIS IS AN ORIGINAL UNPUBLISHED DRAWING SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY CITYSCAPES INTERNATIONAL INCORPORATED IT IS NOT TO BE REPRODUCED, EXHIBITED, OR FABRICATED IN ANY FASHION WITHOUT PERMISSION FROM AN AUTHORIZED OFFICER OF THE COMPANY.

| | | | | |
|---|----------------|-------------------------|-----|-------------------------------|
| PROJECT DESCRIPTION ENVISOR 70" VERTICAL STYLE | | REVISION REF.# AND DATE | | SCALE 3/16" = 1' |
| PROJECT DESCRIPTION GENERAL SPECIFICATIONS | | PAS 02/05/04 | | SHEET 1 OF 1 |
| CLIENT | CONTACT PERSON | WORK ORDER # | | DRAWN BY PAS |
| ADDRESS | CITY | STATE | ZIP | CHECKED BY |
| JOBSITE LOCATION | | | | DATE FILE CREATED 02/05/04 |
| ADDRESS | CITY | STATE | ZIP | DWG FILE # 100039 |



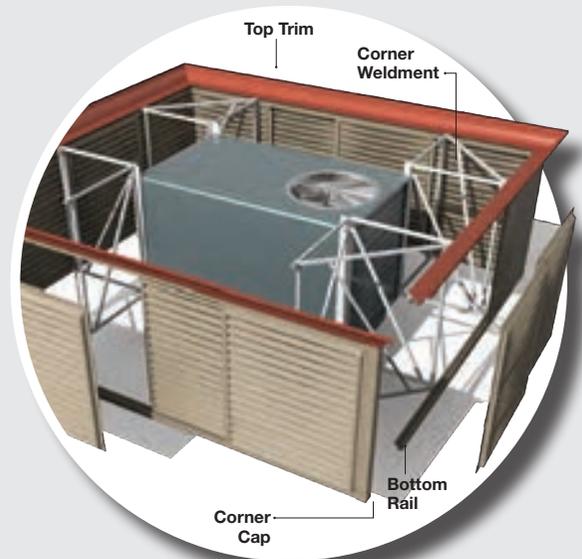
REGIONAL GROCERY CHAIN
• 52"/35" Stacked Louver & 52" Louver
• Color: Ranchero Red

envisor[®]

Innovative Rooftop Screens

Attractive, code-compliant and long lasting, Envisor equipment screens offer affordable, elegant, customized screening solutions that blend into the overall design, all with no rooftop penetration. Our patented roof screen system provides practical solutions for municipal screening requirements of HVAC units, chillers, air handlers, power exhausts, roof stacks and communication equipment. You name it, we can screen it!

- **Zero Rooftop Penetration**
- **ABS or Metal**
- **Sliding Panels for Easy Service Access**



U.S. Patent No. 5,664,384
U.S. Patent No. 7,000,362
U.S. Patent No. 7,707,798

cityscapes[®]
architectural innovations



COMMERCIAL OFFICE SPACE

- 52" Louver panel with Band style top trim
- Color: Almond

**THE LEADING ROOF
SCREEN CHOICE OF
ARCHITECTS, BUILDING
OWNERS AND
CONTRACTORS FOR
MORE THAN 20 YEARS.**



CHURCH OFFICE

- 52" Louver panel with Cove top trim
- Color: Custom color match



NATIONAL RETAILER

- 70" Louver panel with Step 2 top trim
- Color: Alabaster

DESIGN OPTIONS

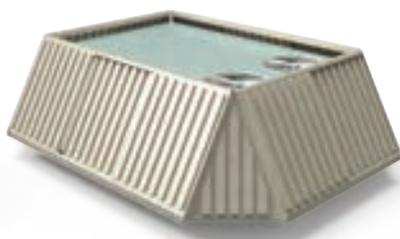
Envisor screens are the perfect alternative to parapet walls and they satisfy even the strictest screening code requirements. Both styles feature our patented attachment method, which secures our screens directly to the equipment with no rooftop penetration. Post mounted option is also available. Screen heights are available to shield virtually anything you desire.

VERTICAL



Available in ABS or metal

CANTED



Available in ABS only

POST MOUNT



Available in ABS or metal

PANEL STYLES

Panels are available in ten standard styles, allowing you to match or coordinate with the building design. The panels are constructed of thermoformed, high-impact ABS with a co-extruded UV protective layer on both sides or choose one of our metal series options in a variety of thicknesses and finishes. The panels are held firmly in place using a rust-free, double tracked aluminum rail system. This enables the panels to slide side-to-side for easy access to the unit during servicing and maintenance.

ACRYLICAP[®]



LOUVER



HORIZONTAL RIB



BRICK



PAN



FOREST



BATTEN



7.2 RIB



VERTICAL RIB

METAL



7.2 RIB



PAN



7.2 RIB VERTICAL

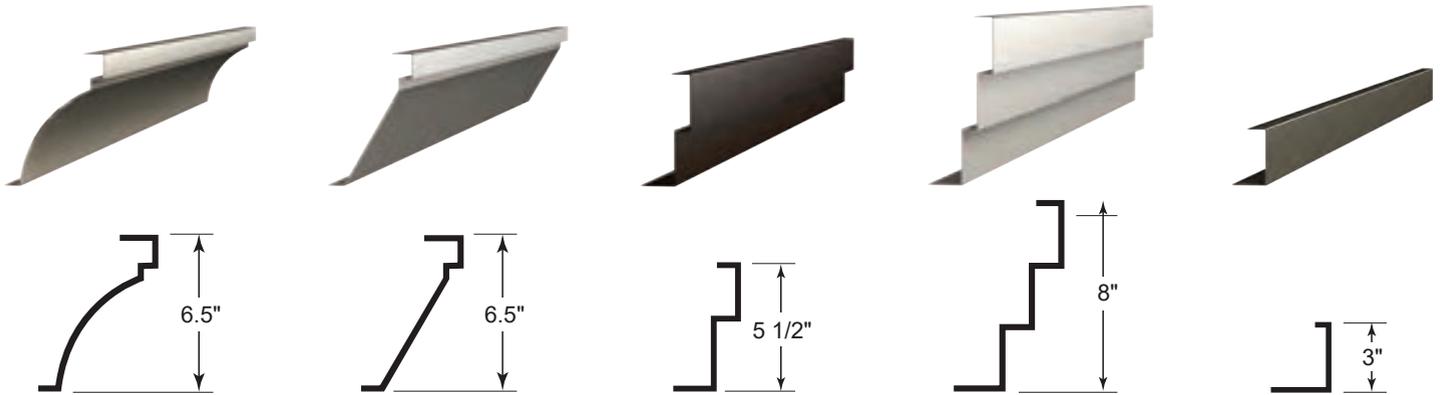


PERFORATED METAL

Don't see a panel that fits your project?
Tell us and we'll make one that you design. (Mold fee may apply)

TOP TRIM STYLES

OPTIONAL — Decorative top trim options offer the flexibility to further customize the elegant appearance of the screens by picking up building design elements and incorporating those details into the screen. Although optional, they offer one more way to make screens part of the design, not part of the problem. *Prices vary by style.*



COLORS

Our designer colors complement most architectural applications, but don't let standard colors limit your creativity. We have the ability to match any cross-referenced color specifications. Send us samples to match. We've even matched a color to a rock! Colors are approximations. Please call for actual samples.



Need a custom color? Provide a Sherwin Williams or PMS code and we can color match.

***Speak to a project manager about our Envisor accessories,
including lighting kits and more.***

CITY COUNCIL

February 18, 2020

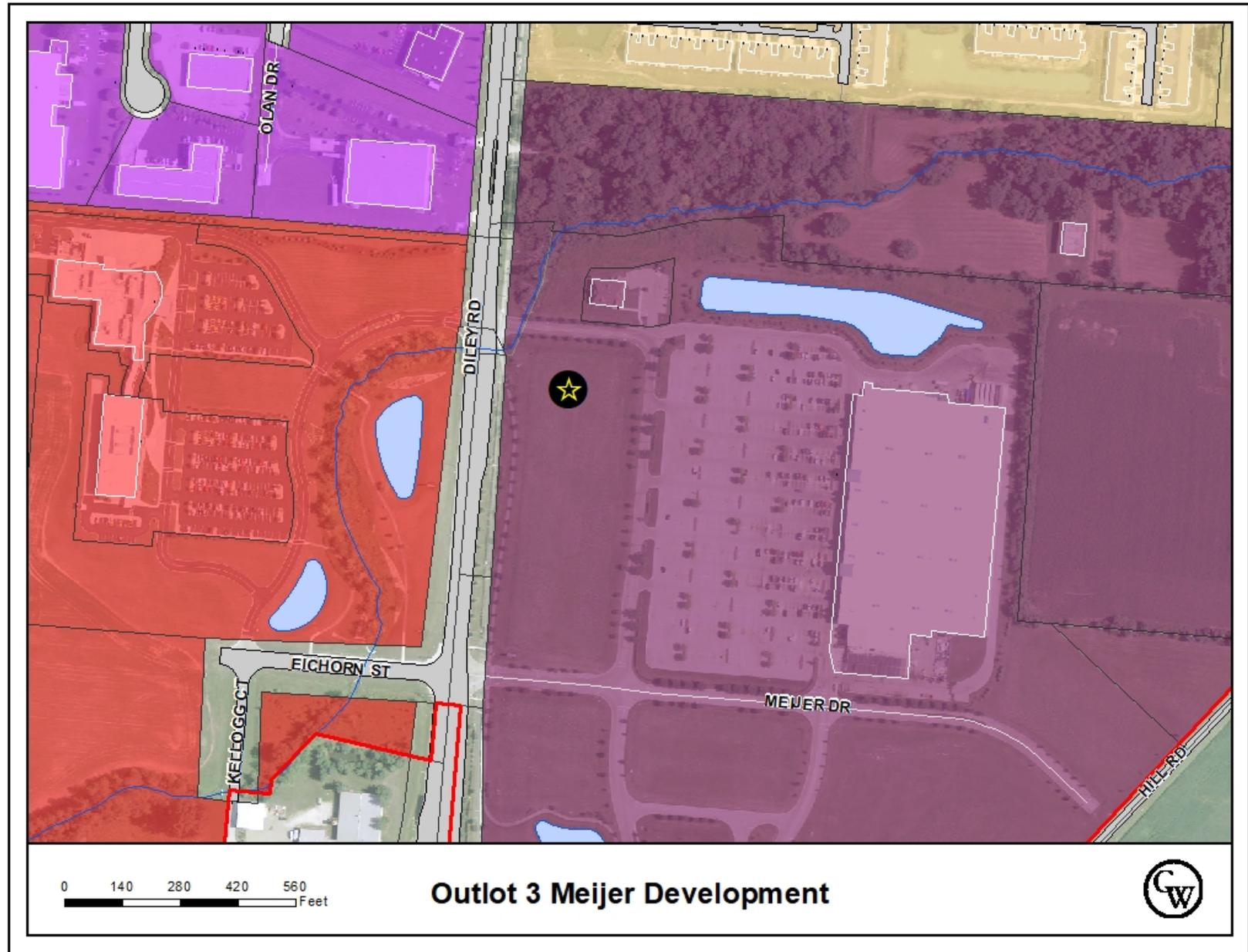
Application #FDP-20-001

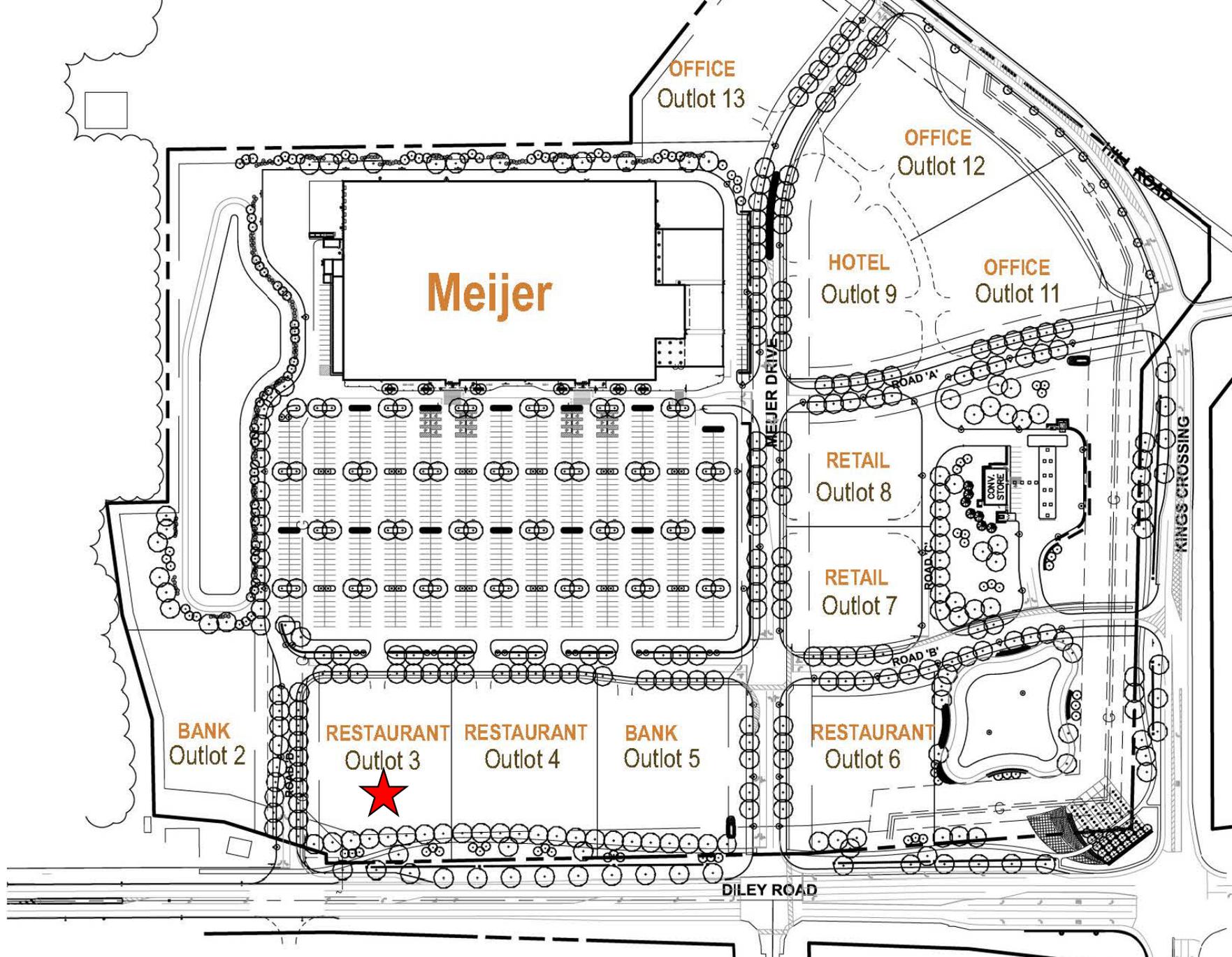
Owner: Meijer Stores Limited Partnership

Applicant: Leesman Engineering and Assoc.

Location: PID 042-0389000

Request: Final Development Plan for a 6,620 sq. ft. Shooters Sports Grill





The undersigned hereby certifies, as of SEPTEMBER 9, 2019 to

and its successors, nominees and assigns as follows:

- a) I have surveyed, on the ground in accordance with the minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys as fully established and adopted by the American Land Title Association and American Congress on Surveying & Mapping and the National Society of Professional Surveyors, 2016 and this meets the requirements for an urban survey as defined therein, the property legally described hereon are true and legal description is correct, complete and accurate.
- b) The boundaries of the property as depicted in the plat were established by actual field measurements and the pins, monuments or other markers were set or found as shown.
- c) The size, dimensions and locations of all of the boundaries of the property, buildings, structures, fences and party walls and other improvements, recorded and visible unrecorded easements, streets, signs, drainage ditches, roads, railroads, streams, means of public access, rights of way, utility lines and connections, and set-back lines which affect the property are correctly and accurately shown hereon.
- d) All encroachments, overlaps or overhangs on easements, adjoining property, streets or alleys by any of said buildings, structures or other improvements, are as shown on the drawing. There are no encroachments, no overlaps or overhangs on said property by buildings, structures or other improvements situated on adjoining property and if/w except as shown.
- e) This plot correctly shows (i) the courses and measured distances of the exterior property lines of the property and any easements located on or affecting the property; (ii) the scale, north direction, the beginning point and point of reference from which the property is measured, the width of the streets or which the said property abuts, the lot and block number shown on any map or plat to which reference is made in the legal description of the property, together with the recording references for said map or plat; (iii) the address of the property; (iv) the location and number of parking spaces and the total area of the property in acres and square feet; and any easements located on or affecting the property; (v) the dimensions of all buildings on the property of ground surface level and the distance therefrom to the nearest facing exterior property lines; and (vi) names of adjoining owners.
- f) The property lines shown as surveyed and described on the plat is contiguous along its entire boundaries and is not encroached thereon.
- g) The dimensions shown hereon are expressed in feet and decimal part thereof.
- h) All bearings are related to an assumed meridian and are intended to indicate angles only.
- i) All parcels are contiguous with each other and there are no gaps or gores between or among parcels.
- j) A physical examination of the property reveals no apparent use of the property for pathways, driveways or roadways for which there are no recorded easements, nor for solid waste dump, dump, sanitary land fill, drilling, excavating, building, street or sidewalk construction or repairs, or any changes in street right-of-way lines, either completed or proposed, nor does it serve adjoining property for drainage, ingress, egress or any other purpose.
- k) The property has direct frontage to a dedicated, complete and accepted public street maintained by governmental authority known as DILEY ROAD with NO DIRECT ACCESS. Access is being provided by control access drive and easement on and along the NORTHERN property line of subject property. Shared-Access Drive is UNNAMED.
- l) The property does NOT lie within a flood plain. NO FEMA FLOOD MAP AVAILABLE.
- m) A physical examination of the property does not reveal evidence of cemeteries.
- n) There are no parking restrictions on said property.
- o) No portion of the property lies within a federally designated wetlands protection area as determined by the maps of the Army Corps of Engineers, nor within any designated flood hazard area as determined by the U.S. Department of Housing and Urban Development, the Federal Emergency Management Agency or other federal, state or local government entity.
- p) There was NO evidence of building construction during survey.

PROPERTY INFORMATION

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE BEARING OF NORTH 04°42'50" EAST FOR THE CENTRAL LINE OF DILEY ROAD AS SHOWN ON THE DEED TO MUELER STORES LIMITED PARTNERSHIP (24,768 ACRES) AND IN O.R. 1458, PG. 765 OF THE MARSHFIELD COUNTY, OHIO RECORDER'S OFFICE.

FLOOD DATA

MAP NUMBER: NO FEMA FLOOD ZONE STUDY
 COMMUNITY NUMBER: 390169
 FLOOD ZONE: X
 MAP REVISED: NO FLOOD MAP AVAILABLE

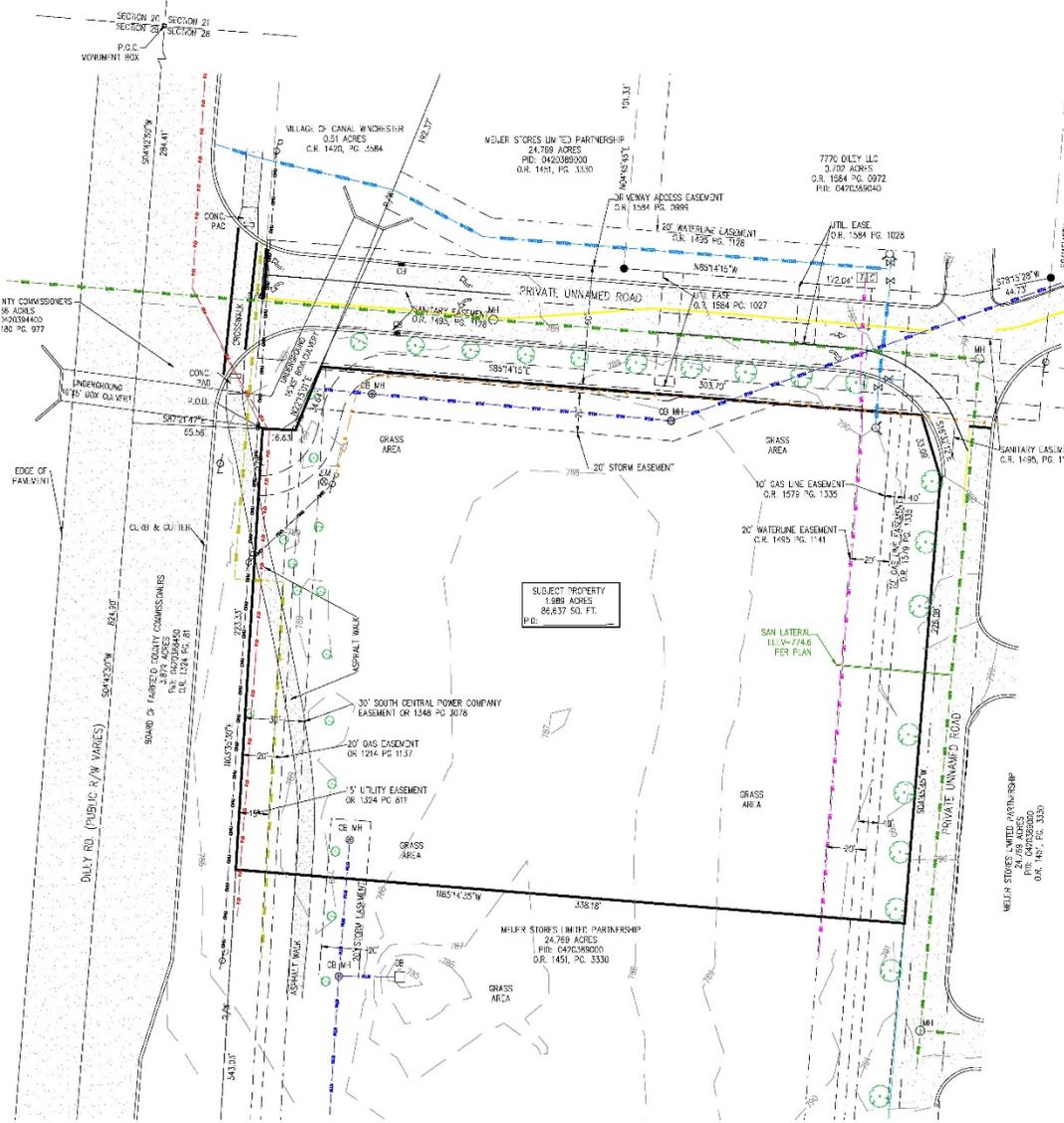
ENCROACHMENT NOTES

DRAWING NOTES

- 1) ALL UTILITIES ARE SHOWN BY VISUAL INSPECTION OF THE SITE OR MARKINGS ON THE GROUND BY OTHERS.
- 2) FROM OBSERVED EVIDENCE AS SHOWN HEREON, GAS, ELECTRIC, STORM, SANITARY SEWER, AND TELEPHONE ARE AVAILABLE FOR THE SUBJECT PROPERTY.
- 3) DATE OF TITLE COMMITMENT: _____

LEGEND

- FOUND I.P.
- ✕ FOUND C.N.
- ⊕ LIGHT POLE
- ⊙ GAS VALVE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- CB CATCH BASIN
- MH MAN HOLE
- EM ELECTRIC METER
- ⊕ CABLE BOX
- ⊕ TELEPHONE BOX



LEGAL DESCRIPTION

SOB. P. H. ITEMS, COMMITMENT NO. 000



VICINITY MAP
N.T.S.

ALTA/NSPS LAND TITLE SURVEY

Date of PLAT/MAP: SEPTEMBER 9, 2019

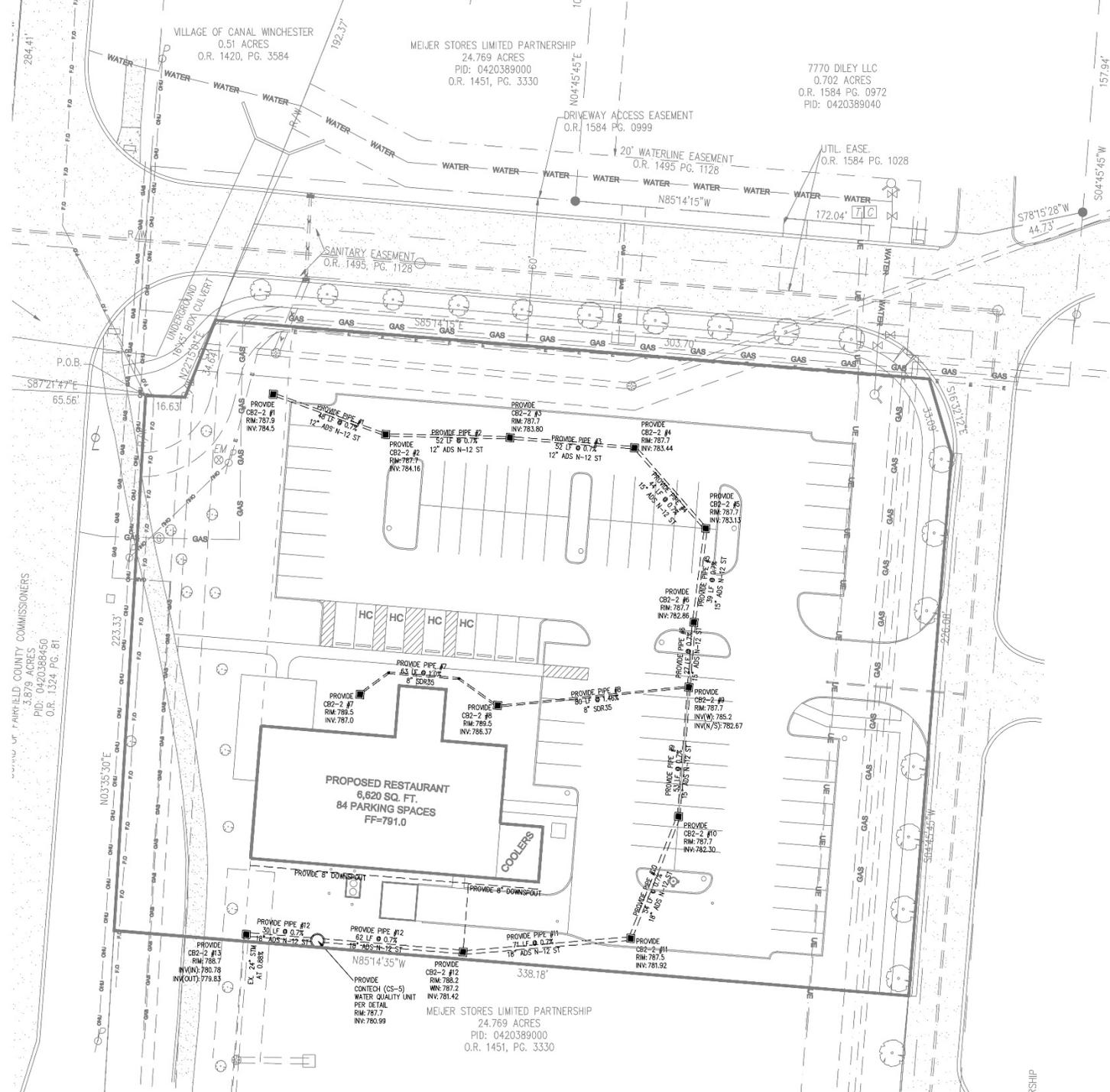


PRELIMINARY

Steven J. Leeman, Leeman Engineering & Associates
 Registered Land Surveyor
 Reg. No. 8332
 State of Ohio
 Date of survey: AUGUST 26, 2019
 Contact info: email@leemanengineering.com

LEESMAN ENGINEERING & ASSOC.
 ENGINEERING, SURVEYING, PLANNING
 2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513-917-0420

| DRAWING DATA | | REVISIONS | |
|---------------|------|-----------|----|
| SCALE: 1"=30' | DATE | DATE | BY |
| DRAWN BY: BRR | | | |
| CHECKED BY: | | | |
| DWG. NO.: | | | |



VILLAGE OF CANAL WINCHESTER
0.51 ACRES
O.R. 1420, PG. 3584

MEIJER STORES LIMITED PARTNERSHIP
24.769 ACRES
PID: 0420389000
O.R. 1451, PG. 3330

7770 DILEY LLC
0.702 ACRES
O.R. 1584 PG. 0972
PID: 0420389040

TOWN OF FAIRFIELD COUNTY COMMISSIONERS
3.879 ACRES
PID: 0420388450
O.R. 1324 PG. 81

PROPOSED RESTAURANT
6,620 SQ. FT.
84 PARKING SPACES
FF=791.0

MEIJER STORES LIMITED PARTNERSHIP
24.769 ACRES
PID: 0420389000
O.R. 1451, PG. 3330

PROVIDE CONTECH (CS-5)
WATER QUALITY UNIT
PER RETAIL
RM: 787.7
INV: 780.99

PROVIDE CB2-2 #13
RM: 788.7
INV(N): 780.78
INV(OUT): 779.83

PROVIDE PIPE #2
30 LF @ 0.74
12\"/>

PROVIDE PIPE #2
62 LF @ 0.74
12\"/>

PROVIDE CB2-2 #12
RM: 788.2
INV: 781.42

PROVIDE PIPE #11
71 LF @ 0.74
12\"/>

PROVIDE CB2-2 #11
RM: 787.5
INV: 781.92

PROVIDE CB2-2 #10
RM: 787.7
INV: 782.30

PROVIDE PIPE #9
15\"/>

PROVIDE CB2-2 #9
RM: 787.7
INV(N): 785.2
INV(S): 782.67

PROVIDE PIPE #8
12\"/>

PROVIDE CB2-2 #8
RM: 787.7
INV: 782.86

PROVIDE PIPE #7
15\"/>

PROVIDE CB2-2 #7
RM: 787.7
INV: 783.44

PROVIDE PIPE #6
52 LF @ 0.74
12\"/>

PROVIDE CB2-2 #6
RM: 787.7
INV: 783.80

PROVIDE PIPE #5
52 LF @ 0.74
12\"/>

PROVIDE CB2-2 #5
RM: 787.7
INV: 784.16

PROVIDE PIPE #4
46 LF @ 0.74
12\"/>

PROVIDE CB2-2 #4
RM: 787.9
INV: 784.5

PROVIDE CB2-2 #7
RM: 788.5
INV: 787.0

PROVIDE CB2-2 #8
RM: 789.5
INV: 786.37

PROVIDE CB2-2 #9
RM: 790.5
INV: 785.37

PROVIDE CB2-2 #10
RM: 791.5
INV: 784.37

PROVIDE CB2-2 #11
RM: 792.5
INV: 783.37

PROVIDE CB2-2 #12
RM: 793.5
INV: 782.37

PROVIDE CB2-2 #13
RM: 794.5
INV: 781.37

PROVIDE CB2-2 #1
RM: 787.9
INV: 784.5

PROVIDE CB2-2 #2
RM: 787.7
INV: 784.16

PROVIDE CB2-2 #3
RM: 787.7
INV: 783.80

PROVIDE CB2-2 #4
RM: 787.7
INV: 783.44

PROVIDE CB2-2 #5
RM: 787.7
INV: 783.00

PROVIDE CB2-2 #6
RM: 787.7
INV: 782.56

PROVIDE CB2-2 #7
RM: 787.7
INV: 782.12

PROVIDE CB2-2 #8
RM: 787.7
INV: 781.68

PROVIDE CB2-2 #9
RM: 787.7
INV: 781.24

PROVIDE CB2-2 #10
RM: 787.7
INV: 780.80

PROVIDE CB2-2 #11
RM: 787.7
INV: 780.36

PROVIDE CB2-2 #12
RM: 787.7
INV: 779.92

PROVIDE CB2-2 #13
RM: 787.7
INV: 779.48

PROVIDE CB2-2 #1
RM: 787.9
INV: 784.5

PROVIDE CB2-2 #2
RM: 787.7
INV: 784.16

PROVIDE CB2-2 #3
RM: 787.7
INV: 783.80

PROVIDE CB2-2 #4
RM: 787.7
INV: 783.44

PROVIDE CB2-2 #5
RM: 787.7
INV: 783.00

PROVIDE CB2-2 #6
RM: 787.7
INV: 782.56

PROVIDE CB2-2 #7
RM: 787.7
INV: 782.12

PROVIDE CB2-2 #8
RM: 787.7
INV: 781.68

PROVIDE CB2-2 #9
RM: 787.7
INV: 781.24

PROVIDE CB2-2 #10
RM: 787.7
INV: 780.80

PROVIDE CB2-2 #11
RM: 787.7
INV: 780.36

PROVIDE CB2-2 #12
RM: 787.7
INV: 779.92

PROVIDE CB2-2 #13
RM: 787.7
INV: 779.48

CONTRACTOR TO FIELD
LOCATE AND TIE-IN TO
EX. SAN. LATERAL
*NOTIFY DESIGN
ENGINEER OF DEPTH

PROVIDE
HD C.O.

PROVIDE
GAS METER
PER PROVIDER

PROPOSED RESTAURANT
6,620 SQ. FT.
84 PARKING SPACES
FF=791.0

PROVIDE
GREASE
INTERCEPTOR
PER DETAIL

COOLERS

PROVIDE
FIRE HYDRANT

PROVIDE
6'x6' CONC.
TRANS. PAD

PROPOSED
EDC LOCATION
ON BUILDING

PROVIDE 6" SDR35
300 LF @ 2.0% MIN.

PROVIDE
HD C.O.

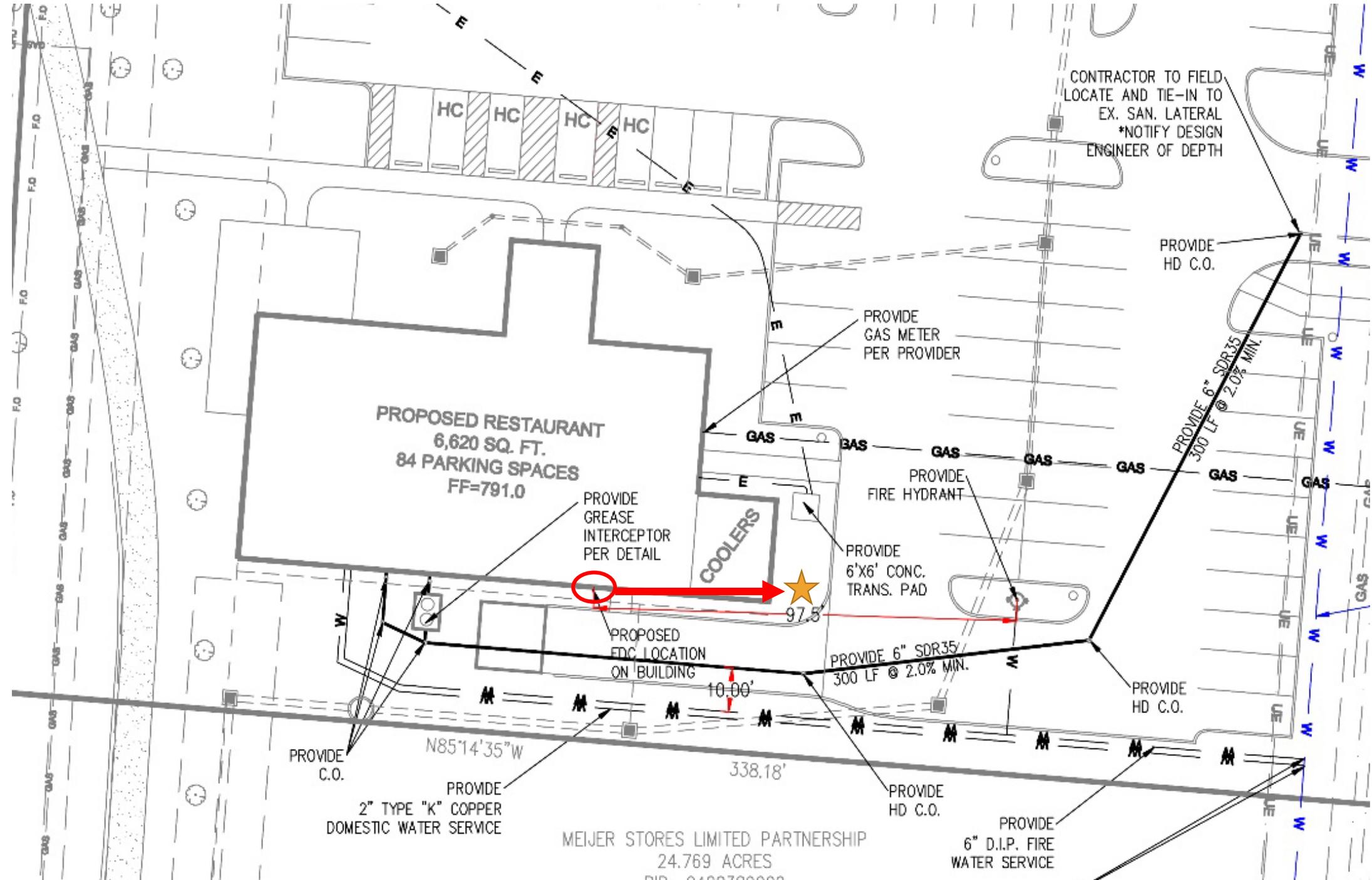
PROVIDE
C.O.

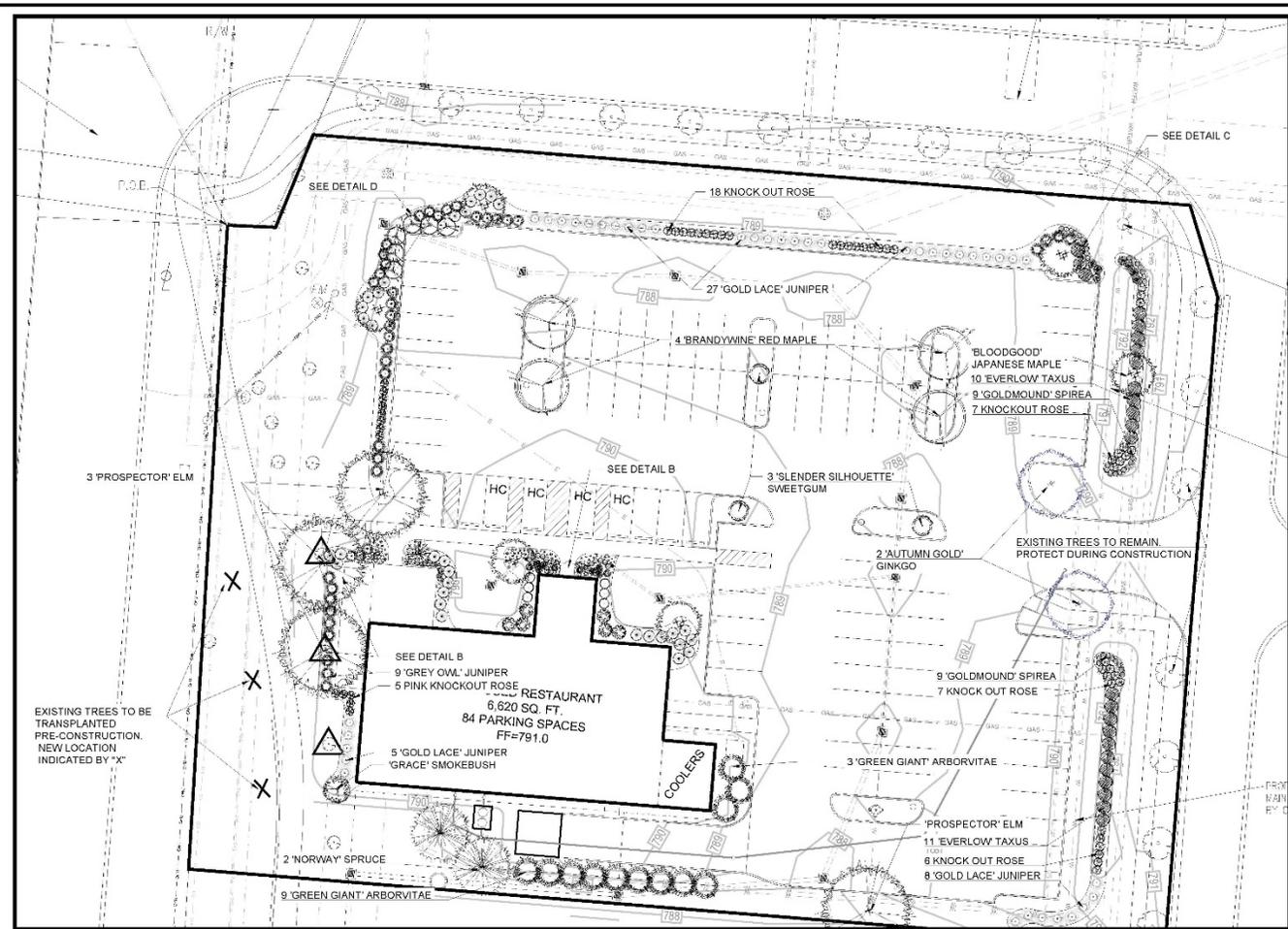
PROVIDE
2" TYPE "K" COPPER
DOMESTIC WATER SERVICE

PROVIDE
HD C.O.

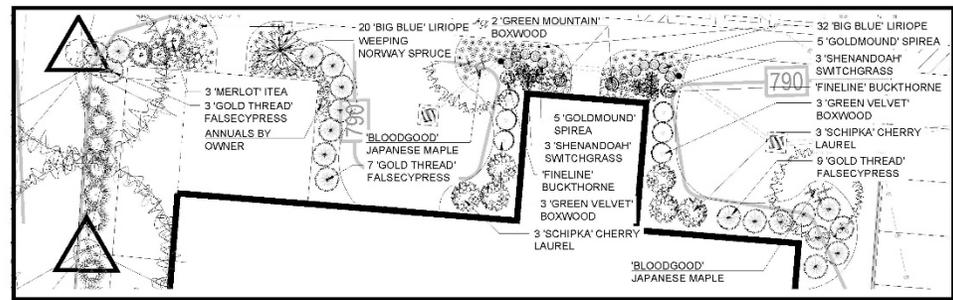
PROVIDE
6" D.I.P. FIRE
WATER SERVICE

MEIJER STORES LIMITED PARTNERSHIP
24.769 ACRES
PID: 0420389000

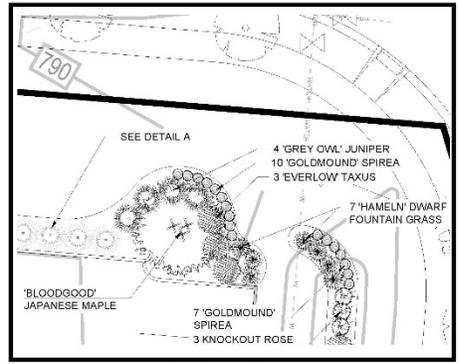




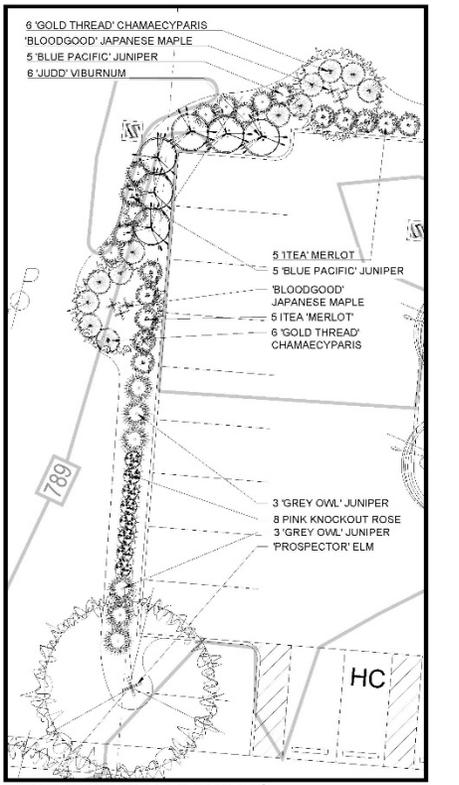
PLAN: VUA LANDSCAPE AND BUFFER PLANTING



PLAN: BUILDING LANDSCAPE



PLAN: BUFFER PLANTING



PLAN: BUFFER PLANTING

SEED AND STRAW ALL DISTURBED AREAS

△ TRANSPLANT

DATE: _____ BY: _____
 DESCRIPTION: _____
 REVISIONS AND/OR ISSUES: _____

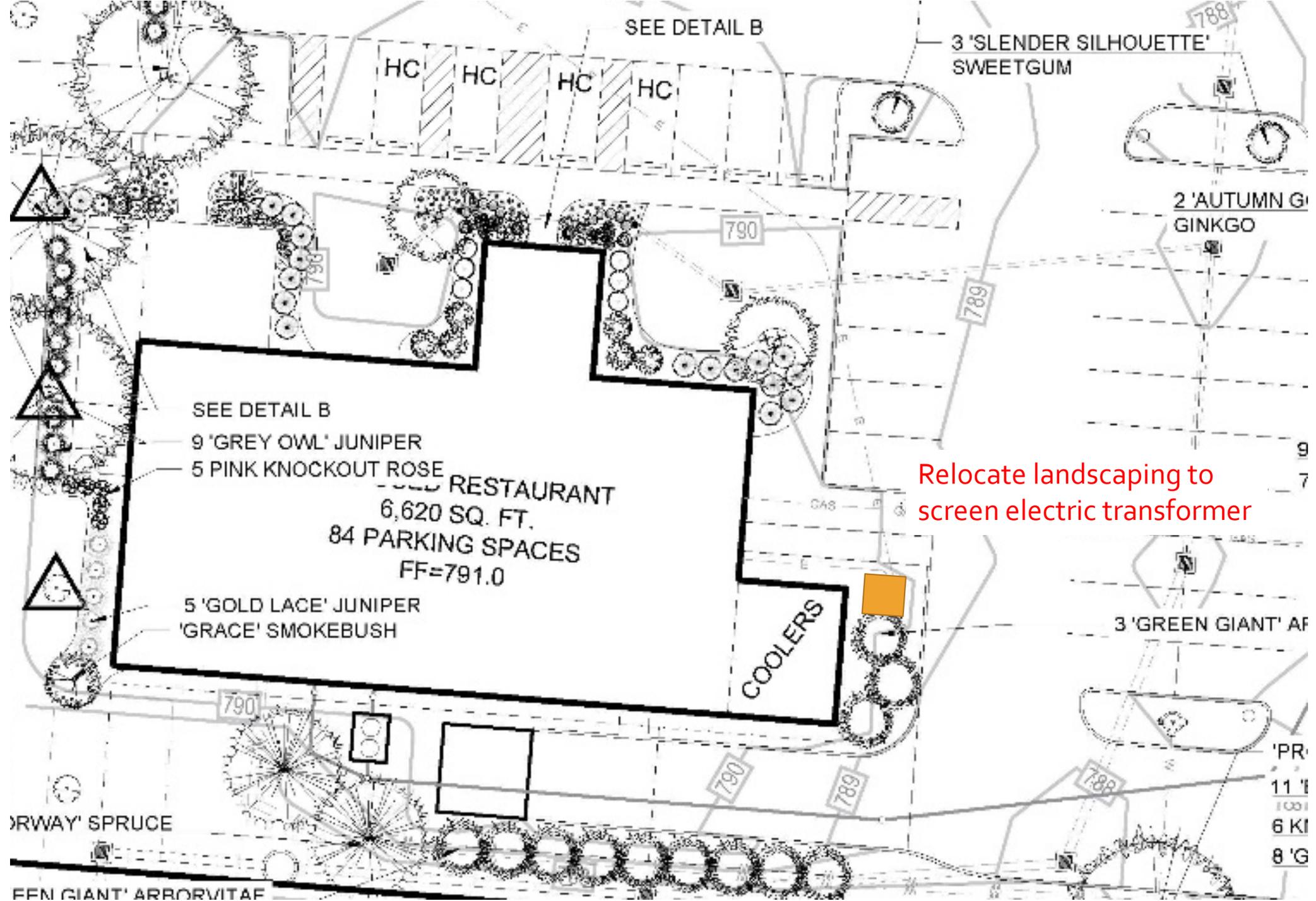
STATE OF OHIO
 DIVISION OF SURVEYING
 GAY E.A. FRAZER
 LICENSED SURVEYOR
 14833

SHOOTERS SPORTS GRILL
 10000 OHIO 43110
 CANAL WINDY HILLS
 LEESMAN ENGINEERING & ASSOC.
 ENGINEERING, SURVEYING, PLANNING
 2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513-417-0420

S
J
L
engrtees

DRAWING TITLE
 LANDSCAPE PLAN
 PROJECT: 553-Cor DATE: 7.8.19
 DRAWN: [Signature] CHECKED: [Signature]

DRAWING NO.
 L1 of 2



Relocate landscaping to screen electric transformer

SEE DETAIL B
9 'GREY OWL' JUNIPER
5 PINK KNOCKOUT ROSE
RESTAURANT
6,620 SQ. FT.
84 PARKING SPACES
FF=791.0
5 'GOLD LACE' JUNIPER
'GRACE' SMOKEBUSH

COOLERS

3 'SLENDER SILHOUETTE' SWEETGUM

2 'AUTUMN G' GINKGO

3 'GREEN GIANT' AF

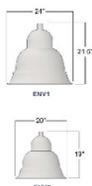
'PRWAY' SPRUCE

'GREEN GIANT' ARBORVITAE

'PR'
11'
6 KI
8'G



AVPL ENV - Architectural Bell Luminaire



AV POLES & LIGHTING
11717 W. 10th St.
Lawrence, CA 94048
Tel: (925) 948-2300
Fax: (925) 948-2306
www.avpl.com



Description

Description of the luminaire design provides a guide for lighting system in a variety of applications. The luminaire is designed for use in a variety of applications, including street lighting, landscape lighting, and general lighting applications.

Features

- Semi-Aluminum construction
- Die-cast aluminum housing
- Clear polycarbonate lens
- IP67 rated - suitable for wet locations
- Light fixture is covered with a clear lens
- Low maintenance and easy to clean
- Multiple lighting options available with optional lens
- Multiple LED modules available for increased lumens
- EFC (Energy Efficient Control) system for energy savings and control
- AEC (Automated Energy Control) system for energy savings and control
- AEC (Automated Energy Control) system for energy savings and control
- AEC (Automated Energy Control) system for energy savings and control



Ordering Information

| Luminaire | Lamp Type | Volts | Mounting | Finish | Options |
|-----------|--------------------|-------|--|---|--|
| AVPL ENV1 | LED 700mA 1A | 120V | <input type="checkbox"/> Wall Mount <input type="checkbox"/> Pole Mount | <input type="checkbox"/> Black <input type="checkbox"/> White <input type="checkbox"/> Grey <input type="checkbox"/> Green | <input type="checkbox"/> Electrical <input type="checkbox"/> LED Only |
| AVPL ENV2 | LED 700mA 1A | 208V | <input type="checkbox"/> Wall Mount <input type="checkbox"/> Pole Mount | <input type="checkbox"/> Black <input type="checkbox"/> White <input type="checkbox"/> Grey <input type="checkbox"/> Green | <input type="checkbox"/> Electrical <input type="checkbox"/> LED Only |

16' MOUNTING HEIGHT

SD442'50"W 824.50'

BOARD OF FAIRFIELD COUNTY COMMISSIONERS
3.879 ACRES
PID: 0420388450
O.R. 1324, PG. 81



Luminaire parts list (Site 1)

| Index | Manufacturer | Article name | Item number | Fitting | Luminous flux | Light loss factor | Connected load | Quantity |
|-------|---|---|---------------------------------|---|---------------|-------------------|----------------|----------|
| 1 | Eye Lighting International of North America | Post-top recessed kit installed in Lexalite 424 Lindy reference housing | LEX-37RM4433-830-HWD-XXXX-UNV-X | 1xNine white LED arrays, three boards with three LED arrays and clear plastic optics each x 1 LIMITED LUXEON Mx 3 MODULES WITH 4 LEDES PER MODULE 05W PER MODULE 700mA DRIVE CURRENT TYPE IV MEDIUM | 1000 lm | 0.91 | 12 W | 15 |
| 2 | AV POLES & LIGHTING | AVPL-CL-S-3-IV-700mA-1 C5W-4K | | | 8762 lm | 0.91 | 71 W | 9 |

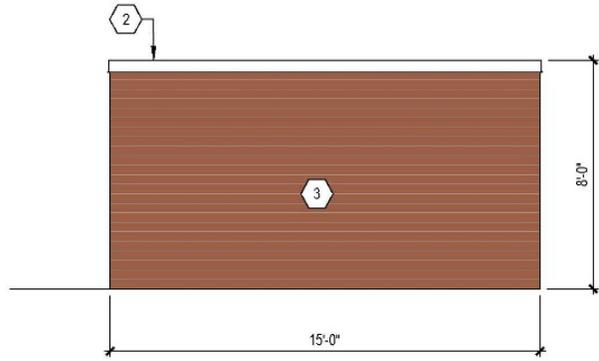
| # | Name | Parameter | Min | Max | Average | Mech/Min | Max/Min |
|---|---------------------|---------------------------|----------|---------|---------|----------|---------|
| 1 | Calculation surface | Perpendicular Illuminance | 0.006 fc | 7.96 fc | 0.96 fc | 163.2 | 1360 |

Shooters Canal Winchester

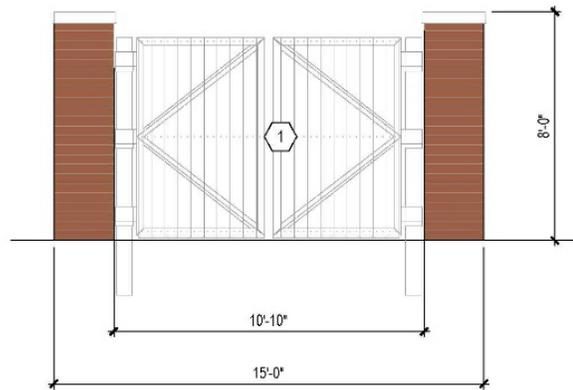
SCALE: N/A
DATE: 12/9/2019

130 W. Ross Ave
Cincinnati, Ohio 45217
P. 513-693-4360
www.leesman.com

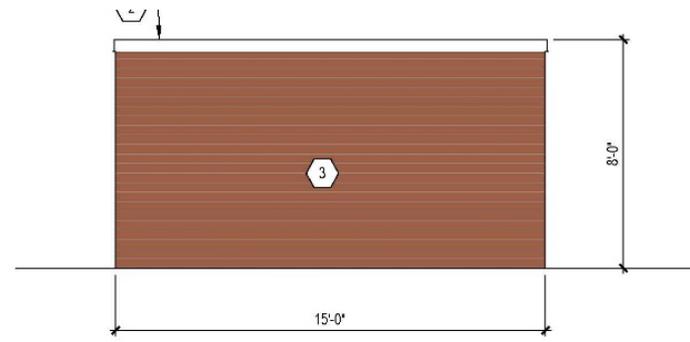




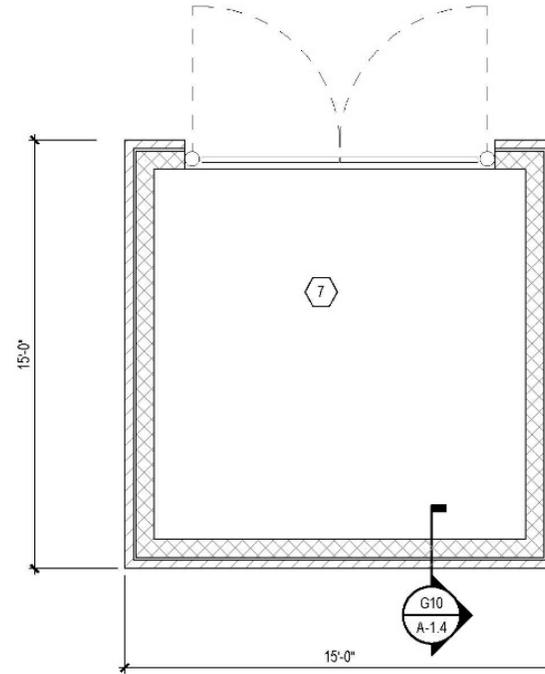
D1 Dumpster Side Elevation Left/Right
A-1.4 SCALE: 1/4" = 1'-0"



A1 Dumpster-Front
A-1.4 SCALE: 1/4" = 1'-0"



D5 Dumpster Rear Elevation
A-1.4 SCALE: 1/4" = 1'-0"



A5 Dumpster Plan
A-1.4 SCALE: 1/4" = 1'-0"

North Elevation



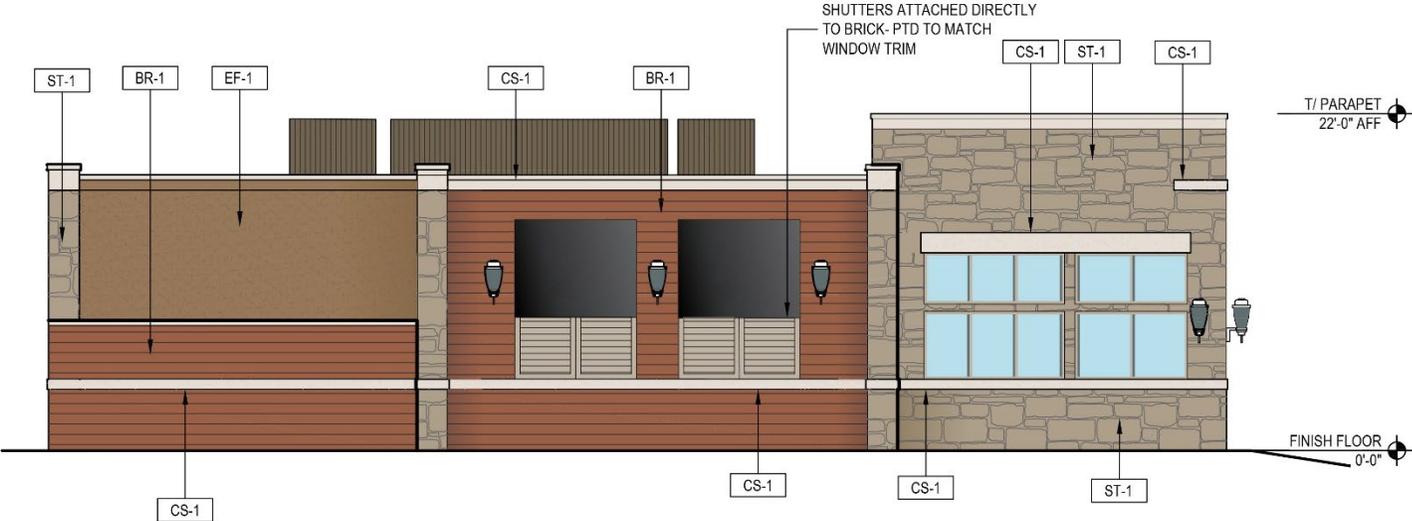
Diley Road Elevation



South Elevation



East Elevation





ST-1

- CULTURED STONE:
GLEN-GERY LANDMARK STONE OR LOCAL EQUAL
- GLENRIDGE ASHFORD
 - COLOR: TAN/BROWN TO BE APPROVED BY OWNER/ARCHITECT



EF-1

- EXTERIOR INSULATION AND FINISH SYSTEM:
DRYWIT OR EQUAL
- SAND FINISH TO BE APPROVED BY OWNER/ARCHITECT
 - COLOR TO MATCH BRICK



BR-1

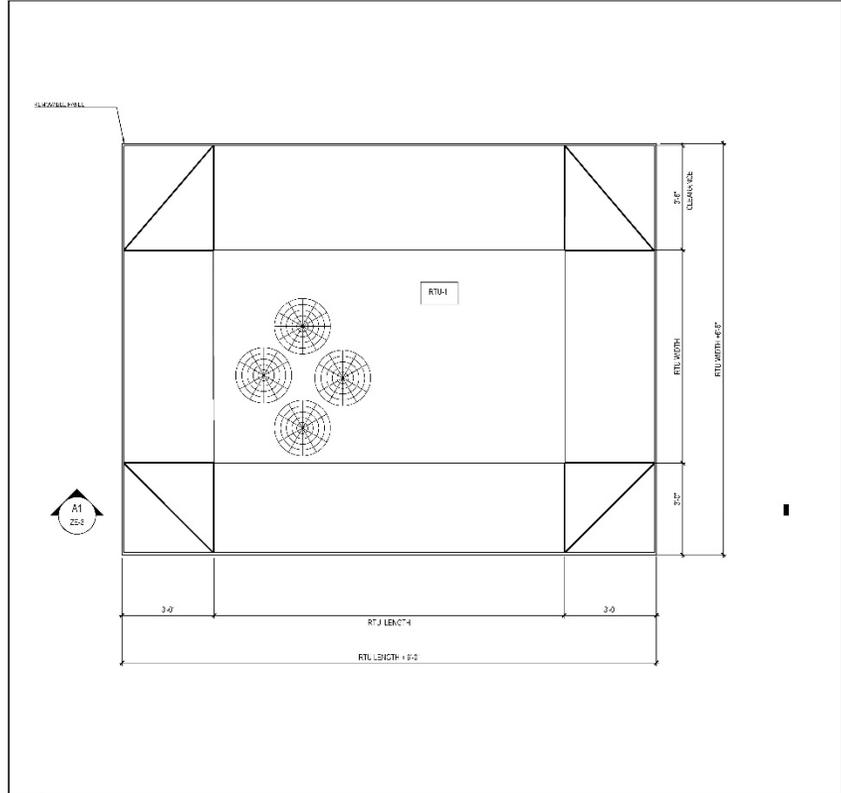
- GLEN-GERY MEDALIA COLLECTION
ROSEWOOD "MODULAR" (3 COURSES = 8")
- COLOR: DARK RED TO BROWN



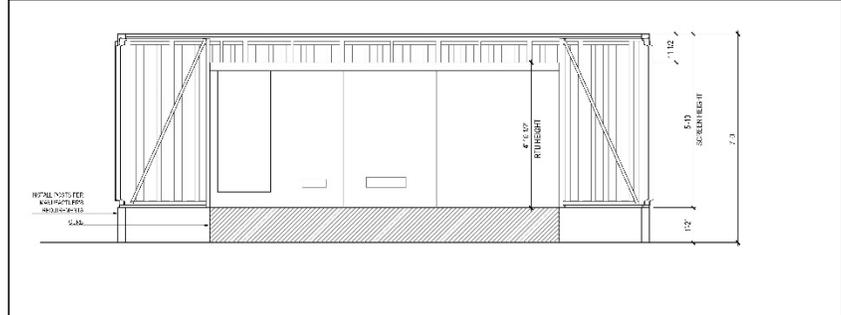
CS-1

- CAST STONE
GLEN-GERY LANDMARK STONE OR EQUAL
- COLOR: BUFF
 - COPING TO MATCH STONE COLOR
 - SAMPLE TO BE APPROVED BY OWNER/ARCHITECT

TYPICAL RTU SCREENING APPLICATION



D1 Screen Plan
SCALE: 1/2" = 1'-0"



A1 Screen Section
SCALE: 1/2" = 1'-0"



SHOOTERS SPORTS GRILL

8800 HEJLER DR
CANAL WINCHESTER
OH

PROJECT NO. 1920b

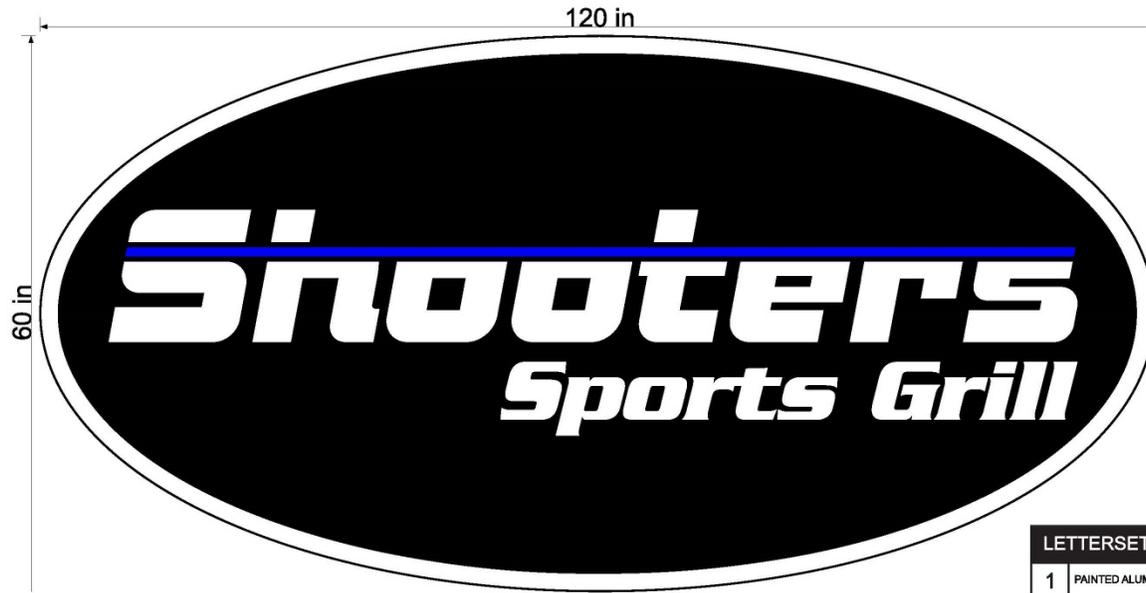
| ISSUANCES | |
|------------|--------|
| 31.31.2020 | ZENING |
| | |
| | |
| | |

OPEN ARCHITECTURE, INC.

SCREEN DRAWINGS

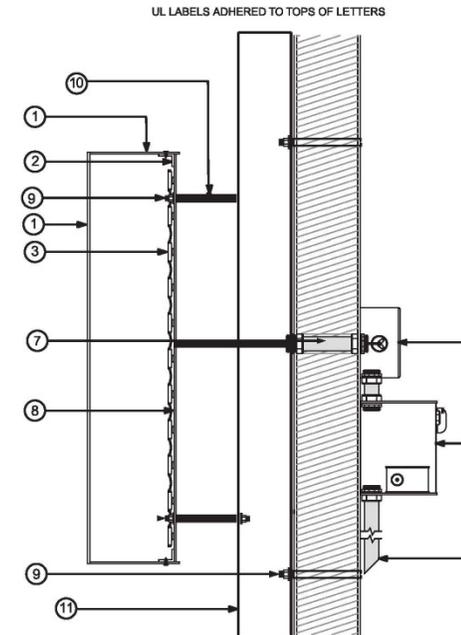
DESIGNED BY: GK
REVIEWED BY: GK

ZE-3



building left

| LETTERSET SPECIFICATIONS | |
|--------------------------|--|
| 1 | PAINTED ALUMINUM 3" RETURN AND FACE |
| 2 | BACKER MOUNTING CLIP: L-CLIP RIVETED TO BACKER |
| 3 | LED UNITS (WHITE) |
| 4 | UL LISTED HOUSING SECONDARY WIRING SPLICE POINT (WHEN NEEDED) |
| 5 | UL LISTED HOUSING CONTAINING POWERSUPPLY* DISCONNECT SWITCH FOR DEDICATED PRIMARY POWER CIRCUIT |
| 6 | PRIMARY POWER CIRCUIT (PROVIDED BY OTHERS) TO BE PLACED WITHING 3 FT OF SIGN |
| 7 | CONDUIT: SECONDARY ELECTRIC RUN |
| 8 | CLEAR BACKER: MODULES MOUNTED DIRECT |
| 9 | MOUNTING HARDARE: VARIES ON FACADE TYPE AND SUPPORT STRUCTURE |
| 10 | 1-1/2" BLACK SPACERS |
| 11 | 2" METAL BACKER |



BP HALO LIT LETTER SECAION
SCALE: NTS

Staff Recommendation

P&Z recommends that Final Development Plan application FDP-20-001 be approved with the following conditions:

1. The electric transformer be screened on three sides by the arborvitae shown on the plan.
2. The FDC be relocated per the Violet Township Fire Dept. recommendation.

CANAL
WINCHESTER



Established 1828

ORDINANCE NO. 20-010

AN ORDINANCE TO AUTHORIZE THE MAYOR TO ACCEPT AN EASEMENT FOR GENERAL UTILITY PURPOSES FROM THE MOUNTAIN AGENCY, LLC.

WHEREAS, Council hereby finds and determines that it is in the best interest of the City of Canal Winchester to accept an easement for general utility purposes for future water and sanitary sewer services to properties located along US 33;

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, STATE OF OHIO:

Section 1. That the Mayor be and hereby is, authorized to accept on behalf of the City of Canal Winchester an easement for general utility purposes, as more fully described in the Easement for General Utility Purposes attached hereto as Exhibit A and incorporated herein by reference

Section 2. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

DATE PASSED _____

PRESIDENT OF COUNCIL

ATTEST _____

MAYOR

APPROVED AS TO FORM:

LEGAL COUNSEL

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by the Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.

Clerk of Council

Exhibit A

EASEMENT FOR GENERAL UTILITY PURPOSES

THE MOUNTAIN AGENCY, LLC, an Ohio limited liability company (hereinafter "Grantor"), in consideration of One Dollar (\$1.00) and other good and valuable considerations, paid by the CITY OF CANAL WINCHESTER, an Ohio municipal corporation (hereinafter "Grantee"), receipt of which is hereby acknowledged, does hereby, for itself, its heirs, successors and assigns, GRANT AND CONVEY to the CITY OF CANAL WINCHESTER, its successors and assigns forever, the right and easement to construct, install, operate, repair, replace, relocate, inspect and maintain utility lines, together with all appurtenances incidental thereto, including but not limited to hydrants and manholes (the "Utility Purposes"), and the right of ingress and egress at all reasonable times for the purposes aforesaid, on, over, through, under and across the property of the Grantor (the "Easement Area"), as described with more particularity in the legal description and accompanying survey plat attached hereto as Exhibits A and A-1 and incorporated herein by reference.

To have and to hold said easements and rights-of-way, with all of the privileges and appurtenances thereto belonging, to said Grantee, its successors and assigns forever.

The easement granted hereby includes the right to trim and/or remove any trees or shrubbery which may hereafter interfere with the construction, reconstruction, operation and maintenance of said line, within the limits of the easement.

The Grantee, its successors and assigns, shall have the right of ingress and egress from the site occupied by said line and appurtenances, and the right to do any and all things necessary, proper or incidental to the successful operation and maintenance thereof. The Grantor shall have the right to use the easement for purposes not inconsistent with the Grantee's, and its successors and assigns, full enjoyment of the rights herein granted. Specifically, Grantor shall have the right to install paving, lighting, landscaping, drainage, and other improvements within the Easement Area provided that such installations and activities related thereto do not adversely affect or impair Grantee's use of, or rights of ingress and egress at all reasonable times to, the Easement Area for the General Utility Purposes.

The consideration herein mentioned includes total compensation for grant of the easements and rights-of-way and for all damage caused by construction, installation, operation, repair,

replacement, relocation, inspection and maintenance within the easement, provided however, that the Grantee, its successors and assigns, shall restore all property, including fences, except buildings or other structures, within the Easement Area, to its original condition insofar as practicable, after entering upon said premises for any of the purposes herein set forth, including construction, repair, maintenance, replacement, relocation, operation, inspection and maintenance of all facilities and improvements of the Grantee, its successors and assigns, located within such Easement Area and rights-of-way; provided, however, that Grantee shall have no obligation to restore paving, lighting, landscaping, drainage, or other improvements installed in the Easement Area by Grantor subsequent to this grant of easement.

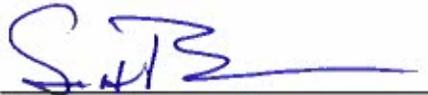
Grantor, for itself, its heirs, successors and assigns, covenants with the Grantee, its successors and assigns, that Grantor is lawfully seized of the premises and that Grantor will forever warrant and defend the same unto the Grantee, its successors and assigns, against all claims of all persons whomsoever.

The term "Grantor" shall include singular and plural, masculine and feminine, individuals, corporations, partnerships and associations, and the heirs, assigns, administrators, executors and successors of all of them.

Grantee, for itself, its successors, and assigns, acknowledges that this Easement for General Utility Purposes is subject to the channel change easement held by the State of Ohio and of record in the Office of the Franklin County Recorder, D.B. 2370, Page 183, and the easement for channel change purposes held by the State of Ohio and of record in the Office of the Franklin County Recorder, D.B. 2390, Page 592.

IN WITNESS WHEREOF, the Grantor has hereunto caused Grantor's name to be subscribed this 24th day of January, 2020.

THE MOUNTAIN AGENCY, LLC

By: 
Its: Vice-President

STATE OF OHIO
COUNTY OF FRANKLIN, SS:

Before me, a Notary Public, personally appeared Scott Bristow, an authorized representative of THE MOUNTAIN AGENCY, LLC, who acknowledged the signing of the foregoing instrument to be his and its voluntary act and deed for the uses and purposes therein mentioned.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed my official seal this 24th day of January, 2020.


Notary Public

This instrument prepared by:
Thaddeus M. Boggs, Esq.
Frost Brown Todd LLC
10 W. Broad Street, Ste. 2300, Columbus, Ohio 43215
Columbus, Ohio 43215

BRIAN E. McNAIR, Attorney at Law
Notary Public, State of Ohio
My Commission has no expiration date
Section 147.03 Q. R. C.

January 13, 2020

**DESCRIPTION OF A UTILITY EASEMENT
ALONG U.S. RTE. 33 AND EAST OF RAGER ROAD,
CITY OF CANAL WINCHESTER, FRANKLIN CO., OHIO**

Situated in the State of Ohio, County of Franklin, City of Canal Winchester, in the southwest quarter of Section 24, Township 11 North, Range 21 West, Congress Lands and being an easement, for utility purposes, through a portion of a 41.990 acre tract of land conveyed to The Mountain Agency, LLC, by deed of record in Instrument No. 201110030124958, said easement bounded and described as follows:

Beginning at a point in a west line of said 14.990 acre tract and in an east line of a 110.244 acre tract of land conveyed to _____, by deed of record in Instrument No.

_____, said point being N 04° 29' 47" E a distance of 42.11 feet from the most southwesterly corner of said 41.990 acre tract and from the southeast corner of said 110.244 acre tract;

thence N 04° 29' 47" E along a portion of a west line of said 41.990 acre tract and along a portion of an east line of said 110.244 acre tract a distance of 32.78 feet to a point;

thence crossing a portion of said 41.990 acre tract the following twelve (12) courses:

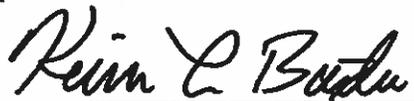
1. S 61° 44' 05" E a distance of 769.96 feet to a point;
2. S 38° 45' 01" E a distance of 108.33 feet to a point;
3. S 61° 37' 17" E a distance of 482.39 feet to a point;
4. N 89° 12' 26" E a distance of 160.85 feet to a point;
5. S 63° 19' 04" E a distance of 176.21 feet to a point;
6. S 81° 31' 29" E a distance of 52.15 feet to a point;
7. S 03° 41' 04" W a distance of 26.32 feet to a point in the southerly right-of-way line of U.S. Rte. 33 ~ Southeastern Expressway (FRA-33-(26.21-30.13));
8. N 79° 07' 31" W and along the southerly right-of-way line of U.S. Rte. 33 ~ Southeastern Expressway a distance of 366.86 feet to a point of curvature;
9. and with a curve to the right, data of which is: radius = 12,152.67 feet, and delta = 01° 25' 25", arc length = 301.98 feet, a chord distance of 301.97 feet bearing N 61° 57' 44" W to the point of tangency;
10. N 61° 15' 01" W and along the southerly right-of-way line of U.S. Rte. 33 ~ Southeastern Expressway a distance of 205.29 feet to a point;
11. N 38° 45' 01" W a distance of 116.91 feet to a point;
12. N 61° 44' 05" W a distance of 750.65 feet to the place of beginning;

containing 1.402 acres of land, more or less.

TOGETHER WITH: A temporary construction easement along, adjacent to and fifty (50) feet northerly of the entire northerly lines of said above described permanent easement;

containing 2.008 acres of land, more or less.

The above description was prepared by Kevin L. Baxter, Ohio Surveyor No. 7697, of Bird + Bull, Inc., Consulting Engineers & Surveyors, Columbus, Ohio from best available Court House research, in December, 2019. Basis of bearings is the centerline of U.S. Rte. 33 ~ Southeast Parkway (FRA-33-(26.21-30.13)), being N 61° 15' 01" W, between Franklin County Engineer's Monuments 10-693 and 9-693, Ohio State Plane Coordinate System (South Zone - NAD 83, 2011 Adjustment) and all other bearings are based upon these monuments.



Kevin L. Baxter ~ Ohio Surveyor #7697

01/13/2020



**EXHIBIT OF A UTILITY EASEMENT
EAST OF RAGER ROAD, NORTH OF U.S. RTE. 33
CITY OF CANAL WINCHESTER, FRANKLIN CO., OHIO
(SECTION 24, T. 11 N., R. 21 W., CONGRESS LANDS)**

DAMON A. PFEIFER &
MARK A. PFEIFER
ORIG. 39.323 AC.
INSTR. NO. 201811300162078
P.N. 010-260326

DAMON A. PFEIFER &
MARK A. PFEIFER
ORIG. 39.323 AC.
INSTR. NO. 201811300162078
P.N. 010-260326

CITY OF COLUMBUS
CITY OF CANAL WINCHESTER

SECTION 24
SECTION 23
INSTR. NO. 184-003368
P.N. 184-003368
110.244 AC.

DAMON A. PFEIFER &
MARK A. PFEIFER
35.358 AC.
INSTR. NO. 201811300162079
P.N. 010-224901

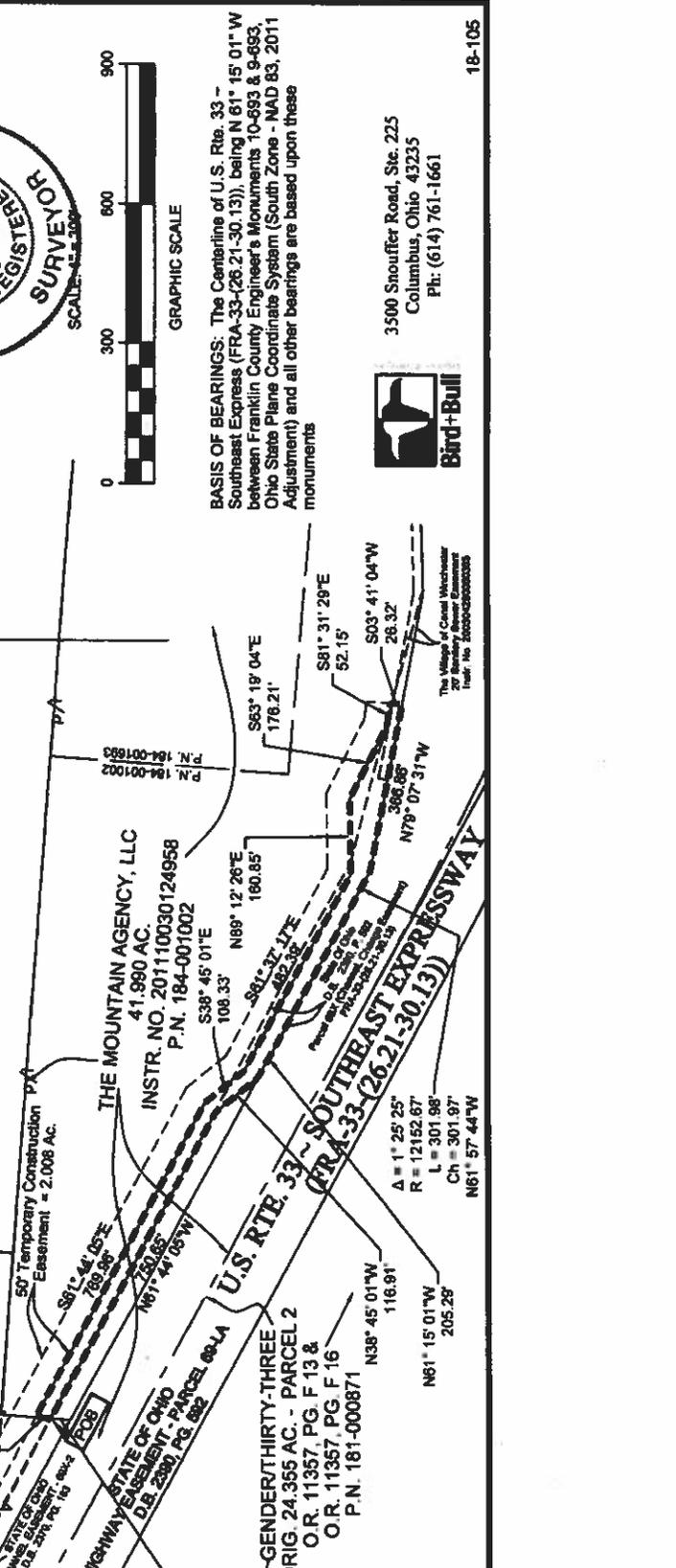
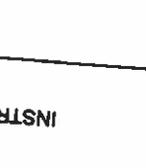
THE MOUNTAIN AGENCY, LLC
41.990 AC.
INSTR. NO. 201110030124958
P.N. 184-001002

GENDER/THIRTY-THREE
ORIG. 24.355 AC. - PARCEL 2
O.R. 11357, PG. F. 13 &
O.R. 11357, PG. F. 16
P.N. 181-000871

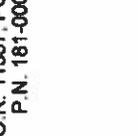
By *Kevin L. Baxter*
Kevin L. Baxter - Ohio Surveyor No. 7697



JANUARY 13, 2020



BASIS OF BEARINGS: The Centerline of U.S. Rte. 33 - Southeast Express (FRA-33-(26.21-30.13)), being N 81° 15' 01" W between Franklin County Engineer's Monuments 10-893 & 9-893, Ohio State Plane Coordinate System (South Zone - NAD 83, 2011 Adjustment) and all other bearings are based upon these monuments



3500 Snouffer Road, Ste. 225
Columbus, Ohio 43235
Ph: (614) 761-1661

ORDINANCE NO. 20-014

AN ORDINANCE TO AUTHORIZE THE MAYOR TO ENTER INTO A CONTRACT WITH COLUMBUS ASPHALT PAVING, INC. FOR THE CONSTRUCTION OF THE 2020 STREET PROGRAM PROJECT AND DECLARING AN EMERGENCY.

WHEREAS, it is the recommendation of the Municipal Engineer and the Construction Services Administrator to award the contract for the 2020 Street Program Project to Columbus Asphalt Paving, Inc.; and

WHEREAS, Council hereby finds and determines that it is in the best interest of the City of Canal Winchester to enter into a contract with Columbus Asphalt Paving, Inc. for the 2020 Street Program Project;

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, STATE OF OHIO:

Section 1. That the Mayor be and hereby is, authorized to enter into a contract on behalf of the City of Canal Winchester with Columbus Asphalt Paving, Inc. in the amount of \$889,709.60 for the 2020 Street Program Project.

Section 2. That this ordinance is hereby declared to be an emergency measure, necessary for the preservation of public health, safety, and welfare, such an emergency arising from the need to meet a specific construction schedule; wherefore this ordinance shall take effect and be in force from and after its passage.

DATE PASSED _____

PRESIDENT OF COUNCIL

ATTEST _____
CLERK OF COUNCIL

MAYOR

DATE APPROVED _____

APPROVED AS TO FORM:

LEGAL COUNSEL

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by the Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.

Clerk of Council



Engineers, Surveyors, Planners, Scientists

February 26th, 2020

Mr. Bill Sims
Construction Services Administrator
City of Canal Winchester
36 S. High Street
Canal Winchester, OH 43110

Subject: 2020 Street Program
Summary of Bids Received and Award Recommendation

Dear Mr. Sims,

We have completed a review of the bids received on February 21st, 2020, for the above referenced project. I am providing herewith, a "Summary of Bids" received and a Bid Tabulation. A review and tabulation of the bids received reveals the lowest bidder to be Columbus Asphalt Paving, Inc. with a base bid of \$799,294.60 and an Alternate 1 Bid of \$90,415.00.

The attachments illustrate all bids received with more detail.

We have completed a review of the bids received for the above referenced project. As a basis for determining the successful bid, consideration was given to the contractor who could demonstrate a permanent place of business, possession of suitable equipment to complete the work, experience, positive performance on similar projects, and the lowest bid. Based on these criteria, Columbus Asphalt Paving, Inc. is found to be the lowest and best bidder.

It is therefore recommended that should the City choose the award the contract, the award be made to Columbus Asphalt Paving Inc. for the work described in the contract documents. Award of Alternate 1 should be at the City's discretion based on available funding.

The City is advised to conduct a legal review of the bid from the chosen contractor and to ensure that they adequately complete all forms prior to execution of the contract.

Please do not hesitate to contact me if you should have any additional questions.

Sincerely,

EVANS, MECHWART, HAMBLETON & TILTON, INC.

A handwritten signature in blue ink, appearing to read "Shane J. Spencer".

Shane J. Spencer, P.E.

Enclosures: Official Bid Tabulation & Bid Summary

Copies:

Matt Peoples, Director of Public Works, City of Canal Winchester

SUMMARY OF BIDS RECEIVED

**2020 STREET PROGRAM
Bid Opening: February 21st, 2020**

| <u>Contractor</u> | <u>Bidders Total – Base Bid</u> | <u>Bidders Total – Alternate Bid 1</u> |
|-------------------------------|---------------------------------|--|
| Columbus Asphalt Paving, Inc. | \$799,294.60 | \$90,415.00 |
| Strawser Paving, Inc. | \$813,189.75 | \$88,625.00 |
| Decker Construction Company | \$875,671.81 | \$113,289.07 |
| Shelly and Sands, Inc | \$886,669.00 | \$105,999.00 |
| Engineer's Estimate | \$824,000.00 | \$103,000.00 |

ORDINANCE NO. 20-015

ORDINANCE TO AUTHORIZE THE MAYOR CONVEY A TRACT OF LAND CONSISTING OF +-1.77 ACRES ON ROBINETTE WAY TO THE CANAL WINCHESTER INDUSTRY AND COMMERCE CORPORATION TO PROVIDE FOR ITS SUBSEQUENT CONVEYANCE TO GIDEON PROPERTIES, L.L.C., PURSUANT TO A PURCHASE AND SALE AGREEMENT AND DECLARING AN EMERGENCY

WHEREAS, Gideon Properties, L.L.C. desires to acquire 1.77 acres of land which is owned by the City of Canal Winchester pursuant to a purchase and sale agreement for construction of new facilities; and

WHEREAS, the City hereby finds and determines that the 1.77 acres of land on Robinett Way is not required by the City for its purposes, and the conveyance of such land to the Canal Winchester Industry and Commerce Corporation will promote the welfare of the residents of the City, stabilize the economy, provide additional opportunities for their gainful employment, and assist in the development of industrial, commercial, distribution and research activities to the benefit of the residents of the City; and

WHEREAS, such transfer is authorized and permitted by the Charter and Ordinances of the City of Canal Winchester and pursuant to Chapters 1724 and 1761 of the Ohio Revised Code; and

WHEREAS, this conveyance is hereby authorized without advertisement and receipt of bids;

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, OHIO:

Section 1. That the Mayor be and hereby is authorized and directed to by suitable deed of conveyance to convey to the Canal Winchester Industry and Commerce Corporation the 1.77 acres of land, so as to provide for the performance of a purchase and sale agreement substantially similar to the attached as Exhibit A, by and among the Canal Winchester Industry and Commerce Corporation and Gideon Properties, L.L.C.

Section 2. That this Ordinance is hereby declared to be an emergency measure necessary for the public health, safety and welfare, such emergency arising from the exigencies of the real estate purchase agreement and the need to immediately begin preparations for the transfer of the land WHEREFORE, this Ordinance shall take effect and be in force from and after its passage.

DATE PASSED _____

PRESIDENT OF COUNCIL

ATTEST _____
CLERK OF COUNCIL

MAYOR

DATE APPROVED _____

APPROVED AS TO FORM:

LEGAL COUNSEL

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by the Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.

CLERK-TREASURER

PURCHASE AND SALE AGREEMENT

This PURCHASE AND SALE AGREEMENT ("Agreement") is made and entered into by and among Canal Winchester Industry and Commerce Corporation, an Ohio non-profit corporation ("Seller"), Gideon Properties, LLC, an Ohio limited liability company ("Purchaser"), and the City of Canal Winchester, an Ohio municipal corporation ("Canal Winchester").

1. **PREMISES.** At the price and upon the terms, conditions and provisions herein contained, Seller agrees to sell, and Purchaser agrees to buy certain real estate consisting of approximately 1.77 acres located on Robinett Way in the City of Canal Winchester, County of Fairfield, and State of Ohio, which is shown approximately on the site plan attached hereto and made a part hereof as Exhibit "A" (the "Premises"). Precise boundaries and acreage of the property will be established by a survey to be prepared by the Seller at the Seller's expense. Said property is to be split from Fairfield County Parcel Numbers 042-03760-00 and 042-03763-00.

2. **TERMS.** The purchase price shall be One Hundred and Twenty-Five Thousand and 00/100 Dollars (\$125,000.00).

3. **POSSESSION.** Possession of the Premises shall be delivered to Purchaser at closing.

4. **CONVEYANCE OF TITLE.** Seller shall convey to Purchaser title in fee simple by a transferable and recordable General Warranty Deed.

5. **EVIDENCE OF TITLE.** Seller shall furnish and pay for an owner's title insurance commitment and policy issued by a title insurance company selected by Seller, in the amount of the purchase price. The title evidence shall be certified to within thirty (30) days prior to closing with endorsement as of 8:00 A.M. on the business day prior to the date of closing, all in accordance with the standards of the Ohio State Bar Association, and shall show in Seller marketable title in fee simple free and clear of all liens and encumbrances except: (a) those created by or assumed by Purchaser; (b) those specifically set forth in this Contract; (c) zoning ordinances; (d) legal highways; and (e) covenants, restrictions, conditions and easements of record which do not unreasonably interfere with Purchaser's intended use. Purchaser shall pay any additional costs incurred in connection with mortgagee insurance issued for the protection of Purchaser's lender. At closing, Seller shall sign an affidavit with respect to off-record title matters in accordance with the community custom.

Seller shall provide Purchaser with the Title Commitment within twenty (20) days of the date of this Contract. Within forty (40) days of the date of this Contract (which will be extended if the Title Commitment is not timely produced), Purchaser shall notify Seller in writing (the "Title Objection Notice") of any objections to the matters contained in the Title Commitment. The Title Objection Notice shall be specific and shall set forth the reasons for such objections and the desired remedy therefor. Seller shall have ten (10) business days after receipt of Purchaser's Title Objection Notice within which to advise Purchaser in writing ("Seller's Title Notice") regarding

whether Seller intends to attempt to cure the matters to which Purchaser has objected, and of Seller's proposed methods to cure same. Failure by Seller to timely provide the Seller's Title Notice shall be a deemed Seller's Title Notice to Purchaser that Seller is unwilling to attempt to cure Purchaser's objections. Purchaser shall have ten (10) business days after receipt or deemed receipt of Seller's Title Notice to either:

- (i) send a notice ("Purchaser's Title Acceptance Notice") to Seller waiving any matters set forth in its Title Objection Notice; or,
- (ii) elect not to submit a Purchaser's Title Acceptance Notice and Purchaser shall be deemed to have accepted such exceptions to title; or,
- (iii) send a termination notice to Seller terminating this Agreement.

6. **TAXES AND ASSESSMENTS.** At closing, Seller shall pay all delinquent taxes, including penalty and interest, all assessments, and all other unpaid real estate taxes that are a lien for years prior to closing and all agricultural use tax recoupments on the property. No calculations for tax proration for tax year 2020 shall be made at closing because the property is being split from the parent tract and taxes and assessments will not yet be reflected on the tax duplicate at the County Treasurer's Office. Purchaser and Seller agree that they will enter into an agreement at Closing as to the allocation and payment of such taxes when the real estate taxes for the tax year 2020 are finally determined, which amount(s) shall be pro-rated to the date of the Closing.

7. **DEPOSIT.** Purchaser shall deposit the sum of Twenty-Five Hundred Dollars (\$2,500.00) with, _____, the title agency selected by the seller ("Escrow Agent") within seven (7) days of acceptance hereof ("Escrow Fund"). The Escrow Fund shall be applied on the purchase price or returned to Purchaser when transaction is closed, and if Seller fails or refuses to perform, the Escrow Fund shall be returned to Purchaser, without prejudice to Purchaser's right to seek to recover damages or compel specific performance of Seller's obligations hereunder. If Purchaser fails or refuses to perform, the Escrow Fund shall be paid to the Seller and shall constitute liquidated damages. Said amount is not a penalty and will be accepted by Seller as full satisfaction of the obligations of the Purchaser hereunder, for damages that the parties mutually agree is difficult or not possible of calculating. The Escrow Agent shall be under no obligation to terminate the Escrow Fund until it receives either written instructions given jointly by Purchaser, Seller and Canal Winchester or a final non-appealable order of a court of competent jurisdiction, directing the distribution of the Escrow Fund.

8. **CONTINGENCIES.** The obligations of Buyer and Seller to consummate the transaction provided for herein are subject to the fulfillment of each of the following conditions:

a. **City Council Approval:** The passage of all necessary and appropriate legislation by the Council of the City of Canal Winchester to permit and authorize the sale and/or conveyance of the subject property within sixty (60) days after the acceptance hereof.

b. Board Approval. The Board of Trustees of the Canal Winchester Industry and Commerce Corporation authorizing the performance of this Agreement within thirty (30) days after acceptance hereof.

c. Environmental and Soil Inspection: Seller agrees to permit the Purchaser, Purchasers' lender and the qualified, professional environmental and/or geotechnical/civil engineering consultant of either of them to enter the Premises to conduct, at the expense of the Purchaser, an environmental site assessment and/or soil tests. Purchaser agrees to indemnify and hold Seller harmless from any injury or damage caused by such inspection. If such assessment is obtained and the consultant recommends further inspection to determine the extent of suspected contamination or recommends remedial action, or if it is found that soil conditions at the site will not support any of Purchaser's intended uses, which are described below, the Purchaser, in its sole discretion, may, within ninety (90) days of the date hereof, notify the Seller in writing, within the above specified period, that the contract is null and void.

d. Property Inspection: Purchaser, at Purchaser's expense, shall have ninety (90) days after the acceptance hereof to have the property inspected. Seller shall cooperate in making the property reasonably available for such inspections. Purchaser agrees to indemnify and hold Seller harmless from any injury or damage caused by such inspections. If Purchaser is not, in Purchaser's sole discretion, satisfied with the condition of the property as disclosed by such inspections, Purchaser may terminate this contract by delivering written notice of such termination to Seller, along with a written copy of such inspection reports, within the time period specified above. Such notice and reports shall specify the unsatisfactory conditions. Failure of Purchaser to so deliver written notice and copy of inspection reports within such time period shall constitute a waiver of Purchaser's right to terminate pursuant to this provision.

e. Purchaser's or its Assignee's Intended Use and Governmental Approvals: The parties understand and agree that the property is being purchased for commercial purposes. Specifically, Purchaser or its Assignee is intending to construct a building and operate a business on the property. This Purchase Contract is contingent on Purchaser receiving any and all governmental approvals that the property is suitable for Purchaser or its Assignee's intended use. Purchaser shall have ninety (90) days after the acceptance hereof to receive all necessary governmental approvals it determines necessary to proceed with its acquisition of the Premises. Said approvals shall include, but not be limited to, proper zoning for Purchaser's or its Assignee's intended use, obtaining zoning and/or building permits, and obtaining driveway/access permits etc.

f. Lot Split: The City of Canal Winchester approving a lot split of the property from Fairfield County Parcel No. 042-03760-00 and 042-03763-00. Seller shall obtain such approval and shall pay the cost of the survey and all other costs, governmental fees and attorney fees associated with the lot split, within ninety (90) days after acceptance hereof.

If Seller or Purchaser terminates this Agreement because the conditions precedent in this Section have not been satisfied, then this Agreement shall become null and void and neither party shall have any further liability to the other.

9. **CLOSING**. The closing and conveyance of title to the property (the "Closing") shall take place on a date mutually agreeable to Seller and Purchaser, not later than thirty (30) days after the satisfaction or waiver of all the contingencies referred to in Paragraph 8. **Closing Costs**. At Closing, Seller shall pay (i) any and all state and county real estate transfer taxes and related conveyance fees required to be paid in connection with the recording of the Deed transferring title to the Property to the Purchaser; (ii) the premium and all costs and expenses related to the issuance of the Title Commitment and Title Policy, provided Seller shall not be responsible for costs related to any endorsements or coverages requested by Purchaser beyond the costs of the basic Title Commitment and Title Policy other than any endorsements or coverages Seller has agreed to provide to cure any title or survey matters pursuant to Paragraph 5 above; and (iii) one-half of all escrow and closing fees charged by the Escrow Agent. Purchaser shall pay (i) any recording and filing fees for the Deed; (ii) costs of the Title Policy to the extent related to any endorsements or coverages requested by Purchaser beyond the costs of the basic Title Commitment and Title Policy other than any endorsements or coverages Seller has agreed to provide to cure any title or survey matters pursuant to Section 6 above; and (ii) one-half of all escrow and closing fees charged by the Escrow Agent. Any costs not listed above shall be paid in accordance with the community custom as determined by the Escrow Agent.

10. **NOTICES**. Any notices provided for in this Agreement shall be in writing and shall be either delivered personally or by United States Certified or Registered Mail, Postage Prepaid, Return Receipt Requested addressed as follows:

To Seller:

Lucas Haire
Canal Winchester Industry and Commerce Corporation
c/o City of Canal Winchester
36 South High Street
Canal Winchester, Ohio 43110

and

James Gray
Frost, Brown, Todd, LLC
10 West Broad Street #2300
Columbus, Ohio 43215-3484

To Purchaser:

Gideon Properties
c/o David Cash
40 Hill Road South
Pickerington, Ohio 43147

With a copy to:

Richard T. Ricketts
Ricketts & Clark Co. LPA
50 Hill Road South
Pickerington, Ohio 43147

To City of Canal Winchester:

Mayor Michael Ebert
City of Canal Winchester
36 South High Street
Canal Winchester, Ohio 43110

or at such other address as either party may designate in writing as above provided. Said notices shall be deemed given (a) if mailed as aforesaid, when duly deposited in the United States Mail; or (b) if personally delivered, on the date delivered.

11. **BINDING EFFECT.** This Agreement shall be binding upon the legal representatives, successors and assigns of the parties hereto.

12. **MODIFICATIONS.** This Agreement may not be amended, modified or changed except by an instrument in writing and signed by all parties to this Agreement.

13. **ENTIRE AGREEMENT.** Seller and Purchaser agree that all the terms and conditions of this Agreement are contained herein and declare that no promises, representations or agreements other than those herein contained have been made or relied upon by any of the parties hereto.

14. **REAL ESTATE BROKERS.** Each party represents that it has not had any dealings with any real estate broker, finder or other person with respect to this Agreement. Each party shall indemnify and hold harmless the other from all damages or claims that may be asserted by any other broker, finder or other persons with whom the indemnifying party has purportedly dealt with in respect to this Agreement.

15. **CONDITION OF PROPERTY.** Purchaser has examined the property prior to entering into this Agreement and is relying solely upon such examination and the results of any

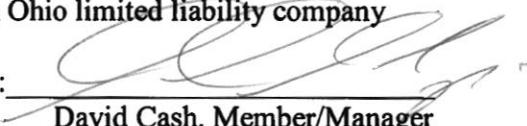
tests and engineering studies which Purchaser obtains pursuant to the provisions herein and based thereon. With reference to the character, condition and size of the land and any improvements, Purchaser is buying the Premises in strictly "as is" condition.

16. **DURATION OF OFFER.** This Agreement shall not be binding upon the parties until such time as all parties hereto have executed this Agreement. In the event this Agreement has not been executed by Purchaser and Seller on or before 5:00 p.m., Columbus, Ohio time, on the 14th day of February, 2020, this Agreement shall be considered to be an Offer made by the party first executing it and shall be deemed to have expired.

IN WITNESS WHEREOF, Purchaser, Seller and Canal Winchester have entered this Agreement as of the date set opposite their names.

PURCHASER:

Gideon Properties, LLC,
An Ohio limited liability company

By: 
David Cash, Member/Manager

Date: 2/13/2020

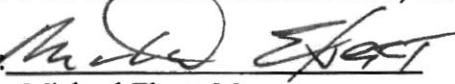
SELLER:

CANAL WINCHESTER INDUSTRY AND
COMMERCE CORPORATION

By: 
Lucas Haire, Executive Vice President

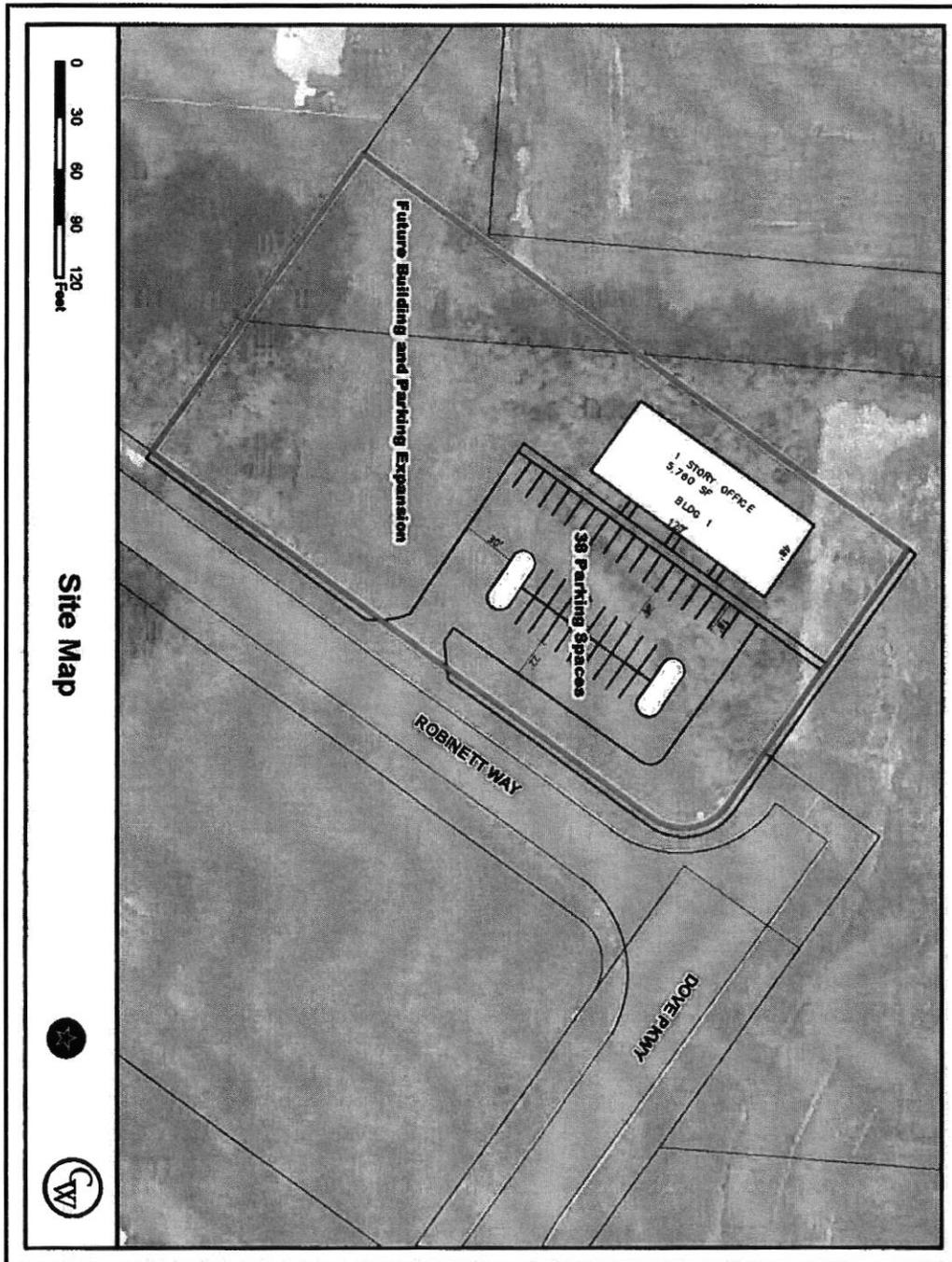
Date: 02/12/2020

CITY OF CANAL WINCHESTER, OHIO

By: 
Michael Ebert, Mayor

Date: 2-12-2020

Exhibit A



0128850.0615530 4813-4036-4211v1

ORDINANCE NO. 20-016

AN ORDINANCE TO AUTHORIZE THE MAYOR TO ACCEPT A 0.51 ACRE PARCEL OF LAND FROM ROCKFORD HOMES, INC. AND DEDICATING SUCH LAND AS RIGHT OF WAY FOR PUBLIC USE AND ACCEPTING SUCH IMPROVEMENTS TO BE KNOWN AS CORMORANT WAY.

WHEREAS, Council approved Ordinance 18-049 which was a settlement agreement of claims between Rockford Homes, Inc. and the City of Canal Winchester; and

WHEREAS, a condition of the settlement agreement was that Rockford Homes, Inc. would dedicate the existing improvements of Cormorant Way and the City would accept the dedication of these improvements in their current condition;

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, STATE OF OHIO:

Section 1. That Council does hereby accept a 0.51 acre parcel of land described in Exhibit A and depicted in Exhibit B as right of way for public use and accept such as improvements to be known as Cormorant Way.

Section 2. That Council hereby authorizes and directs the Law Director to record and appropriate General Warranty Deed from Rockford Homes, Inc., evidencing the acceptance of the parcel and the right-of-way dedicated as authorized herein.

Section 3. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

DATE PASSED _____

PRESIDENT OF COUNCIL

ATTEST _____
CLERK OF COUNCIL

MAYOR

DATE APPROVED _____

APPROVED AS TO FORM:

LEGAL COUNCIL

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by the Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.

CLERK OF COUNCIL

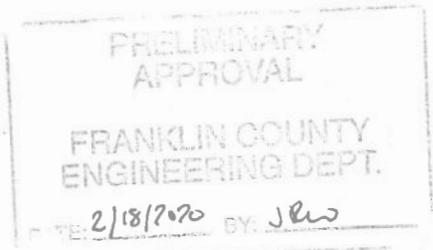


Exhibit A

PENDING DEED

0.510 ACRE

Situated in the State of Ohio, County of Franklin, City of Canal Winchester, in Section 25, Township 11, Range 21, Congress Lands, being all of the remainder of that 19.150 acre tract of land conveyed to Rockford Homes, Inc. by deed of record in Instrument Number 200210090253068 (all references are to the records of the Recorder's Office, Franklin County, Ohio) and more particularly bounded and described as follows:

BEGINNING at an iron pin set at the southeasterly corner of that 8.603 acre tract conveyed to Three Fountains CW LLC by deed of record in Instrument Number 201912300174635, the southwesterly corner of Lot 727 of the subdivision entitled "The Villages at Westchester Section 10 Part 2", of record in Plat Book 125, Page 8, at the northwesterly terminus of the right of way of Cormorant Way (variable width, Plat Book 125, Page 8);

Thence with the boundary of said subdivision the following courses and distances:

South 00° 05' 12" East, a distance of 47.50 feet to an iron pin set;

South 88° 17' 46" East, a distance of 52.99 feet to an iron pin set; and

South 00° 05' 12" East, a distance of 12.53 feet to an iron pin set at the northwesterly corner of that 25.455 acre tract conveyed to Grand Communities, Ltd. by deed of record in Instrument Number 201706280088119, the northeasterly corner of the condominium entitled "Eagle Ridge Condominium Second Amendment", of record in Condominium Plat Book 146, Page 66 and Instrument Number 200504070064972;

Thence North 88° 17' 46" West, with the northerly line of said "Eagle Ridge Condominium Second Amendment" and the northerly line of "Eagle Ridge Condominium First Amendment", of record in Condominium Plat Book 127, Page 22 and Instrument Number 200402240039347, a distance of 412.96 feet to an iron pin set at the southeasterly terminus of the right of way of Cormorant Drive (60' wide, Plat Book 90, Page 54);

Thence North 01° 42' 15" East, with the easterly terminus of the right of way of Cormorant Drive, a distance of 60.00 feet to an iron pin set at the southeasterly corner of that 2.117 acre tract conveyed to Canini Properties Ltd. by deed of record in Instrument Number 200509090187284, the southwesterly corner of said 8.603 acre tract;

Thence South 88° 17' 46" East, with the southerly line of said 8.603 acre tract, a distance of 358.09 feet the POINT OF BEGINNING, containing 0.510 acre of land, more or less.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC.

The bearings shown hereon are based on the same meridian as the subdivision entitled "The Villages at Westchester Section 6", of record in Plat Book 90, Page 54, Recorder's Office, Franklin County, Ohio, showing a bearing of South 88° 03' 40" East for the centerline of Groveport Road.

This description was prepared using documents of record, prior plats of survey, and observed evidence located by an actual field survey.



EVANS, MECHWART, HAMBLETON & TILTON, INC.

Matthew A Kirk

14 FEB 20

Matthew A. Kirk
Professional Surveyor No. 7865

Date



Evans, Mechwart, Hambleton & Tillon, Inc.
 Engineers • Surveyors • Planners • Scientists
 5500 New Albany Road, Columbus, OH 43054
 Phone: 614.775.4500 Toll Free: 888.775.3648
 emht.com

SURVEY OF ACREAGE PARCEL

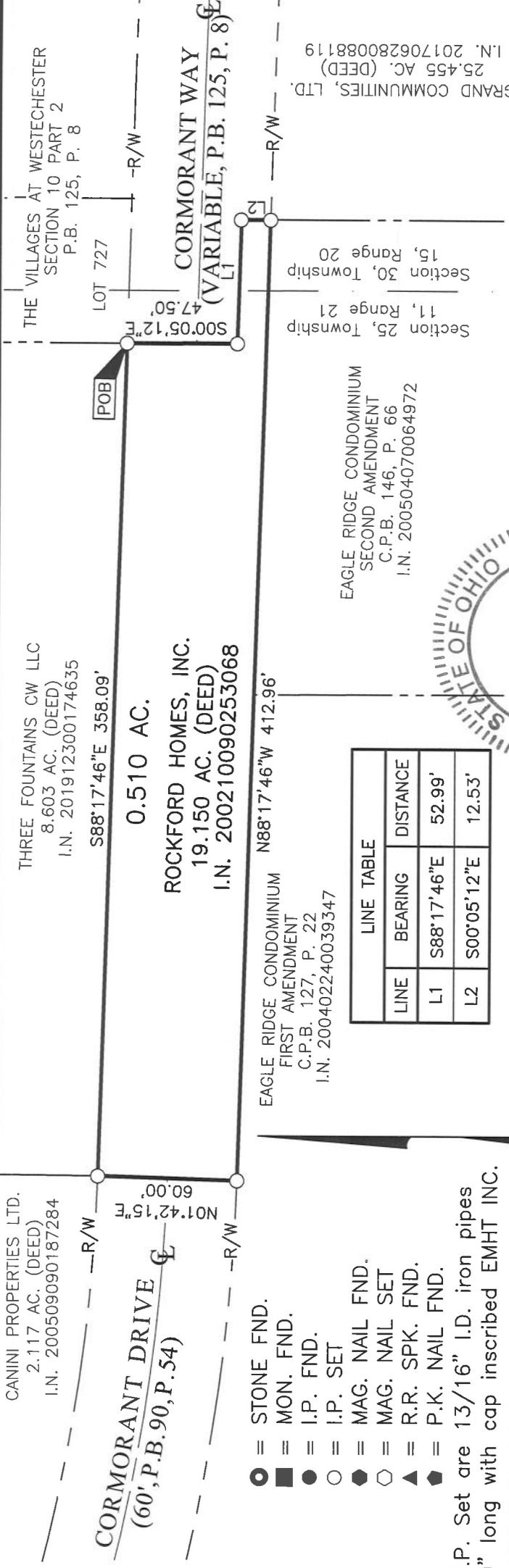
SECTION 25, TOWNSHIP 11, RANGE 21
 CONGRESS LANDS

CITY OF CANAL WINCHESTER, COUNTY OF FRANKLIN, STATE OF OHIO

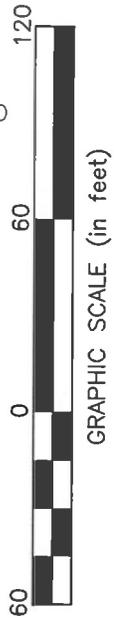
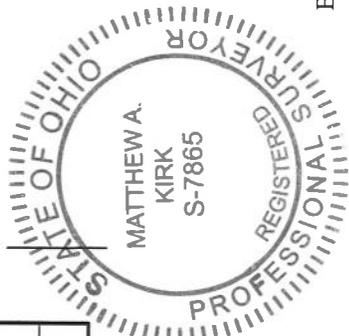
Date: February 14, 2020

Scale: 1" = 60'

Job No: 2019-1289



| LINE TABLE | | |
|------------|-------------|----------|
| LINE | BEARING | DISTANCE |
| L1 | S88°17'46"E | 52.99' |
| L2 | S00°05'12"E | 12.53' |



I.P. Set are 13/16" I.D. iron pipes
 30" long with cap inscribed EMHT INC.

BASIS OF BEARINGS:

The bearings shown hereon are based on the same meridian as the subdivision entitled "The Villages at Westchester Section 6", of record in Plat Book 90, Page 54, Recorder's Office, Franklin County, Ohio, showing a bearing of South 88° 03' 40" East for the centerline of Groveport Road.

SURVEY NOTE:

This survey was prepared using documents of record, prior plats of survey, and observed evidence located by an actual field survey.

By Matthew A. Kirk 14 Feb 20 Date
 Matthew A. Kirk
 Professional Surveyor No. 7865

ORDINANCE NO. 20-017

**AN ORDINANCE TO AUTHORIZE THE MAYOR AND FINANCE DIRECTOR TO ENTER INTO
A DEPOSITORY AGREEMENT WITH PARK NATIONAL BANK FOR THE DEPOSIT OF PUBLIC
FUNDS**

WHEREAS, the city is desirous of investing the interim funds of the city; and

WHEREAS, it is necessary to retain banking services for such investments;

NOW THEREFORE BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL
WINCHESTER, STATE OF OHIO:

SECTION 1. That the Mayor and Finance Director be, and hereby are, authorized to enter into An Agreement for Deposit of Public Funds Ohio with Huntington National Bank, for the period of January 1, 2020 to December 31, 2024, as detailed in Exhibit "A" attached and incorporated herein by reference.

SECTION 2. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

DATE PASSED _____

PRESIDENT OF COUNCIL

ATTEST _____
CLERK OF COUNCIL

MAYOR

APPROVED AS TO FORM:

DATE APPROVED _____

LAW DIRECTOR

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by the Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.

CLERK OF COUNCIL

Agreement for Deposit of Public Funds

This **Agreement for Deposit of Public Funds** (this “Agreement”) is made as of the date executed by and between **Park National Bank**, a national banking association (the “Financial Institution”), and **City of Canal Winchester** (the “Customer”).

WITNESSETH:

WHEREAS, capitalized terms used herein but not otherwise defined herein shall have the meanings set forth on the Addendum with respect to the State in which the Customer is located;

WHEREAS, the Financial Institution has proposed to the Customer that the Financial Institution will accept for deposit and safekeeping deposits for the Customer and provide certain other services;

WHEREAS, the Financial Institution has provided the Customer with access to the Financial Institution's balance sheet information as of the date of the latest report filed by the Financial Institution with the Office of the Comptroller of the Currency; and

WHEREAS, pursuant to the Applicable Statute and in accordance with the rules promulgated under the Applicable Statute, such proposal requires the Financial Institution to pledge and deposit with one or more qualifying trustees, trustee custodians, escrow agents, or custody agents, as security for the repayment of all public moneys to be deposited in the Financial Institution by the Customer security of the kinds specified in the Security Provisions or any other section of the Applicable Statute specifying eligible security, as such may be amended from time to time, in a sum equal to or greater than the minimum amount of security required by the State Official pursuant to the Applicable Statute and the rules promulgated under the Applicable Statute, as such may be amended from time to time;

NOW, THEREFORE, in consideration of the services to be provided by the Financial Institution, including the retention and safekeeping of deposits of the Customer, and the Customer's new or continued award of deposits with the Financial Institution, the Customer and the Financial Institution agree as follows:

1. Eligibility to Receive Funds. The Financial Institution represents that it is eligible to receive public funds pursuant to the Applicable Statute. This agreement is subject to the Applicable Statute, all amendments or supplements thereto, and all rules promulgated and policies adopted pursuant thereto, as well as all other applicable laws and regulations.

2. Deposits Awarded and Accepted. The Customer awards to the Financial Institution, and the Financial Institution accepts, all deposits of the Customer. The Customer and the Financial Institution agree that the services may be changed by agreement of the Customer and the Financial Institution from time to time. Such agreement will be evidenced by delivery of written notice of such proposed changes from the Financial Institution to the Customer and failure of the Customer to deliver to the Financial Institution within 30 calendar days after delivery of such notice written objection of the Customer to such changes. The Customer acknowledges having received a copy of the terms and conditions of the accounts into which the Customer's funds will be deposited (the “Accounts”) and agrees that the Account terms and conditions are incorporated herein by reference. To the extent the Account terms and conditions are inconsistent with the express terms of this Agreement, this Agreement will control.

3. Limit on Amount of Deposits. The acceptance by the Financial Institution of the amount of active, interim and inactive deposits of the Customer for which the Financial Institution has applied will not cause the total of all public deposits held by the Financial Institution to exceed any limit provided in the Applicable Statute or rules promulgated thereunder.

4. Collateral. The Financial Institution and the Customer agree that the Financial Institution will pledge to the State Official and deposit with one or more trustees, trustee custodians, escrow agents, or custody agents qualified under the Applicable Statute and designated by the Financial Institution, for the benefit of the Customer and all other public depositors whose money has been deposited with the Financial Institution, eligible securities. Notwithstanding the foregoing, if the charter of the Customer requires a pledge of specific collateral for the benefit of the Customer or applicable federal law designates the pledging of specific collateral for the Customer, the Customer and the Financial Institution will make a good faith effort to submit necessary documents with the State Official to apply for and establish a specific pledge account within the Collateral Program as defined by each State. The Financial Institution and the Customer will comply in all material respects with their respective duties and obligations under the Applicable Statute, the rules promulgated by the State Official pursuant to the Applicable Statute, and the terms, conditions, policies and other requirements of the State Official pursuant to the Collateral Program, as such laws, rules, terms, conditions, policies and other requirements may be amended from time to time. The terms and conditions of this Agreement are subject to the terms and conditions of any agreement or agreements by and between the Financial Institution and the State Official relating to the Accounts, which agreement or agreements are incorporated herein by reference.

5. Amount of Collateral. The Customer consents to the pledging of collateral by the Financial Institution, in the discretion of the Financial Institution and without further consent from the Customer, equal to any minimum amount required by the State Official, as such amount may be changed from time to time, pursuant to such laws and rules and policies of the State Official promulgated or adopted pursuant to such laws.

6. Trustee. The Customer agrees that the Financial Institution may, in its sole discretion, select one or more trustees, trustee custodians, escrow agents, or custodial agents qualified under the Applicable Statute to hold collateral for all deposits of public fund depositors held by the Financial Institution, including but not limited to those deposits made by the Customer.

7. Expenses. Each of the Customer and the Financial Institution will be responsible for and assume its respective expenses incurred as a result of compliance with and participation in the Collateral Program and any successor program pursuant to the provisions of the Applicable Statute.

8. Termination of Participation in the Collateral Program. Nothing set forth in this Agreement will require the Financial Institution to continue to participate in the Collateral Program. If for any reason the Financial Institution is no longer eligible to participate in the Collateral Program or chooses to opt out of such participation, the Financial Institution will promptly provide the Customer a notice of such event. Upon receipt of such notice, the Customer will provide notice to the Financial Institution within 30 calendar days whether the Customer will withdraw all of its deposits from the Financial Institution or maintain the Customer's deposits at the Financial Institution. If the Customer does not provide such notice to the Financial Institution within the time frame set forth above whether it intends to remove its deposits, the Customer will be deemed to have agreed to maintain its deposits at the Financial Institution, and the Financial Institution will pledge collateral for the deposits of the Customer held by the Financial Institution pursuant to the requirements applicable to pledging of collateral set forth in the Applicable Statute and in accordance with other applicable laws and regulations. The Financial Institution has no further obligation to the Customer with respect to the Financial Institution's termination of participation in the Collateral Program.

9. Change in Laws. The Financial Institution and the Customer agree that if any state or federal laws, rules, or regulations are changed or amended during the term of the Financial Institution's designation as a public depository, and the change of laws, rules, or regulations causes this Agreement to become unlawful, in whole or in part, then this Agreement will be limited so as not to extend beyond the date when such change becomes effective.

10. Customer Privacy. The Customer consents to the Financial Institution's provision to the State Official of information supplied by the Customer to the Financial Institution, as may be required by the State Official or applicable laws, rules, and policies in connection with the Accounts. The Financial Institution will not be liable to the Customer for, as a result of, or in connection with the provision of such information to the State Official nor any disclosure of such information by the State Official to any other person.

11. Notices. Any notice or demand required or permitted under this Agreement from the Customer to the Financial Institution must be in writing, shall be sent by United States certified or registered mail, return receipt requested, or by courier, hand delivery, or overnight delivery, with all postage and charges prepaid, shall be deemed effective on the date it is actually received by the Bank, and shall be addressed to the Bank, Attention Commercial Cash Management, located at 51 North Third Street, Suite 502, Newark, Ohio 43055. Unless otherwise required by Applicable Statute, the Customer agrees that communications from the Financial Institution may be sent electronically to the email address on file in the Financial Institution's records or in writing by regular U.S. mail, courier, hand delivery, or overnight delivery at the address on file in the Financial Institution's records.

12. Governing Law and Venue. The internal laws of the State of Ohio will govern the interpretation, construction, and enforcement of this Agreement and all transactions and agreements contemplated by the Agreement, notwithstanding any state's choice of law rules to the contrary, except to the extent federal law or the laws of the State in which the Customer is located governs. The parties agree that the sole and exclusive venue for any legal action arising out of, in connection with, or relating to this Agreement and/or the transactions and relationships between the parties contemplated by this Agreement, will be the federal district court for the Southern District of Ohio, Columbus Division, or any court of general jurisdiction of Licking County, Ohio. The parties consent to the jurisdiction of such courts and waive any claim of lack of personal jurisdiction, improper venue, and forum non conveniens.

13. Assignment. This Agreement may not be assigned by either party without prior written consent of the other party. Notwithstanding the foregoing, neither a merger of the Financial Institution into another financial institution, nor a sale of the Accounts to another financial institution eligible to receive public funds pursuant to the Applicable Statute, along with

an assignment of this Agreement, will be deemed to be an assignment.

14. Waivers. The waiver by either party of a breach of any provision of this Agreement by the other party or its assignee will not operate or be construed as a waiver of any subsequent breach by the breaching party. A waiver by either party will only be valid if it is in writing and signed by an authorized officer of the party making the waiver.

15. Execution and Delivery. The execution of this Agreement or any amendment to this Agreement in one or more counterparts and the delivery of copies and of scanned or photocopied signature pages by facsimile, electronic mail, or other electronic delivery will constitute effective execution and delivery of this Agreement or any amendment.

16. Agreements Superseded. With respect to the subject matter of this Agreement, to the extent that there is any inconsistency between this Agreement and any other agreement between the Customer and the Financial Institution, the terms of this Agreement supersede all previous agreements. For purposes of clarification, with respect to any previous agreement between the Financial Institution and the Customer regarding the types and maximum amount of deposits to be received by the Financial Institution from the Customer, compliance with the Applicable Statute, and participation by the Financial Institution and the Customer in the Collateral Program, this Agreement supersedes all previous oral and written agreements.

17. Contact Persons. Information regarding the Customer's contact persons with respect to this Agreement is set forth below. The Customer may designate substitute contact persons as the Customer deems necessary or appropriate. The Customer will promptly notify the Financial Institution of such substitutions and changes in contact persons and information. **Amanda Jackson** ajackson@canalwinchesterohio.gov

18. Term. The term of this Agreement is **five years**, beginning on **January 1st 2020** and ending on **December 31st 2024**. Notwithstanding the foregoing, the parties to this Agreement may agree to renew the Agreement for a new term without execution of a new agreement by execution and delivery of a writing signed by both parties or by delivery of a written notice of changed terms by the Financial Institution to the Customer to which the Customer does not deliver written notice of objection to the Financial Institution within 30 calendar days after delivery of the notice from the Financial Institution to the Customer.

IN WITNESS WHEREOF, the undersigned have caused this Agreement for the Deposit of Public Funds to be executed by their authorized officers as of the date above.

Park National Bank

| | | | |
|-----------------------|-----------------|-----------------------|----------------|
| Christina L Kittle | Banking Officer | Jeffrey D Guminey | Vice President |
| _____ Printed Name | _____ Title | _____ Printed Name | _____ Title |
| _____ Signature | _____ Date | _____ Signature | _____ Date |

City of Canal Winchester

| | | | |
|-----------------------|------------------|-----------------------|--------------------|
| Amanda Jackson | Finance Director | Stacey Williams | Finance Specialist |
| _____ Printed Name | _____ Title | _____ Printed Name | _____ Title |
| _____ Signature | _____ Date | _____ Signature | _____ Date |
| _____ Printed Name | _____ Title | _____ Printed Name | _____ Title |
| _____ Signature | _____ Date | _____ Signature | _____ Date |

Addendum

The following terms set forth in the **Agreement for Deposit of Public Funds** to which this Addendum is attached shall have the following meanings for each Customer located in the State listed.

INDIANA

"Applicable Statute" shall mean Indiana Code (IC) Title 5, Article 13.

"Collateral Program" shall mean IC 5-13-13.

"Security Provisions" shall mean IC 5-13-9.5-1 and the rules promulgated thereunder.

"State Official" shall mean the State Treasurer of the State of Indiana, or such other state official designated under the Applicable Statute.

KENTUCKY

"Applicable Statute" shall mean Kentucky Revised Statute (KRS) 41.240.

"Collateral Program" shall mean KRS 41.240.

"Security Provisions" shall mean KRS 41.240(4).

"State Official" shall mean the State Treasurer of the State of Kentucky, or such other state official designated under the Applicable Statute.

NORTH CAROLINA

"Applicable Statute" shall mean North Carolina Administrative Code (NCAC) Title 20, Chapter 7.

"Collateral Program" shall mean the Pooling Method, as described in NCAC Section 20, 07.0104.

"Security Provisions" shall mean NCAC Section 20, 07.0200.

"State Official" shall mean the State Treasurer of the State of North Carolina, or such other state official designated under the Applicable Statute.

OHIO

"Applicable Statute" shall mean Uniform Depository Act of Ohio set forth in Chapter 135 of the Ohio Revised Code.

"Collateral Program" shall mean the Ohio Pooled Collateral Program, as defined in Uniform Depository Act of Ohio set forth in Chapter 135 of the Ohio Revised Code.

"Security Provisions" shall mean Sections 135.18 and 135.182 of the Ohio Revised Code.

"State Official" shall mean the State Treasurer of the State of Ohio, or such other state official designated under the Applicable Statute.

SOUTH CAROLINA

"Applicable Statute" shall mean South Carolina Code of Laws (SCCL) Title 6, Chapter 5.

"Collateral Program" shall mean the Pooling Method, as described in SCCL Section 6-5-15(E)(1)(b).

"Security Provisions" shall mean SCCL Section 6-5-15(C)(2).

"State Official" shall mean the State Treasurer of the State of South Carolina, or such other state official designated under the Applicable Statute.

TENNESSEE

"Applicable Statute" shall mean Tennessee Code (TC) Title 9, Chapter 4, Part 5, known as the Collateral Pool for Public Deposits Act of 1990.

"Collateral Program" shall mean TC Title 9, Chapter 4, Part 5.

"Security Provisions" shall mean TC Section 9-4-504.

"State Official" shall mean the State Treasurer of the State of Tennessee, or such other state official designated under the Applicable Statute.

Mayors Report



March 2, 2020

Michael Ebert, Mayor

Municipal Building Complex:

Last Monday we closed on the McDorman Building and it now officially is city property. We are focusing our attention now on the RFP and having it ready to send out to various contractors for bid very soon.

Canal Winchester Chamber Awards Dinner:

Last Friday, the city had one of its own recognized at the Annual Canal Winchester Chamber Awards Dinner. Lucas Hair was awarded the Pillar of the Community award by the Chamber members for all of his hard work and in helping to make Canal Winchester a great place to do business. We are all very happy Lucas is here in Canal Winchester and not somewhere else competing against us!

Street Tree Advisory Board:

A longtime member, 25+ years on the STAB, Gary Bumpus has resigned. He and his wife are moving to Westerville next week to be closer to their grandchildren whom they baby sit for three to four days a week. We wish Gary all the best and appreciate his time on STAB of which he said his entire tenure was spent as the chairperson.

STAB replacement:

At the recommendation Dick Miller and Gary Bumpus I have appointed Pat Burks as the newest member and replacement for Gary Bumpus to the Street Tree Advisory Board. Pat has been attending meetings for more than a year now and is knowledgeable of trees and has a great desire to become a STAB member. Pat lives on West Mound Street.

McGill Park:

No new information to report at this time.

Monthly Mayor's Court Report

Canal Winchester Mayor's Court
Cash Flow for January 2020

Page : 1
Report Date : 02/03/2020
Report Time : 12:32:44

| | Current Period | Year-To-Date | Last Year-to-Date |
|-----------------------------------|-------------------|-------------------|-------------------|
| City Revenue From: | | | |
| Court Costs | | | |
| Court Costs | \$1,530.00 | \$1,530.00 | \$593.00 |
| Additional Costs | \$0.00 | \$0.00 | \$39.00 |
| Fines | | | |
| City Revenue From Fines | \$5,343.00 | \$5,343.00 | \$2,221.00 |
| Fees | | | |
| Fees | \$212.00 | \$212.00 | \$255.00 |
| Bond Forfeits | | | |
| Bond Forfeits | \$0.00 | \$0.00 | \$0.00 |
| Miscellaneous/Other | | | |
| Bond Administration Fees | \$0.00 | \$0.00 | \$0.00 |
| Total to City: | \$7,085.00 | \$7,085.00 | \$3,108.00 |
| State Revenue From: | | | |
| Court Costs | | | |
| Court Costs | \$1,745.60 | \$1,745.60 | \$695.50 |
| Fines | | | |
| Fines | \$30.00 | \$30.00 | \$0.00 |
| Total to State: | \$1,775.60 | \$1,775.60 | \$695.50 |
| Other Revenue From: | | | |
| Court Costs | | | |
| Court Costs | \$44.40 | \$44.40 | \$19.50 |
| Restitution | | | |
| Restitution | \$40.00 | \$40.00 | \$20.00 |
| Total to Other: | \$84.40 | \$84.40 | \$39.50 |
| TOTAL REVENUE * | \$8,945.00 | \$8,945.00 | \$3,843.00 |
| *Includes credit card receipts of | \$1,716.00 | \$1,716.00 | \$1,345.00 |

END OF REPORT

Ticket Summary

Canal Winchester Mayor's Court
 All tickets filed from 01/01/2020 through 01/31/2020

Page : 1
 Report Date : 02/03/2020
 Report Time : 14:49:42

| Ordinance | Description | # Offenses |
|---------------------------------------|---|------------|
| 313.010 | TRAFFIC CONTROL DEVICES | 2 |
| 331.130 | STARTING AND BACKING VEHICLES | 1 |
| 331.170 | RIGHT OF WAY WHEN TURNING LEFT | 1 |
| 331.340 | FTC/FULL TIME ATT./WEAVING | 3 |
| 333.030 | SPEED | 23 |
| 333.030A | ACDA | 9 |
| 333.090 | RECKLESS OPERATION | 1 |
| 335.010 | OL REQUIRED,RESTRICTION VIOL | 1 |
| 335.010A1 | EXPIRED DRIVERS LICENSE | 2 |
| 335.070 | DUS/REVOCATION/RESTRICTIONS | 6 |
| 335.072 | DRIVING UNDER FRA SUSPENSION | 2 |
| 335.073 | DRIVING WITHOUT COMPLYING WITH LICENSE | 2 |
| 335.074 | DRVNG UNDER L/F OR CHILD SUPPORT SUSPENSION | 2 |
| 335.090 | DISPLAY OF LICENSE PLATES | 2 |
| 335.100 | EXPIRED TAGS OR UNLAWFUL PLATES | 16 |
| 335.110 | TRANSFER OF OWNER/REGISTRATION | 1 |
| 335.120 | HIT SKIP/LEAVE SCENE | 1 |
| 337.260 | CHILD RESTRAINT | 1 |
| 337.270 | SAFETY BELT REQUIRED DRIVER | 3 |
| 337.280 | TINTED WINDOWS | 1 |
| 501.100 | COMPLICITY | 1 |
| 509.030 | DISORDERLY CONDUCT | 2 |
| 513.030 | DRUG ABUSE, CONTROLLED SUBSTANCE POSSESSION | 3 |
| 513.030A | POSSESSION OF MARIJUANA 513.03 C2A | 4 |
| 513.040 | POSSESS DRUG ABUSE INSTRUMENTS | 3 |
| 513.120 | DRUG PARAPHERNALIA | 8 |
| 525.070 | OBSTRUCTING OFFICIAL BUSINESS | 3 |
| 525.080 | OBSTRUCTING JUSTICE | 1 |
| 525.090 | RESISTING ARREST | 2 |
| 533.070 | PUBLIC INDECENCY | 1 |
| 541.050 | CRIMINAL TRESPASS | 3 |
| 545.050 | THEFT | 21 |
| Total Offenses for Time Period | | 132 |
| Total Tickets for Time Period | | 98 |

COUNCIL UPDATE



February 27, 2020

Finance Department
Amanda Jackson, Finance Director

Legislation:

Park National Bank Depository Agreement – This ordinance would allow the city to deposit funds with Park National Bank. Similar agreements are in place with all other banks with whom we currently conduct business.

Project Status:

No special projects are currently in progress in the Finance Department. We continue to provide support for the other departments as needed.

RITA Taxpayer Assistance Event – The Regional Income Tax Agency will be at the Community Center on Thursday, March 12th for a Taxpayer Assistance Event from 11 a.m. to 6 p.m. Representatives from RITA will be available to assist local taxpayers with the preparation of municipal tax forms. This event is open to all individuals who are required to file a municipal income tax return with any RITA municipality including Groveport, Lithopolis, Baltimore, and Carroll. A complete list of municipalities can be found on the RITA website at www.ritaohio.com.

| | |
|-----------------------------|----------------|
| Beginning GL Balance: | 27,225,587.12 |
| Add: Cash Receipts | 907,610.73 |
| Less: Cash Disbursements | (1,174,363.17) |
| Less: Payroll Disbursements | (256,409.50) |
| Add: Journal Entries/Other | 696,438.69 |

Ending GL Balance: 27,398,863.87

| | |
|---------------------------------|---------------|
| Ending Bank Balance: | 27,542,449.40 |
| Add: Miscellaneous Transactions | 775.00 |
| Add: Deposits in Transit | |

| | |
|-------------------------------|------------------|
| 02/03/2020 *Deposit ID: 15927 | 1,128.48 |
| 02/03/2020 *Deposit ID: 15928 | 13,607.00 |
| 02/04/2020 *Deposit ID: 15938 | 811.02 |
| 02/05/2020 *Deposit ID: 15942 | 1,887.14 |
| O/S CHECKS PRIOR TO 1/1/15 | (2,268.50) |
| MAYOR'S COURT RETURNED CC | 60.00 |
| COMMUNITY CENTER O/S CC | (100.00) |
| XMAS CLUB PAYOUT TRANSFER | 100.00 |
| | <u>15,225.14</u> |

Less: Outstanding Checks

AP Checks

| Check Date | Check Number | Name | Amount |
|------------|--------------|-------------------------------------|-----------|
| 03/09/2016 | 50520 | ANDREA FOX | 45.00 |
| 04/06/2016 | 50617 | KIMBERLY GRAHAM | 100.00 |
| 10/12/2016 | 51583 | WAYNE BRENGMAN | 5.00 |
| 11/16/2016 | 51740 | SARAH DENEN | 100.00 |
| 01/10/2018 | 53596 | CLAUDE CURTIS | 100.00 |
| 03/14/2018 | 53900 | TWO ELK, LLC | 12.00 |
| 06/08/2018 | 54236 | JANICE THURMAN | 100.00 |
| 03/21/2019 | 55496 | DIANE PHILLIPS | 100.00 |
| 11/21/2019 | 56557 | BECKIE FACTOR | 100.00 |
| 01/09/2020 | 56752 | CARL WHEELER INC | 8,000.00 |
| 01/15/2020 | 56797 | FAIRFIELD COUNTY COMMISSIONERS | 7,500.00 |
| 01/16/2020 | 56807 | FRANKLIN COUNTY TREASURER | 45,413.79 |
| 01/24/2020 | 56810 | HOFFMAN ANALYTIC SERVICES, INC. | 184.00 |
| 01/24/2020 | 56811 | AMERICAN CANCER SOCIETY | 2,000.00 |
| 01/24/2020 | 56815 | BOY SCOUT TROOP 103 | 500.00 |
| 01/24/2020 | 56817 | THE BROCKSTRONG FOUNDATION | 2,000.00 |
| 01/24/2020 | 56818 | C O A M C C | 50.00 |
| 01/24/2020 | 56819 | CANAL HIGHLANDS HOA | 100.00 |
| 01/24/2020 | 56820 | CANAL VILLAGE | 1,000.00 |
| 01/24/2020 | 56821 | CANAL WINCHESTER AFTER PROM | 2,000.00 |
| 01/24/2020 | 56822 | CANAL WINCHESTER ART GUILD | 2,000.00 |
| 01/24/2020 | 56823 | CANAL WINCHESTER HISTORICAL SOCIETY | 2,000.00 |
| 01/24/2020 | 56824 | CANAL WINCHESTER HUMAN SERVICES | 16,774.00 |
| 01/24/2020 | 56825 | CANAL WINCHESTER LACROSSE ASSOC | 1,000.00 |
| 01/24/2020 | 56826 | CANAL WINCHESTER PERFORMING ARTS | 2,000.00 |
| 01/24/2020 | 56827 | CANAL WINCHESTER SENIOR CITIZENS, I | 1,300.00 |
| 01/24/2020 | 56828 | CANAL WINCHESTER-GROVEPORT ROTARY | 500.00 |
| 01/24/2020 | 56830 | CW LABOR DAY FESTIVAL | 2,000.00 |
| 01/24/2020 | 56831 | CWJRD | 1,000.00 |
| 01/24/2020 | 56849 | FRIENDS FOR LIFE ANIMAL HAVEN | 2,000.00 |
| 01/24/2020 | 56851 | INDIANS CLUB | 2,000.00 |
| 01/24/2020 | 56852 | INDIANS CROSS COUNTRY BOOSTERS | 2,000.00 |
| 01/24/2020 | 56856 | MID OHIO DEVELOPMENT EXCHANGE | 5,000.00 |
| 01/24/2020 | 56858 | NOFZIGER DOOR SALES, INC. | 2,462.00 |
| 01/24/2020 | 56866 | THE LEARNING SPECTRUM SOUTH PTO | 1,000.00 |
| 01/24/2020 | 56867 | THE MISS CANAL WINCHESTER PAGEANT | 1,500.00 |

02/06/2020 03:43 PM
User: ajackson
DB: Canal Winchester

BANK RECONCILIATION FOR CITY OF CANAL WINCHESTER
Bank GEN (GENERAL OPERATING)
FROM 01/01/2020 TO 01/31/2020
Reconciliation Record ID: 58
Finalized
AP Checks

| Check Date | Check Number | Name | Amount |
|------------|--------------|---|----------|
| 01/24/2020 | 56869 | TRIHEDRAL ENGINEERING LIMITED Payroll Checks | 5,314.00 |

| Check Date | Check Number | Name | Amount |
|------------|--------------|-------|-----------|
| 01/08/2020 | EFT873 | OPERS | 20,058.64 |
| 01/22/2020 | EFT880 | OPERS | 20,267.24 |

Total - 39 Outstanding Checks: 159,585.67
Adjusted Bank Balance 27,398,863.87
Unreconciled Difference: 0.00

REVIEWED BY: _____

DATE: _____

User: ajackson
DB: Canal Winchester

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|-------------------------|------------------------------------|--------------------|------------------------|--------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 100 - GENERAL FUND | | | | | | | |
| Revenues | | | | | | | |
| 100-000-4100-00 | MUNICIPAL INCOME TAX | 7,200,000.00 | 7,200,000.00 | 632,202.77 | 632,202.77 | 0.00 | 6,567,797.23 |
| 100-000-4200-00 | GENERAL PROPERTY TAX - REAL ESTATE | 475,000.00 | 475,000.00 | 0.00 | 0.00 | 0.00 | 475,000.00 |
| 100-000-4220-00 | HOTEL/MOTEL TAX | 150,000.00 | 150,000.00 | 6,299.97 | 6,299.97 | 0.00 | 143,700.03 |
| 100-000-4300-00 | LOCAL GOVERNMENT - STATE | 0.00 | 0.00 | 2,176.37 | 2,176.37 | 0.00 | (2,176.37) |
| 100-000-4301-00 | LOCAL GOVERNMENT - COUNTY | 75,000.00 | 75,000.00 | 6,611.07 | 6,611.07 | 0.00 | 68,388.93 |
| 100-000-4310-00 | HOMESTEAD/ROLLBACK | 50,000.00 | 50,000.00 | 0.00 | 0.00 | 0.00 | 50,000.00 |
| 100-000-4320-00 | LIQUOR PERMITS | 19,000.00 | 19,000.00 | 0.00 | 0.00 | 0.00 | 19,000.00 |
| 100-000-4321-00 | CIGARETTE TAX | 350.00 | 350.00 | 0.00 | 0.00 | 0.00 | 350.00 |
| 100-000-4400-00 | WEED CUTTING/MOWING ASSESSMENTS | 500.00 | 500.00 | 0.00 | 0.00 | 0.00 | 500.00 |
| 100-000-4401-00 | STREET ASSESSMENTS | 27,000.00 | 27,000.00 | 0.00 | 0.00 | 0.00 | 27,000.00 |
| 100-000-4402-00 | SIDEWALK ASSESSMENTS | 14,000.00 | 14,000.00 | 0.00 | 0.00 | 0.00 | 14,000.00 |
| 100-000-4410-00 | DILEY RD ASSESSMENTS | 110,000.00 | 110,000.00 | 0.00 | 0.00 | 0.00 | 110,000.00 |
| 100-000-4500-00 | SWIMMING POOL ADMISSION | 105,000.00 | 105,000.00 | 0.00 | 0.00 | 0.00 | 105,000.00 |
| 100-000-4501-00 | SWIMMING POOL CONCESSION | 27,000.00 | 27,000.00 | (1,407.06) | (1,407.06) | 0.00 | 28,407.06 |
| 100-000-4502-00 | SWIMMING POOL RENTAL FEES | 7,500.00 | 7,500.00 | 0.00 | 0.00 | 0.00 | 7,500.00 |
| 100-000-4510-00 | BUILDING RENTAL FEES | 13,000.00 | 13,000.00 | 1,835.00 | 1,835.00 | 0.00 | 11,165.00 |
| 100-000-4512-00 | PARK RENTAL FEES | 500.00 | 500.00 | 0.00 | 0.00 | 0.00 | 500.00 |
| 100-000-4520-00 | LOCAL COPIES | 2,000.00 | 2,000.00 | 150.00 | 150.00 | 0.00 | 1,850.00 |
| 100-000-4600-00 | WASTE MANAGEMENT FRANCHISE FEES | 25,000.00 | 25,000.00 | 0.00 | 0.00 | 0.00 | 25,000.00 |
| 100-000-4601-00 | CABLE TV FRANCHISE FEES | 125,000.00 | 125,000.00 | 7,951.03 | 7,951.03 | 0.00 | 117,048.97 |
| 100-000-4610-00 | PEDDLERS AND SOLICITORS PERMITS | 500.00 | 500.00 | 0.00 | 0.00 | 0.00 | 500.00 |
| 100-000-4620-00 | BUILDING PERMITS | 145,000.00 | 145,000.00 | 22,800.00 | 22,800.00 | 0.00 | 122,200.00 |
| 100-000-4621-00 | ZONING PERMITS | 28,000.00 | 28,000.00 | 6,801.00 | 6,801.00 | 0.00 | 21,199.00 |
| 100-000-4622-00 | INSPECTION FEES | 200,000.00 | 200,000.00 | 11,222.00 | 11,222.00 | 0.00 | 188,778.00 |
| 100-000-4623-00 | SIDEWALK INSPECTION FEES | 8,000.00 | 8,000.00 | 1,800.00 | 1,800.00 | 0.00 | 6,200.00 |
| 100-000-4624-00 | PLAN REVIEW FEES | 25,000.00 | 25,000.00 | 3,000.00 | 3,000.00 | 0.00 | 22,000.00 |
| 100-000-4625-00 | ENGINEERING REVIEW FEES | 32,000.00 | 32,000.00 | 7,150.00 | 7,150.00 | 0.00 | 24,850.00 |
| 100-000-4626-00 | ROW APPLICATION FEES | 12,000.00 | 12,000.00 | 1,400.00 | 1,400.00 | 0.00 | 10,600.00 |
| 100-000-4627-00 | ADMINISTRATIVE FEES | 30,000.00 | 30,000.00 | 3,743.20 | 3,743.20 | 0.00 | 26,256.80 |
| 100-000-4630-00 | PARK LAND FEES | 75,000.00 | 75,000.00 | 22,000.00 | 22,000.00 | 0.00 | 53,000.00 |
| 100-000-4631-00 | STREET TREE FEES | 45,000.00 | 45,000.00 | 7,704.00 | 7,704.00 | 0.00 | 37,296.00 |
| 100-000-4680-00 | GOLF CART REGISTRATION FEES | 200.00 | 200.00 | 0.00 | 0.00 | 0.00 | 200.00 |
| 100-000-4690-00 | COURT FINES | 95,000.00 | 95,000.00 | 4,584.45 | 4,584.45 | 0.00 | 90,415.55 |
| 100-000-4700-00 | INTEREST | 225,000.00 | 225,000.00 | 12,848.39 | 12,848.39 | 0.00 | 212,151.61 |
| 100-000-4800-00 | SALE OF ASSETS | 500.00 | 500.00 | 0.00 | 0.00 | 0.00 | 500.00 |
| 100-000-4810-00 | MISCELLANEOUS | 12,000.00 | 12,000.00 | 9,086.48 | 9,086.48 | 0.00 | 2,913.52 |
| 100-000-4850-00 | INSURANCE CLAIMS | 30,000.00 | 30,000.00 | 0.00 | 0.00 | 0.00 | 30,000.00 |
| 100-000-4910-00 | ADVANCE IN | 540,000.00 | 540,000.00 | 0.00 | 0.00 | 0.00 | 540,000.00 |
| 100-000-4999-00 | TEMPORARY HOLDING ACCOUNT | 0.00 | 0.00 | 2,076.00 | 2,076.00 | 0.00 | (2,076.00) |
| TOTAL REVENUES | | 9,929,050.00 | 9,929,050.00 | 772,034.67 | 772,034.67 | 0.00 | 9,157,015.33 |
| Expenditures | | | | | | | |
| 100-100-5347-00 | PAYMENT TO POLITICAL SUBDIVISION | 1,350,000.00 | 1,375,162.55 | 104,263.33 | 104,263.33 | 1,192,899.22 | 78,000.00 |
| 100-100-5400-00 | OFFICE SUPPLIES AND MATERIALS | 1,000.00 | 1,273.22 | 335.94 | 335.94 | 387.25 | 550.03 |
| 100-100-5500-00 | CAPITAL OUTLAY | 47,000.00 | 47,000.00 | 0.00 | 0.00 | 0.00 | 47,000.00 |
| 100-200-5347-00 | PAYMENT TO POLITICAL SUBDIVISION | 90,000.00 | 90,000.00 | 0.00 | 0.00 | 8,530.60 | 81,469.40 |
| 100-201-5342-00 | HUMAN SERVICES CONTRACT | 63,100.00 | 63,100.00 | 15,774.00 | 15,774.00 | 47,326.00 | 0.00 |
| 100-202-5341-00 | CEMETERY/INDIGENT BURIAL | 2,000.00 | 2,000.00 | 0.00 | 0.00 | 0.00 | 2,000.00 |
| 100-300-5100-00 | REGULAR SALARIES | 51,900.00 | 51,900.00 | 3,867.20 | 3,867.20 | 0.00 | 48,032.80 |
| 100-300-5200-00 | PERS | 7,150.00 | 7,150.00 | 541.40 | 541.40 | 0.00 | 6,608.60 |
| 100-300-5210-00 | MEDICARE | 750.00 | 750.00 | 52.45 | 52.45 | 0.00 | 697.55 |
| 100-300-5220-00 | WORKERS' COMPENSATION | 900.00 | 900.00 | 0.15 | 0.15 | 0.00 | 899.85 |
| 100-300-5230-00 | INSURANCE PREMIUMS | 29,000.00 | 29,000.00 | 2,804.57 | 2,804.57 | 24,229.02 | 1,966.41 |
| 100-300-5250-00 | UNIFORMS/LICENSES | 125.00 | 125.00 | 0.00 | 0.00 | 0.00 | 125.00 |

User: ajackson

DB: Canal Winchester

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|-------------------------|--|-----------------|---------------------|--------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 100 - GENERAL FUND | | | | | | | |
| Expenditures | | | | | | | |
| 100-300-5325-00 | TRAINING/EDUCATION | 200.00 | 200.00 | 0.00 | 0.00 | 0.00 | 200.00 |
| 100-300-5340-00 | OTHER CONTRACT SERVICES | 10,000.00 | 11,460.00 | 0.00 | 0.00 | 2,560.00 | 8,900.00 |
| 100-300-5400-00 | OFFICE SUPPLIES AND MATERIALS | 1,200.00 | 1,200.00 | 0.00 | 0.00 | 0.00 | 1,200.00 |
| 100-300-5410-00 | OPERATION AND MAINTENANCE | 5,000.00 | 6,315.05 | 1,284.55 | 1,284.55 | 30.50 | 5,000.00 |
| 100-300-5500-00 | CAPITAL OUTLAY | 3,000.00 | 3,110.03 | 0.00 | 0.00 | 110.03 | 3,000.00 |
| 100-301-5100-00 | REGULAR SALARIES | 134,900.00 | 134,900.00 | 6,795.21 | 6,795.21 | 0.00 | 128,104.79 |
| 100-301-5110-00 | OVERTIME SALARIES | 12,000.00 | 12,000.00 | 0.00 | 0.00 | 0.00 | 12,000.00 |
| 100-301-5200-00 | PERS | 20,400.00 | 20,400.00 | 951.32 | 951.32 | 0.00 | 19,448.68 |
| 100-301-5210-00 | MEDICARE | 2,200.00 | 2,200.00 | 111.06 | 111.06 | 0.00 | 2,088.94 |
| 100-301-5220-00 | WORKERS' COMPENSATION | 2,600.00 | 2,600.00 | 0.78 | 0.78 | 0.00 | 2,599.22 |
| 100-301-5230-00 | INSURANCE PREMIUMS | 71,000.00 | 71,000.00 | 2,980.84 | 2,980.84 | 24,889.52 | 43,129.64 |
| 100-301-5240-00 | TRAVEL/TRANSPORTATION | 50.00 | 50.00 | 0.00 | 0.00 | 0.00 | 50.00 |
| 100-301-5250-00 | UNIFORMS/LICENSES | 1,800.00 | 1,800.00 | 800.00 | 800.00 | 0.00 | 1,000.00 |
| 100-301-5325-00 | TRAINING/EDUCATION | 500.00 | 500.00 | 0.00 | 0.00 | 30.00 | 470.00 |
| 100-301-5340-00 | OTHER CONTRACT SERVICES | 5,000.00 | 5,000.00 | 0.00 | 0.00 | 0.00 | 5,000.00 |
| 100-301-5349-00 | MISCELLANEOUS CONTRACT SERVICES | 20,000.00 | 20,000.00 | 0.00 | 0.00 | 0.00 | 20,000.00 |
| 100-301-5410-00 | OPERATION AND MAINTENANCE | 18,000.00 | 18,950.53 | 487.10 | 487.10 | 5,863.43 | 12,600.00 |
| 100-301-5500-00 | CAPITAL OUTLAY | 50,000.00 | 213,001.79 | 6,484.30 | 6,484.30 | 156,517.49 | 50,000.00 |
| 100-302-5320-00 | PROFESSIONAL SERVICES | 150,000.00 | 150,000.00 | 0.00 | 0.00 | 135,155.00 | 14,845.00 |
| 100-302-5400-00 | OFFICE SUPPLIES AND MATERIALS | 3,000.00 | 3,000.00 | 0.00 | 0.00 | 550.00 | 2,450.00 |
| 100-302-5410-00 | OPERATION AND MAINTENANCE | 5,000.00 | 5,000.00 | 0.00 | 0.00 | 875.00 | 4,125.00 |
| 100-302-5410-03 | CONCESSIONS OPERATION AND MAINTENANCE | 15,000.00 | 15,000.00 | 0.00 | 0.00 | 15,000.00 | 0.00 |
| 100-302-5500-00 | CAPITAL OUTLAY | 42,000.00 | 42,000.00 | 0.00 | 0.00 | 0.00 | 42,000.00 |
| 100-400-5100-00 | REGULAR SALARIES | 231,900.00 | 231,900.00 | 16,219.20 | 16,219.20 | 0.00 | 215,680.80 |
| 100-400-5200-00 | PERS | 32,500.00 | 32,500.00 | 2,242.70 | 2,242.70 | 0.00 | 30,257.30 |
| 100-400-5210-00 | MEDICARE | 3,500.00 | 3,500.00 | 231.40 | 231.40 | 0.00 | 3,268.60 |
| 100-400-5220-00 | WORKERS' COMPENSATION | 4,000.00 | 4,000.00 | 1.19 | 1.19 | 0.00 | 3,998.81 |
| 100-400-5230-00 | INSURANCE PREMIUMS | 71,000.00 | 71,000.00 | 7,006.94 | 7,006.94 | 58,857.47 | 5,135.59 |
| 100-400-5240-00 | TRAVEL/TRANSPORTATION | 2,500.00 | 2,500.00 | 0.00 | 0.00 | 0.00 | 2,500.00 |
| 100-400-5250-00 | UNIFORMS/LICENSES | 350.00 | 350.00 | 0.00 | 0.00 | 0.00 | 350.00 |
| 100-400-5320-00 | PROFESSIONAL SERVICES | 175,000.00 | 210,646.57 | 24,820.00 | 24,820.00 | 73,869.17 | 111,957.40 |
| 100-400-5325-00 | TRAINING/EDUCATION | 3,000.00 | 3,200.00 | 200.00 | 200.00 | 0.00 | 3,000.00 |
| 100-400-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 16,000.00 | 16,000.00 | 14,275.25 | 14,275.25 | 0.00 | 1,724.75 |
| 100-400-5349-00 | MISCELLANEOUS CONTRACT SERVICES | 55,000.00 | 62,975.86 | 5,085.84 | 5,085.84 | 3,543.16 | 54,346.86 |
| 100-400-5352-00 | GIS | 35,000.00 | 35,000.00 | 0.00 | 0.00 | 0.00 | 35,000.00 |
| 100-400-5400-00 | OFFICE SUPPLIES AND MATERIALS | 2,200.00 | 2,731.23 | 359.21 | 359.21 | 772.02 | 1,600.00 |
| 100-400-5500-00 | CAPITAL OUTLAY | 3,000.00 | 4,773.50 | 1,773.50 | 1,773.50 | 0.00 | 3,000.00 |
| 100-410-5100-00 | REGULAR SALARIES | 134,900.00 | 134,900.00 | 8,819.20 | 8,819.20 | 0.00 | 126,080.80 |
| 100-410-5110-00 | OVERTIME SALARIES | 3,000.00 | 3,000.00 | 0.00 | 0.00 | 0.00 | 3,000.00 |
| 100-410-5200-00 | PERS | 19,200.00 | 19,200.00 | 1,206.68 | 1,206.68 | 0.00 | 17,993.32 |
| 100-410-5210-00 | MEDICARE | 2,000.00 | 2,000.00 | 136.58 | 136.58 | 0.00 | 1,863.42 |
| 100-410-5220-00 | WORKERS' COMPENSATION | 2,300.00 | 2,300.00 | 1.12 | 1.12 | 0.00 | 2,298.88 |
| 100-410-5230-00 | INSURANCE PREMIUMS | 42,000.00 | 42,000.00 | 2,416.69 | 2,416.69 | 34,985.52 | 4,597.79 |
| 100-410-5240-00 | TRAVEL/TRANSPORTATION | 500.00 | 500.00 | 0.00 | 0.00 | 150.00 | 350.00 |
| 100-410-5250-00 | UNIFORMS/LICENSES | 1,300.00 | 1,300.00 | 600.00 | 600.00 | 0.00 | 700.00 |
| 100-410-5325-00 | TRAINING/EDUCATION | 1,200.00 | 1,200.00 | 0.00 | 0.00 | 30.00 | 1,170.00 |
| 100-410-5340-00 | OTHER CONTRACT SERVICES | 17,500.00 | 21,598.00 | 1,296.00 | 1,296.00 | 8,802.00 | 11,500.00 |
| 100-410-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 500.00 | 500.00 | 15.00 | 15.00 | 0.00 | 485.00 |
| 100-410-5400-00 | OFFICE SUPPLIES AND MATERIALS | 500.00 | 500.00 | 0.00 | 0.00 | 0.00 | 500.00 |
| 100-410-5410-00 | OPERATION AND MAINTENANCE | 5,000.00 | 5,230.74 | 577.69 | 577.69 | 2,511.66 | 2,141.39 |
| 100-410-5410-02 | FLOWERS/MULCH/STAB OPERATION AND MAINTEN | 16,000.00 | 16,000.00 | 0.00 | 0.00 | 3,192.44 | 12,807.56 |
| 100-410-5500-00 | CAPITAL OUTLAY | 45,000.00 | 45,000.00 | 0.00 | 0.00 | 0.00 | 45,000.00 |
| 100-500-5100-00 | REGULAR SALARIES | 144,400.00 | 144,400.00 | 9,111.36 | 9,111.36 | 0.00 | 135,288.64 |
| 100-500-5110-00 | OVERTIME SALARIES | 500.00 | 500.00 | 0.00 | 0.00 | 0.00 | 500.00 |
| 100-500-5200-00 | PERS | 20,200.00 | 20,200.00 | 1,205.58 | 1,205.58 | 0.00 | 18,994.42 |
| 100-500-5210-00 | MEDICARE | 2,100.00 | 2,100.00 | 128.63 | 128.63 | 0.00 | 1,971.37 |

User: ajackson

DB: Canal Winchester

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|-------------------------|---------------------------------|--------------------|------------------------|-----------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 100 - GENERAL FUND | | | | | | | |
| Expenditures | | | | | | | |
| 100-500-5220-00 | WORKERS' COMPENSATION | 2,500.00 | 2,500.00 | 0.71 | 0.71 | 0.00 | 2,499.29 |
| 100-500-5230-00 | INSURANCE PREMIUMS | 36,500.00 | 36,500.00 | 2,816.57 | 2,816.57 | 24,361.02 | 9,322.41 |
| 100-500-5250-00 | UNIFORMS/LICENSES | 250.00 | 250.00 | 0.00 | 0.00 | 0.00 | 250.00 |
| 100-500-5320-00 | PROFESSIONAL SERVICES | 45,000.00 | 55,000.00 | 0.00 | 0.00 | 10,000.00 | 45,000.00 |
| 100-500-5325-00 | TRAINING/EDUCATION | 2,000.00 | 2,000.00 | 0.00 | 0.00 | 0.00 | 2,000.00 |
| 100-500-5330-00 | INSURANCE/BONDING | 50,000.00 | 50,000.00 | 0.00 | 0.00 | 43,250.00 | 6,750.00 |
| 100-500-5340-00 | OTHER CONTRACT SERVICES | 1,000.00 | 1,000.00 | 0.00 | 0.00 | 600.00 | 400.00 |
| 100-500-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 8,000.00 | 8,000.00 | 5,728.48 | 5,728.48 | 1,300.00 | 971.52 |
| 100-500-5400-00 | OFFICE SUPPLIES AND MATERIALS | 500.00 | 500.00 | 0.00 | 0.00 | 315.00 | 185.00 |
| 100-500-5410-00 | OPERATION AND MAINTENANCE | 3,000.00 | 3,075.00 | 71.43 | 71.43 | 1,775.00 | 1,228.57 |
| 100-500-5500-00 | CAPITAL OUTLAY | 1,500.00 | 1,500.00 | 0.00 | 0.00 | 0.00 | 1,500.00 |
| 100-501-5100-00 | REGULAR SALARIES | 73,400.00 | 73,400.00 | 5,195.73 | 5,195.73 | 0.00 | 68,204.27 |
| 100-501-5110-00 | OVERTIME SALARIES | 1,000.00 | 1,000.00 | 10.50 | 10.50 | 0.00 | 989.50 |
| 100-501-5200-00 | PERS | 15,100.00 | 15,100.00 | 809.23 | 809.23 | 0.00 | 14,290.77 |
| 100-501-5210-00 | MEDICARE | 1,100.00 | 1,100.00 | 79.80 | 79.80 | 0.00 | 1,020.20 |
| 100-501-5220-00 | WORKERS' COMPENSATION | 1,300.00 | 1,300.00 | 2.29 | 2.29 | 0.00 | 1,297.71 |
| 100-501-5230-00 | INSURANCE PREMIUMS | 77,500.00 | 77,500.00 | 4,938.25 | 4,938.25 | 37,813.73 | 34,748.02 |
| 100-501-5250-00 | UNIFORMS/LICENSES | 800.00 | 800.00 | 0.00 | 0.00 | 0.00 | 800.00 |
| 100-501-5320-00 | PROFESSIONAL SERVICES | 15,000.00 | 15,007.50 | 390.00 | 390.00 | 11,307.50 | 3,310.00 |
| 100-501-5325-00 | TRAINING/EDUCATION | 1,500.00 | 1,500.00 | 0.00 | 0.00 | 0.00 | 1,500.00 |
| 100-501-5344-00 | DESTINATION: CANAL WINCHESTER | 22,000.00 | 22,000.00 | 0.00 | 0.00 | 22,000.00 | 0.00 |
| 100-501-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 300.00 | 300.00 | 0.00 | 0.00 | 55.00 | 245.00 |
| 100-501-5400-00 | OFFICE SUPPLIES AND MATERIALS | 500.00 | 507.50 | 0.00 | 0.00 | 107.50 | 400.00 |
| 100-501-5500-00 | CAPITAL OUTLAY | 3,000.00 | 3,000.00 | 0.00 | 0.00 | 0.00 | 3,000.00 |
| 100-510-5100-00 | REGULAR SALARIES | 54,900.00 | 54,900.00 | 4,067.20 | 4,067.20 | 0.00 | 50,832.80 |
| 100-510-5110-00 | OVERTIME SALARIES | 2,100.00 | 2,100.00 | 0.00 | 0.00 | 0.00 | 2,100.00 |
| 100-510-5200-00 | PERS | 7,900.00 | 7,900.00 | 569.40 | 569.40 | 0.00 | 7,330.60 |
| 100-510-5210-00 | MEDICARE | 825.00 | 825.00 | 58.97 | 58.97 | 0.00 | 766.03 |
| 100-510-5220-00 | WORKERS' COMPENSATION | 1,000.00 | 1,000.00 | 0.55 | 0.55 | 0.00 | 999.45 |
| 100-510-5230-00 | INSURANCE PREMIUMS | 29,000.00 | 29,000.00 | 2,804.57 | 2,804.57 | 24,329.02 | 1,866.41 |
| 100-510-5240-00 | TRAVEL/TRANSPORTATION | 500.00 | 500.00 | 0.00 | 0.00 | 0.00 | 500.00 |
| 100-510-5250-00 | UNIFORMS/LICENSES | 150.00 | 150.00 | 0.00 | 0.00 | 0.00 | 150.00 |
| 100-510-5320-00 | PROFESSIONAL SERVICES | 14,000.00 | 15,124.90 | 1,023.30 | 1,023.30 | 13,251.60 | 850.00 |
| 100-510-5325-00 | TRAINING/EDUCATION | 600.00 | 600.00 | 0.00 | 0.00 | 300.00 | 300.00 |
| 100-510-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 800.00 | 800.00 | 50.00 | 50.00 | 750.00 | 0.00 |
| 100-510-5400-00 | OFFICE SUPPLIES AND MATERIALS | 3,000.00 | 3,000.00 | 0.00 | 0.00 | 2,065.00 | 935.00 |
| 100-510-5500-00 | CAPITAL OUTLAY | 1,500.00 | 1,500.00 | 0.00 | 0.00 | 0.00 | 1,500.00 |
| 100-520-5100-00 | REGULAR SALARIES | 160,900.00 | 160,900.00 | 12,200.02 | 12,200.02 | 0.00 | 148,699.98 |
| 100-520-5200-00 | PERS | 22,500.00 | 22,500.00 | 1,680.05 | 1,680.05 | 0.00 | 20,819.95 |
| 100-520-5210-00 | MEDICARE | 2,350.00 | 2,350.00 | 170.95 | 170.95 | 0.00 | 2,179.05 |
| 100-520-5220-00 | WORKERS' COMPENSATION | 2,800.00 | 2,800.00 | 1.31 | 1.31 | 0.00 | 2,798.69 |
| 100-520-5230-00 | INSURANCE PREMIUMS | 58,000.00 | 58,000.00 | 5,609.14 | 5,609.14 | 48,658.04 | 3,732.82 |
| 100-520-5240-00 | TRAVEL/TRANSPORTATION | 1,200.00 | 1,200.00 | 0.00 | 0.00 | 0.00 | 1,200.00 |
| 100-520-5250-00 | UNIFORMS/LICENSES | 300.00 | 300.00 | 0.00 | 0.00 | 0.00 | 300.00 |
| 100-520-5320-00 | PROFESSIONAL SERVICES | 10,000.00 | 10,000.00 | 0.00 | 0.00 | 1,680.50 | 8,319.50 |
| 100-520-5325-00 | TRAINING/EDUCATION | 2,000.00 | 2,000.00 | 0.00 | 0.00 | 1,275.00 | 725.00 |
| 100-520-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 1,000.00 | 1,100.00 | 0.00 | 0.00 | 635.00 | 465.00 |
| 100-520-5349-00 | MISCELLANEOUS CONTRACT SERVICES | 30,000.00 | 32,452.30 | 984.46 | 984.46 | 15,592.84 | 15,875.00 |
| 100-520-5400-00 | OFFICE SUPPLIES AND MATERIALS | 1,500.00 | 1,568.00 | 0.00 | 0.00 | 468.00 | 1,100.00 |
| 100-520-5500-00 | CAPITAL OUTLAY | 1,400.00 | 1,400.00 | 0.00 | 0.00 | 0.00 | 1,400.00 |
| 100-521-5100-00 | REGULAR SALARIES | 41,900.00 | 41,900.00 | 4,141.17 | 4,141.17 | 0.00 | 37,758.83 |
| 100-521-5200-00 | PERS | 5,700.00 | 5,700.00 | 579.77 | 579.77 | 0.00 | 5,120.23 |
| 100-521-5210-00 | MEDICARE | 600.00 | 600.00 | 60.05 | 60.05 | 0.00 | 539.95 |
| 100-521-5220-00 | WORKERS' COMPENSATION | 750.00 | 750.00 | 0.56 | 0.56 | 0.00 | 749.44 |
| 100-521-5230-00 | INSURANCE PREMIUMS | 8,500.00 | 8,500.00 | 12.00 | 12.00 | 270.50 | 8,217.50 |
| 100-521-5240-00 | TRAVEL/TRANSPORTATION | 1,500.00 | 1,585.92 | 77.72 | 77.72 | 385.92 | 1,122.28 |

User: ajackson

DB: Canal Winchester

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|-------------------------|---------------------------------|--------------------|------------------------|--------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 100 - GENERAL FUND | | | | | | | |
| Expenditures | | | | | | | |
| 100-521-5250-00 | UNIFORMS/LICENSES | 100.00 | 100.00 | 0.00 | 0.00 | 0.00 | 100.00 |
| 100-521-5320-00 | PROFESSIONAL SERVICES | 1,000.00 | 1,000.00 | 0.00 | 0.00 | 0.00 | 1,000.00 |
| 100-521-5325-00 | TRAINING/EDUCATION | 2,000.00 | 2,000.00 | 0.00 | 0.00 | 50.00 | 1,950.00 |
| 100-521-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 1,200.00 | 1,200.00 | 0.00 | 0.00 | 50.00 | 1,150.00 |
| 100-521-5349-00 | MISCELLANEOUS CONTRACT SERVICES | 8,000.00 | 8,750.00 | 300.00 | 300.00 | 5,950.00 | 2,500.00 |
| 100-521-5400-00 | OFFICE SUPPLIES AND MATERIALS | 300.00 | 300.00 | 0.00 | 0.00 | 50.00 | 250.00 |
| 100-521-5500-00 | CAPITAL OUTLAY | 1,200.00 | 1,200.00 | 0.00 | 0.00 | 0.00 | 1,200.00 |
| 100-530-5100-00 | REGULAR SALARIES | 59,900.00 | 59,900.00 | 4,310.40 | 4,310.40 | 0.00 | 55,589.60 |
| 100-530-5110-00 | OVERTIME SALARIES | 3,600.00 | 3,600.00 | 0.00 | 0.00 | 0.00 | 3,600.00 |
| 100-530-5200-00 | PERS | 8,775.00 | 8,775.00 | 603.46 | 603.46 | 0.00 | 8,171.54 |
| 100-530-5210-00 | MEDICARE | 925.00 | 925.00 | 67.02 | 67.02 | 0.00 | 857.98 |
| 100-530-5220-00 | WORKERS' COMPENSATION | 1,100.00 | 1,100.00 | 0.33 | 0.33 | 0.00 | 1,099.67 |
| 100-530-5230-00 | INSURANCE PREMIUMS | 29,000.00 | 29,000.00 | 2,804.57 | 2,804.57 | 24,249.02 | 1,946.41 |
| 100-530-5240-00 | TRAVEL/TRANSPORTATION | 50.00 | 50.00 | 0.00 | 0.00 | 0.00 | 50.00 |
| 100-530-5250-00 | UNIFORMS/LICENSES | 600.00 | 600.00 | 400.00 | 400.00 | 0.00 | 200.00 |
| 100-530-5325-00 | TRAINING/EDUCATION | 500.00 | 500.00 | 0.00 | 0.00 | 0.00 | 500.00 |
| 100-530-5340-00 | OTHER CONTRACT SERVICES | 7,500.00 | 12,400.00 | 0.00 | 0.00 | 5,455.00 | 6,945.00 |
| 100-530-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 500.00 | 500.00 | 0.00 | 0.00 | 365.00 | 135.00 |
| 100-530-5349-00 | MISCELLANEOUS CONTRACT SERVICES | 7,500.00 | 12,500.00 | 0.00 | 0.00 | 5,000.00 | 7,500.00 |
| 100-530-5400-00 | OFFICE SUPPLIES AND MATERIALS | 1,000.00 | 1,000.00 | 0.00 | 0.00 | 350.00 | 650.00 |
| 100-530-5410-00 | OPERATION AND MAINTENANCE | 5,000.00 | 5,912.67 | 424.69 | 424.69 | 3,337.98 | 2,150.00 |
| 100-530-5500-00 | CAPITAL OUTLAY | 25,000.00 | 25,000.00 | 0.00 | 0.00 | 0.00 | 25,000.00 |
| 100-531-5411-00 | FUEL | 20,000.00 | 20,752.49 | 0.00 | 0.00 | 15,752.49 | 5,000.00 |
| 100-531-5420-00 | FLEET OPERATION AND MAINTENANCE | 15,000.00 | 17,009.34 | 644.61 | 644.61 | 6,321.68 | 10,043.05 |
| 100-531-5500-00 | CAPITAL OUTLAY | 8,000.00 | 8,000.00 | 0.00 | 0.00 | 0.00 | 8,000.00 |
| 100-540-5100-00 | REGULAR SALARIES | 102,900.00 | 102,900.00 | 7,764.80 | 7,764.80 | 0.00 | 95,135.20 |
| 100-540-5110-00 | OVERTIME SALARIES | 6,200.00 | 6,200.00 | 0.00 | 0.00 | 0.00 | 6,200.00 |
| 100-540-5200-00 | PERS | 15,200.00 | 15,200.00 | 1,087.08 | 1,087.08 | 0.00 | 14,112.92 |
| 100-540-5210-00 | MEDICARE | 1,600.00 | 1,600.00 | 126.07 | 126.07 | 0.00 | 1,473.93 |
| 100-540-5220-00 | WORKERS' COMPENSATION | 1,900.00 | 1,900.00 | 0.52 | 0.52 | 0.00 | 1,899.48 |
| 100-540-5230-00 | INSURANCE PREMIUMS | 34,000.00 | 34,000.00 | 3,204.03 | 3,204.03 | 24,419.52 | 6,376.45 |
| 100-540-5240-00 | TRAVEL/TRANSPORTATION | 100.00 | 100.00 | 0.00 | 0.00 | 0.00 | 100.00 |
| 100-540-5250-00 | UNIFORMS/LICENSES | 1,200.00 | 1,200.00 | 800.00 | 800.00 | 0.00 | 400.00 |
| 100-540-5300-00 | UTILITIES | 280,000.00 | 315,586.91 | 16,492.47 | 16,492.47 | 286,164.55 | 12,929.89 |
| 100-540-5325-00 | TRAINING/EDUCATION | 500.00 | 500.00 | 0.00 | 0.00 | 30.00 | 470.00 |
| 100-540-5340-00 | OTHER CONTRACT SERVICES | 35,000.00 | 52,205.00 | 10,118.64 | 10,118.64 | 17,029.00 | 25,057.36 |
| 100-540-5349-00 | MISCELLANEOUS CONTRACT SERVICES | 37,000.00 | 40,550.00 | 1,275.00 | 1,275.00 | 24,025.00 | 15,250.00 |
| 100-540-5400-00 | OFFICE SUPPLIES AND MATERIALS | 44,000.00 | 44,748.58 | 159.64 | 159.64 | 7,513.94 | 37,075.00 |
| 100-540-5410-00 | OPERATION AND MAINTENANCE | 25,000.00 | 27,123.01 | 745.05 | 745.05 | 6,588.84 | 19,789.12 |
| 100-540-5431-00 | FLAGS/BANNERS/SIGNS | 15,000.00 | 20,500.00 | 0.00 | 0.00 | 5,500.00 | 15,000.00 |
| 100-540-5500-00 | CAPITAL OUTLAY | 50,000.00 | 82,636.32 | 159.99 | 159.99 | 37,456.33 | 45,020.00 |
| 100-540-5510-00 | TECHNOLOGY CAPITAL OUTLAY | 55,000.00 | 72,978.01 | 0.00 | 0.00 | 40,364.75 | 32,613.26 |
| 100-550-5100-00 | REGULAR SALARIES | 51,900.00 | 51,900.00 | 3,867.20 | 3,867.20 | 0.00 | 48,032.80 |
| 100-550-5110-00 | OVERTIME SALARIES | 1,000.00 | 1,000.00 | 0.00 | 0.00 | 0.00 | 1,000.00 |
| 100-550-5200-00 | PERS | 7,300.00 | 7,300.00 | 541.40 | 541.40 | 0.00 | 6,758.60 |
| 100-550-5210-00 | MEDICARE | 775.00 | 775.00 | 53.17 | 53.17 | 0.00 | 721.83 |
| 100-550-5220-00 | WORKERS' COMPENSATION | 900.00 | 900.00 | 0.24 | 0.24 | 0.00 | 899.76 |
| 100-550-5230-00 | INSURANCE PREMIUMS | 29,000.00 | 29,000.00 | 2,804.57 | 2,804.57 | 24,329.02 | 1,866.41 |
| 100-550-5240-00 | TRAVEL/TRANSPORTATION | 1,000.00 | 1,000.00 | 0.00 | 0.00 | 0.00 | 1,000.00 |
| 100-550-5250-00 | UNIFORMS/LICENSES | 150.00 | 150.00 | 0.00 | 0.00 | 0.00 | 150.00 |
| 100-550-5325-00 | TRAINING/EDUCATION | 3,000.00 | 3,000.00 | 0.00 | 0.00 | 0.00 | 3,000.00 |
| 100-550-5327-00 | COMMUNITY NEWSLETTER | 5,000.00 | 6,129.23 | 0.00 | 0.00 | 4,329.23 | 1,800.00 |
| 100-550-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 1,000.00 | 1,000.00 | 0.00 | 0.00 | 280.00 | 720.00 |
| 100-550-5400-00 | OFFICE SUPPLIES AND MATERIALS | 1,500.00 | 1,500.00 | 0.00 | 0.00 | 500.00 | 1,000.00 |
| 100-550-5500-00 | CAPITAL OUTLAY | 1,200.00 | 1,200.00 | 0.00 | 0.00 | 0.00 | 1,200.00 |
| 100-551-5349-00 | MISCELLANEOUS CONTRACT SERVICES | 20,000.00 | 20,544.00 | 1,281.00 | 1,281.00 | 2,313.00 | 16,950.00 |

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|--------------------------------|-------------------------------------|--------------------|------------------------|-----------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 100 - GENERAL FUND | | | | | | | |
| Expenditures | | | | | | | |
| 100-551-5400-00 | OFFICE SUPPLIES AND MATERIALS | 1,000.00 | 1,150.00 | 121.94 | 121.94 | 28.06 | 1,000.00 |
| 100-551-5500-00 | CAPITAL OUTLAY | 1,300.00 | 1,300.00 | 0.00 | 0.00 | 0.00 | 1,300.00 |
| 100-560-5100-00 | REGULAR SALARIES | 98,900.00 | 98,900.00 | 7,225.60 | 7,225.60 | 0.00 | 91,674.40 |
| 100-560-5200-00 | PERS | 14,000.00 | 14,000.00 | 983.58 | 983.58 | 0.00 | 13,016.42 |
| 100-560-5210-00 | MEDICARE | 1,500.00 | 1,500.00 | 103.93 | 103.93 | 0.00 | 1,396.07 |
| 100-560-5220-00 | WORKERS' COMPENSATION | 1,750.00 | 1,750.00 | 0.50 | 0.50 | 0.00 | 1,749.50 |
| 100-560-5230-00 | INSURANCE PREMIUMS | 29,100.00 | 29,100.00 | 2,804.57 | 2,804.57 | 24,249.02 | 2,046.41 |
| 100-560-5240-00 | TRAVEL/TRANSPORTATION | 1,500.00 | 1,500.00 | 0.00 | 0.00 | 9.00 | 1,491.00 |
| 100-560-5250-00 | UNIFORMS/LICENSES | 350.00 | 350.00 | 200.00 | 200.00 | 0.00 | 150.00 |
| 100-560-5320-00 | PROFESSIONAL SERVICES | 15,000.00 | 17,620.00 | 1,155.00 | 1,155.00 | 2,500.00 | 13,965.00 |
| 100-560-5325-00 | TRAINING/EDUCATION | 7,000.00 | 7,000.00 | 0.00 | 0.00 | 0.00 | 7,000.00 |
| 100-560-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 3,000.00 | 3,647.19 | 297.12 | 297.12 | 2,350.07 | 1,000.00 |
| 100-560-5400-00 | OFFICE SUPPLIES AND MATERIALS | 2,000.00 | 2,003.14 | (5.36) | (5.36) | 58.50 | 1,950.00 |
| 100-560-5410-00 | OPERATION AND MAINTENANCE | 3,000.00 | 3,299.85 | 202.99 | 202.99 | 1,596.86 | 1,500.00 |
| 100-560-5500-00 | CAPITAL OUTLAY | 3,000.00 | 5,642.00 | 985.00 | 985.00 | 1,657.00 | 3,000.00 |
| 100-570-5310-00 | COMMUNICATIONS/PRINTING/ADVERTISING | 30,000.00 | 30,752.85 | 1,187.92 | 1,187.92 | 21,271.72 | 8,293.21 |
| 100-570-5320-00 | PROFESSIONAL SERVICES | 225,000.00 | 249,206.76 | 0.00 | 0.00 | 225,206.76 | 24,000.00 |
| 100-570-5322-00 | INCOME TAX COLLECTION FEES | 220,000.00 | 220,000.00 | 18,966.08 | 18,966.08 | 0.00 | 201,033.92 |
| 100-570-5323-00 | COUNTY AUDITOR/TREASURER FEES | 20,000.00 | 20,000.00 | 0.00 | 0.00 | 0.00 | 20,000.00 |
| 100-570-5324-00 | ELECTION EXPENSES | 5,000.00 | 5,000.00 | 0.00 | 0.00 | 0.00 | 5,000.00 |
| 100-570-5343-00 | CANAL WINCHESTER HISTORICAL SOCIETY | 8,000.00 | 12,000.00 | 0.00 | 0.00 | 12,000.00 | 0.00 |
| 100-570-5343-01 | NATIONAL BARBER MUSEUM | 3,600.00 | 3,600.00 | 0.00 | 0.00 | 0.00 | 3,600.00 |
| 100-570-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 50,000.00 | 53,401.90 | 3,401.90 | 3,401.90 | 9,205.00 | 40,795.00 |
| 100-570-5347-00 | PAYMENT TO POLITICAL SUBDIVISION | 675,000.00 | 712,381.85 | 52,081.43 | 52,081.43 | 615,556.96 | 44,743.46 |
| 100-570-5601-00 | LEASE PRINCIPAL | 84,000.00 | 84,000.00 | 0.00 | 0.00 | 81,485.87 | 2,514.13 |
| 100-570-5611-00 | LEASE INTEREST | 17,500.00 | 17,500.00 | 0.00 | 0.00 | 17,500.00 | 0.00 |
| 100-570-5700-00 | TRANSFER OUT | 1,188,000.00 | 1,188,000.00 | 113,000.00 | 113,000.00 | 0.00 | 1,075,000.00 |
| 100-570-5800-00 | ADVANCES OUT | 500,000.00 | 500,000.00 | 0.00 | 0.00 | 0.00 | 500,000.00 |
| 100-600-5100-00 | REGULAR SALARIES | 133,900.00 | 133,900.00 | 10,173.60 | 10,173.60 | 0.00 | 123,726.40 |
| 100-600-5200-00 | PERS | 19,000.00 | 19,000.00 | 1,368.30 | 1,368.30 | 0.00 | 17,631.70 |
| 100-600-5210-00 | MEDICARE | 2,000.00 | 2,000.00 | 148.66 | 148.66 | 0.00 | 1,851.34 |
| 100-600-5220-00 | WORKERS' COMPENSATION | 2,300.00 | 2,300.00 | 0.71 | 0.71 | 0.00 | 2,299.29 |
| 100-600-5230-00 | INSURANCE PREMIUMS | 31,100.00 | 31,100.00 | 3,004.30 | 3,004.30 | 24,459.28 | 3,636.42 |
| 100-600-5240-00 | TRAVEL/TRANSPORTATION | 100.00 | 100.00 | 0.00 | 0.00 | 0.00 | 100.00 |
| 100-600-5250-00 | UNIFORMS/LICENSES | 650.00 | 650.00 | 0.00 | 0.00 | 0.00 | 650.00 |
| 100-600-5320-00 | PROFESSIONAL SERVICES | 175,000.00 | 250,464.60 | 27,704.68 | 27,704.68 | 143,219.92 | 79,540.00 |
| 100-600-5320-01 | CONSTRUCTION PROFESSIONAL SERVICES | 275,000.00 | 360,522.93 | 19,650.83 | 19,650.83 | 89,287.10 | 251,585.00 |
| 100-600-5325-00 | TRAINING/EDUCATION | 1,000.00 | 1,000.00 | 0.00 | 0.00 | 200.00 | 800.00 |
| 100-600-5349-00 | MISCELLANEOUS CONTRACT SERVICES | 1,000.00 | 1,000.00 | 0.00 | 0.00 | 100.00 | 900.00 |
| 100-600-5400-00 | OFFICE SUPPLIES AND MATERIALS | 1,000.00 | 1,000.00 | 0.00 | 0.00 | 450.00 | 550.00 |
| 100-600-5500-00 | CAPITAL OUTLAY | 1,000.00 | 1,000.00 | 0.00 | 0.00 | 0.00 | 1,000.00 |
| 100-600-5501-00 | CONSTRUCTION CAPITAL OUTLAY | 1,000,000.00 | 1,066,329.00 | 0.00 | 0.00 | 66,329.00 | 1,000,000.00 |
| 100-603-5340-00 | OTHER CONTRACT SERVICES | 25,000.00 | 28,958.00 | 1,328.33 | 1,328.33 | 13,538.00 | 14,091.67 |
| 100-603-5410-00 | OPERATION AND MAINTENANCE | 5,000.00 | 5,000.00 | 118.32 | 118.32 | 681.68 | 4,200.00 |
| 100-603-5500-00 | CAPITAL OUTLAY | 40,000.00 | 45,500.00 | 0.00 | 0.00 | 5,500.00 | 40,000.00 |
| TOTAL EXPENDITURES | | 10,098,375.00 | 10,799,230.82 | 625,644.02 | 625,644.02 | 3,970,426.82 | 6,203,159.98 |
| TOTAL REVENUES | | 9,929,050.00 | 9,929,050.00 | 772,034.67 | 772,034.67 | 0.00 | 9,157,015.33 |
| TOTAL EXPENDITURES | | 10,098,375.00 | 10,799,230.82 | 625,644.02 | 625,644.02 | 3,970,426.82 | 6,203,159.98 |
| NET OF REVENUES & EXPENDITURES | | (169,325.00) | (870,180.82) | 146,390.65 | 146,390.65 | (3,970,426.82) | 2,953,855.35 |
| BEG. FUND BALANCE | | 10,567,770.00 | 10,567,770.00 | | 10,567,770.00 | | |
| END FUND BALANCE | | 10,398,445.00 | 9,697,589.18 | | 10,714,160.65 | | |

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|--------------------------------|---------------------------------|--------------------|------------------------|-----------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 200 - STREET MAINTENANCE | | | | | | | |
| Revenues | | | | | | | |
| 200-000-4322-00 | AUTO LICENSE TAX | 66,600.00 | 66,600.00 | 4,450.42 | 4,450.42 | 0.00 | 62,149.58 |
| 200-000-4323-00 | GASOLINE TAX | 500,000.00 | 500,000.00 | 37,532.61 | 37,532.61 | 0.00 | 462,467.39 |
| 200-000-4700-00 | INTEREST | 7,500.00 | 7,500.00 | 0.00 | 0.00 | 0.00 | 7,500.00 |
| 200-000-4810-00 | MISCELLANEOUS | 2,000.00 | 2,000.00 | 23.98 | 23.98 | 0.00 | 1,976.02 |
| TOTAL REVENUES | | 576,100.00 | 576,100.00 | 42,007.01 | 42,007.01 | 0.00 | 534,092.99 |
| Expenditures | | | | | | | |
| 200-601-5100-00 | REGULAR SALARIES | 194,000.00 | 194,000.00 | 10,911.21 | 10,911.21 | 0.00 | 183,088.79 |
| 200-601-5110-00 | OVERTIME SALARIES | 4,300.00 | 4,300.00 | 0.00 | 0.00 | 0.00 | 4,300.00 |
| 200-601-5200-00 | PERS | 28,000.00 | 28,000.00 | 1,499.57 | 1,499.57 | 0.00 | 26,500.43 |
| 200-601-5210-00 | MEDICARE | 2,500.00 | 2,500.00 | 163.00 | 163.00 | 0.00 | 2,337.00 |
| 200-601-5220-00 | WORKERS' COMPENSATION | 3,500.00 | 3,500.00 | 0.78 | 0.78 | 0.00 | 3,499.22 |
| 200-601-5230-00 | INSURANCE PREMIUMS | 80,000.00 | 80,000.00 | 5,788.60 | 5,788.60 | 48,498.10 | 25,713.30 |
| 200-601-5240-00 | TRAVEL/TRANSPORTATION | 750.00 | 750.00 | 0.00 | 0.00 | 0.00 | 750.00 |
| 200-601-5250-00 | UNIFORMS/LICENSES | 1,250.00 | 1,250.00 | 600.00 | 600.00 | 0.00 | 650.00 |
| 200-601-5325-00 | TRAINING/EDUCATION | 1,500.00 | 1,500.00 | 0.00 | 0.00 | 30.00 | 1,470.00 |
| 200-601-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 1,500.00 | 1,500.00 | 0.00 | 0.00 | 750.00 | 750.00 |
| 200-601-5400-00 | OFFICE SUPPLIES AND MATERIALS | 3,000.00 | 3,000.00 | 0.00 | 0.00 | 300.00 | 2,700.00 |
| 200-601-5500-00 | CAPITAL OUTLAY | 4,000.00 | 6,627.00 | 985.00 | 985.00 | 1,642.00 | 4,000.00 |
| 200-602-5340-00 | OTHER CONTRACT SERVICES | 10,000.00 | 10,000.00 | 0.00 | 0.00 | 0.00 | 10,000.00 |
| 200-602-5410-00 | OPERATION AND MAINTENANCE | 10,000.00 | 11,500.00 | 0.00 | 0.00 | 1,500.00 | 10,000.00 |
| 200-602-5411-00 | FUEL | 18,000.00 | 18,845.64 | 0.00 | 0.00 | 12,845.64 | 6,000.00 |
| 200-602-5420-00 | FLEET OPERATION AND MAINTENANCE | 15,000.00 | 15,664.43 | 779.15 | 779.15 | 7,735.28 | 7,150.00 |
| 200-602-5500-00 | CAPITAL OUTLAY | 7,000.00 | 7,600.00 | 426.73 | 426.73 | 173.27 | 7,000.00 |
| 200-602-5600-00 | DEBT PRINCIPAL | 143,000.00 | 143,000.00 | 143,000.00 | 143,000.00 | 0.00 | 0.00 |
| 200-602-5601-00 | LEASE PRINCIPAL | 15,000.00 | 15,000.00 | 0.00 | 0.00 | 8,933.25 | 6,066.75 |
| 200-602-5610-00 | DEBT INTEREST | 7,650.00 | 7,650.00 | 7,650.00 | 7,650.00 | 0.00 | 0.00 |
| 200-602-5611-00 | LEASE INTEREST | 1,500.00 | 1,500.00 | 0.00 | 0.00 | 616.86 | 883.14 |
| 200-603-5352-00 | GIS | 4,500.00 | 4,500.00 | 0.00 | 0.00 | 0.00 | 4,500.00 |
| 200-603-5410-00 | OPERATION AND MAINTENANCE | 30,000.00 | 46,199.85 | 8,463.86 | 8,463.86 | 20,119.25 | 17,616.74 |
| 200-603-5500-00 | CAPITAL OUTLAY | 15,000.00 | 25,055.50 | 1,963.95 | 1,963.95 | 8,091.55 | 15,000.00 |
| 200-604-5410-00 | OPERATION AND MAINTENANCE | 35,000.00 | 36,000.00 | 164.90 | 164.90 | 29,978.60 | 5,856.50 |
| 200-604-5500-00 | CAPITAL OUTLAY | 8,000.00 | 8,000.00 | 0.00 | 0.00 | 0.00 | 8,000.00 |
| TOTAL EXPENDITURES | | 643,950.00 | 677,442.42 | 182,396.75 | 182,396.75 | 141,213.80 | 353,831.87 |
| TOTAL REVENUES | | 576,100.00 | 576,100.00 | 42,007.01 | 42,007.01 | 0.00 | 534,092.99 |
| TOTAL EXPENDITURES | | 643,950.00 | 677,442.42 | 182,396.75 | 182,396.75 | 141,213.80 | 353,831.87 |
| NET OF REVENUES & EXPENDITURES | | (67,850.00) | (101,342.42) | (140,389.74) | (140,389.74) | (141,213.80) | 180,261.12 |
| BEG. FUND BALANCE | | 587,786.87 | 587,786.87 | | 587,786.87 | | |
| END FUND BALANCE | | 519,936.87 | 486,444.45 | | 447,397.13 | | |
| Fund 201 - STATE HIGHWAY | | | | | | | |
| Revenues | | | | | | | |
| 201-000-4322-00 | AUTO LICENSE TAX | 5,300.00 | 5,300.00 | 360.84 | 360.84 | 0.00 | 4,939.16 |
| 201-000-4323-00 | GASOLINE TAX | 40,000.00 | 40,000.00 | 3,043.19 | 3,043.19 | 0.00 | 36,956.81 |
| 201-000-4700-00 | INTEREST | 1,000.00 | 1,000.00 | 0.00 | 0.00 | 0.00 | 1,000.00 |
| TOTAL REVENUES | | 46,300.00 | 46,300.00 | 3,404.03 | 3,404.03 | 0.00 | 42,895.97 |

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|--------------------------------|-------------------------------|--------------------|------------------------|-----------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 201 - STATE HIGHWAY | | | | | | | |
| Expenditures | | | | | | | |
| 201-603-5340-00 | OTHER CONTRACT SERVICES | 5,000.00 | 6,000.00 | 1,328.32 | 1,328.32 | 4,000.00 | 671.68 |
| 201-603-5410-00 | OPERATION AND MAINTENANCE | 15,000.00 | 20,000.00 | 4,909.88 | 4,909.88 | 90.12 | 15,000.00 |
| 201-603-5500-00 | CAPITAL OUTLAY | 5,000.00 | 7,000.00 | 1,963.95 | 1,963.95 | 36.05 | 5,000.00 |
| 201-603-5601-00 | LEASE PRINCIPAL | 10,000.00 | 10,000.00 | 0.00 | 0.00 | 0.00 | 10,000.00 |
| 201-603-5611-00 | LEASE INTEREST | 1,250.00 | 1,250.00 | 0.00 | 0.00 | 0.00 | 1,250.00 |
| TOTAL EXPENDITURES | | 36,250.00 | 44,250.00 | 8,202.15 | 8,202.15 | 4,126.17 | 31,921.68 |
| TOTAL REVENUES | | 46,300.00 | 46,300.00 | 3,404.03 | 3,404.03 | 0.00 | 42,895.97 |
| TOTAL EXPENDITURES | | 36,250.00 | 44,250.00 | 8,202.15 | 8,202.15 | 4,126.17 | 31,921.68 |
| NET OF REVENUES & EXPENDITURES | | 10,050.00 | 2,050.00 | (4,798.12) | (4,798.12) | (4,126.17) | 10,974.29 |
| BEG. FUND BALANCE | | 104,484.09 | 104,484.09 | | 104,484.09 | | |
| END FUND BALANCE | | 114,534.09 | 106,534.09 | | 99,685.97 | | |
| Fund 202 - COURT TECH FUND A | | | | | | | |
| Revenues | | | | | | | |
| 202-000-4691-00 | COMPUTER FEE | 2,000.00 | 2,000.00 | 148.00 | 148.00 | 0.00 | 1,852.00 |
| TOTAL REVENUES | | 2,000.00 | 2,000.00 | 148.00 | 148.00 | 0.00 | 1,852.00 |
| Expenditures | | | | | | | |
| 202-510-5340-00 | OTHER CONTRACT SERVICES | 1,400.00 | 1,400.00 | 910.00 | 910.00 | 140.00 | 350.00 |
| 202-510-5400-00 | OFFICE SUPPLIES AND MATERIALS | 600.00 | 750.00 | 0.00 | 0.00 | 150.00 | 600.00 |
| 202-510-5500-00 | CAPITAL OUTLAY | 1,500.00 | 1,500.00 | 0.00 | 0.00 | 0.00 | 1,500.00 |
| TOTAL EXPENDITURES | | 3,500.00 | 3,650.00 | 910.00 | 910.00 | 290.00 | 2,450.00 |
| TOTAL REVENUES | | 2,000.00 | 2,000.00 | 148.00 | 148.00 | 0.00 | 1,852.00 |
| TOTAL EXPENDITURES | | 3,500.00 | 3,650.00 | 910.00 | 910.00 | 290.00 | 2,450.00 |
| NET OF REVENUES & EXPENDITURES | | (1,500.00) | (1,650.00) | (762.00) | (762.00) | (290.00) | (598.00) |
| BEG. FUND BALANCE | | 22,842.98 | 22,842.98 | | 22,842.98 | | |
| END FUND BALANCE | | 21,342.98 | 21,192.98 | | 22,080.98 | | |
| Fund 203 - COURT TECH FUND B | | | | | | | |
| Revenues | | | | | | | |
| 203-000-4691-00 | COMPUTER FEE | 6,000.00 | 6,000.00 | 500.00 | 500.00 | 0.00 | 5,500.00 |
| TOTAL REVENUES | | 6,000.00 | 6,000.00 | 500.00 | 500.00 | 0.00 | 5,500.00 |
| Expenditures | | | | | | | |
| 203-510-5340-00 | OTHER CONTRACT SERVICES | 1,400.00 | 1,400.00 | 910.00 | 910.00 | 140.00 | 350.00 |
| 203-510-5400-00 | OFFICE SUPPLIES AND MATERIALS | 600.00 | 750.00 | 0.00 | 0.00 | 150.00 | 600.00 |
| 203-510-5500-00 | CAPITAL OUTLAY | 1,500.00 | 1,500.00 | 0.00 | 0.00 | 0.00 | 1,500.00 |
| TOTAL EXPENDITURES | | 3,500.00 | 3,650.00 | 910.00 | 910.00 | 290.00 | 2,450.00 |
| TOTAL REVENUES | | 6,000.00 | 6,000.00 | 500.00 | 500.00 | 0.00 | 5,500.00 |

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|----------------------------------|------------------------------------|--------------------|------------------------|-----------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 203 - COURT TECH FUND B | | | | | | | |
| TOTAL EXPENDITURES | | 3,500.00 | 3,650.00 | 910.00 | 910.00 | 290.00 | 2,450.00 |
| NET OF REVENUES & EXPENDITURES | | 2,500.00 | 2,350.00 | (410.00) | (410.00) | (290.00) | 3,050.00 |
| BEG. FUND BALANCE | | 19,379.33 | 19,379.33 | | 19,379.33 | | |
| END FUND BALANCE | | 21,879.33 | 21,729.33 | | 18,969.33 | | |
| Fund 204 - PERMISSIVE TAX | | | | | | | |
| Revenues | | | | | | | |
| 204-000-4324-00 | PERMISSIVE AUTO LICENSE TAX | 65,000.00 | 65,000.00 | 5,273.33 | 5,273.33 | 0.00 | 59,726.67 |
| TOTAL REVENUES | | 65,000.00 | 65,000.00 | 5,273.33 | 5,273.33 | 0.00 | 59,726.67 |
| Expenditures | | | | | | | |
| 204-603-5340-00 | OTHER CONTRACT SERVICES | 9,000.00 | 10,000.00 | 1,328.32 | 1,328.32 | 4,000.00 | 4,671.68 |
| 204-603-5410-00 | OPERATION AND MAINTENANCE | 6,300.00 | 6,300.00 | 0.00 | 0.00 | 0.00 | 6,300.00 |
| 204-603-5500-00 | CAPITAL OUTLAY | 10,000.00 | 10,000.00 | 0.00 | 0.00 | 0.00 | 10,000.00 |
| 204-603-5601-00 | LEASE PRINCIPAL | 38,000.00 | 38,000.00 | 0.00 | 0.00 | 37,825.08 | 174.92 |
| 204-603-5611-00 | LEASE INTEREST | 1,700.00 | 1,700.00 | 0.00 | 0.00 | 1,675.14 | 24.86 |
| TOTAL EXPENDITURES | | 65,000.00 | 66,000.00 | 1,328.32 | 1,328.32 | 43,500.22 | 21,171.46 |
| TOTAL REVENUES | | 65,000.00 | 65,000.00 | 5,273.33 | 5,273.33 | 0.00 | 59,726.67 |
| TOTAL EXPENDITURES | | 65,000.00 | 66,000.00 | 1,328.32 | 1,328.32 | 43,500.22 | 21,171.46 |
| NET OF REVENUES & EXPENDITURES | | 0.00 | (1,000.00) | 3,945.01 | 3,945.01 | (43,500.22) | 38,555.21 |
| BEG. FUND BALANCE | | 141,373.06 | 141,373.06 | | 141,373.06 | | |
| END FUND BALANCE | | 141,373.06 | 140,373.06 | | 145,318.07 | | |
| Fund 205 - BED TAX FUND | | | | | | | |
| Revenues | | | | | | | |
| 205-000-4220-00 | HOTEL/MOTEL TAX | 150,000.00 | 150,000.00 | 6,299.98 | 6,299.98 | 0.00 | 143,700.02 |
| TOTAL REVENUES | | 150,000.00 | 150,000.00 | 6,299.98 | 6,299.98 | 0.00 | 143,700.02 |
| Expenditures | | | | | | | |
| 205-501-5340-00 | OTHER CONTRACT SERVICES | 30,000.00 | 30,000.00 | 0.00 | 0.00 | 0.00 | 30,000.00 |
| 205-501-5351-00 | BED TAX GRANT | 45,000.00 | 46,000.00 | 28,800.00 | 28,800.00 | 3,000.00 | 14,200.00 |
| 205-570-5344-00 | DESTINATION: CANAL WINCHESTER | 75,000.00 | 80,000.00 | 0.00 | 0.00 | 80,000.00 | 0.00 |
| TOTAL EXPENDITURES | | 150,000.00 | 156,000.00 | 28,800.00 | 28,800.00 | 83,000.00 | 44,200.00 |
| TOTAL REVENUES | | 150,000.00 | 150,000.00 | 6,299.98 | 6,299.98 | 0.00 | 143,700.02 |
| TOTAL EXPENDITURES | | 150,000.00 | 156,000.00 | 28,800.00 | 28,800.00 | 83,000.00 | 44,200.00 |
| NET OF REVENUES & EXPENDITURES | | 0.00 | (6,000.00) | (22,500.02) | (22,500.02) | (83,000.00) | 99,500.02 |
| BEG. FUND BALANCE | | 170,445.58 | 170,445.58 | | 170,445.58 | | |
| END FUND BALANCE | | 170,445.58 | 164,445.58 | | 147,945.56 | | |
| Fund 209 - DILEY ROAD PITIE FUND | | | | | | | |
| Revenues | | | | | | | |
| 209-000-4200-00 | GENERAL PROPERTY TAX - REAL ESTATE | 200,000.00 | 200,000.00 | 0.00 | 0.00 | 0.00 | 200,000.00 |

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|----------------------------------|------------------------------------|--------------------|------------------------|-----------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 209 - DILEY ROAD PITIE FUND | | | | | | | |
| Revenues | | | | | | | |
| TOTAL REVENUES | | 200,000.00 | 200,000.00 | 0.00 | 0.00 | 0.00 | 200,000.00 |
| Expenditures | | | | | | | |
| 209-570-5323-00 | COUNTY AUDITOR/TREASURER FEES | 4,500.00 | 4,500.00 | 0.00 | 0.00 | 0.00 | 4,500.00 |
| TOTAL EXPENDITURES | | 4,500.00 | 4,500.00 | 0.00 | 0.00 | 0.00 | 4,500.00 |
| TOTAL REVENUES | | 200,000.00 | 200,000.00 | 0.00 | 0.00 | 0.00 | 200,000.00 |
| TOTAL EXPENDITURES | | 4,500.00 | 4,500.00 | 0.00 | 0.00 | 0.00 | 4,500.00 |
| NET OF REVENUES & EXPENDITURES | | 195,500.00 | 195,500.00 | 0.00 | 0.00 | 0.00 | 195,500.00 |
| BEG. FUND BALANCE | | 1,536,701.65 | 1,536,701.65 | | 1,536,701.65 | | |
| END FUND BALANCE | | 1,732,201.65 | 1,732,201.65 | | 1,536,701.65 | | |
| Fund 210 - GENDER ROAD TIF | | | | | | | |
| Revenues | | | | | | | |
| 210-000-4200-00 | GENERAL PROPERTY TAX - REAL ESTATE | 317,000.00 | 317,000.00 | 0.00 | 0.00 | 0.00 | 317,000.00 |
| TOTAL REVENUES | | 317,000.00 | 317,000.00 | 0.00 | 0.00 | 0.00 | 317,000.00 |
| Expenditures | | | | | | | |
| 210-570-5323-00 | COUNTY AUDITOR/TREASURER FEES | 5,500.00 | 5,500.00 | 0.00 | 0.00 | 0.00 | 5,500.00 |
| 210-570-5410-00 | OPERATION AND MAINTENANCE | 40,000.00 | 40,000.00 | 40,000.00 | 40,000.00 | 0.00 | 0.00 |
| 210-570-5800-00 | ADVANCES OUT | 40,000.00 | 40,000.00 | 0.00 | 0.00 | 0.00 | 40,000.00 |
| TOTAL EXPENDITURES | | 85,500.00 | 85,500.00 | 40,000.00 | 40,000.00 | 0.00 | 45,500.00 |
| TOTAL REVENUES | | 317,000.00 | 317,000.00 | 0.00 | 0.00 | 0.00 | 317,000.00 |
| TOTAL EXPENDITURES | | 85,500.00 | 85,500.00 | 40,000.00 | 40,000.00 | 0.00 | 45,500.00 |
| NET OF REVENUES & EXPENDITURES | | 231,500.00 | 231,500.00 | (40,000.00) | (40,000.00) | 0.00 | 271,500.00 |
| BEG. FUND BALANCE | | 336,889.63 | 336,889.63 | | 336,889.63 | | |
| END FUND BALANCE | | 568,389.63 | 568,389.63 | | 296,889.63 | | |
| Fund 211 - CEMETERY FUND | | | | | | | |
| Revenues | | | | | | | |
| 211-000-4541-00 | PERPETUAL CARE | 2,500.00 | 2,500.00 | 0.00 | 0.00 | 0.00 | 2,500.00 |
| TOTAL REVENUES | | 2,500.00 | 2,500.00 | 0.00 | 0.00 | 0.00 | 2,500.00 |
| TOTAL REVENUES | | 2,500.00 | 2,500.00 | 0.00 | 0.00 | 0.00 | 2,500.00 |
| TOTAL EXPENDITURES | | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| NET OF REVENUES & EXPENDITURES | | 2,500.00 | 2,500.00 | 0.00 | 0.00 | 0.00 | 2,500.00 |
| BEG. FUND BALANCE | | 15,721.71 | 15,721.71 | | 15,721.71 | | |
| END FUND BALANCE | | 18,221.71 | 18,221.71 | | 15,721.71 | | |
| Fund 212 - MCGILL PARK FUND | | | | | | | |
| Revenues | | | | | | | |
| 212-000-4820-00 | DONATIONS/CONTRIBUTIONS | 50,000.00 | 50,000.00 | 340,000.00 | 340,000.00 | 0.00 | (290,000.00) |

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|---|----------------|--------------------|------------------------|-----------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 212 - MCGILL PARK FUND | | | | | | | |
| Revenues | | | | | | | |
| TOTAL REVENUES | | 50,000.00 | 50,000.00 | 340,000.00 | 340,000.00 | 0.00 | (290,000.00) |
| TOTAL REVENUES | | 50,000.00 | 50,000.00 | 340,000.00 | 340,000.00 | 0.00 | (290,000.00) |
| TOTAL EXPENDITURES | | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| NET OF REVENUES & EXPENDITURES | | 50,000.00 | 50,000.00 | 340,000.00 | 340,000.00 | 0.00 | (290,000.00) |
| BEG. FUND BALANCE | | 162,510.00 | 162,510.00 | | 162,510.00 | | |
| END FUND BALANCE | | 212,510.00 | 212,510.00 | | 502,510.00 | | |
| Fund 300 - GENERAL OBLIGATION BONDS | | | | | | | |
| Revenues | | | | | | | |
| 300-000-4900-00 | TRANSFER IN | 885,000.00 | 885,000.00 | 259,529.66 | 259,529.66 | 0.00 | 625,470.34 |
| TOTAL REVENUES | | 885,000.00 | 885,000.00 | 259,529.66 | 259,529.66 | 0.00 | 625,470.34 |
| Expenditures | | | | | | | |
| 300-571-5600-00 | DEBT PRINCIPAL | 765,000.00 | 765,000.00 | 187,234.01 | 187,234.01 | 425,388.09 | 152,377.90 |
| 300-571-5610-00 | DEBT INTEREST | 120,000.00 | 120,000.00 | 59,529.66 | 59,529.66 | 49,442.00 | 11,028.34 |
| TOTAL EXPENDITURES | | 885,000.00 | 885,000.00 | 246,763.67 | 246,763.67 | 474,830.09 | 163,406.24 |
| TOTAL REVENUES | | 885,000.00 | 885,000.00 | 259,529.66 | 259,529.66 | 0.00 | 625,470.34 |
| TOTAL EXPENDITURES | | 885,000.00 | 885,000.00 | 246,763.67 | 246,763.67 | 474,830.09 | 163,406.24 |
| NET OF REVENUES & EXPENDITURES | | 0.00 | 0.00 | 12,765.99 | 12,765.99 | (474,830.09) | 462,064.10 |
| BEG. FUND BALANCE | | 58,567.70 | 58,567.70 | | 58,567.70 | | |
| END FUND BALANCE | | 58,567.70 | 58,567.70 | | 71,333.69 | | |
| Fund 400 - CAPITAL IMPROVEMENTS | | | | | | | |
| Revenues | | | | | | | |
| 400-700-4700-00 | INTEREST | 0.00 | 0.00 | 38.46 | 38.46 | 0.00 | (38.46) |
| TOTAL REVENUES | | 0.00 | 0.00 | 38.46 | 38.46 | 0.00 | (38.46) |
| Expenditures | | | | | | | |
| 400-700-5500-00 | CAPITAL OUTLAY | 0.00 | 4,350.00 | 0.00 | 0.00 | 4,350.00 | 0.00 |
| 400-700-5700-00 | TRANSFER OUT | 150,000.00 | 150,000.00 | 146,529.66 | 146,529.66 | 0.00 | 3,470.34 |
| TOTAL EXPENDITURES | | 150,000.00 | 154,350.00 | 146,529.66 | 146,529.66 | 4,350.00 | 3,470.34 |
| TOTAL REVENUES | | 0.00 | 0.00 | 38.46 | 38.46 | 0.00 | (38.46) |
| TOTAL EXPENDITURES | | 150,000.00 | 154,350.00 | 146,529.66 | 146,529.66 | 4,350.00 | 3,470.34 |
| NET OF REVENUES & EXPENDITURES | | (150,000.00) | (154,350.00) | (146,491.20) | (146,491.20) | (4,350.00) | (3,508.80) |
| BEG. FUND BALANCE | | 151,241.16 | 151,241.16 | | 151,241.16 | | |
| END FUND BALANCE | | 1,241.16 | (3,108.84) | | 4,749.96 | | |
| Fund 402 - STATE GRANT CAPITAL PROJECTS | | | | | | | |
| Revenues | | | | | | | |

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|---|--------------------------------|--------------------|------------------------|-----------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 402 - STATE GRANT CAPITAL PROJECTS | | | | | | | |
| Revenues | | | | | | | |
| 402-000-4340-00 | STATE GRANTS | 500,000.00 | 500,000.00 | 0.00 | 0.00 | 0.00 | 500,000.00 |
| 402-000-4900-00 | TRANSFER IN | 600,000.00 | 600,000.00 | 0.00 | 0.00 | 0.00 | 600,000.00 |
| 402-000-4910-00 | ADVANCE IN | 500,000.00 | 500,000.00 | 0.00 | 0.00 | 0.00 | 500,000.00 |
| TOTAL REVENUES | | 1,600,000.00 | 1,600,000.00 | 0.00 | 0.00 | 0.00 | 1,600,000.00 |
| Expenditures | | | | | | | |
| 402-600-5501-00 | CONSTRUCTION CAPITAL OUTLAY | 1,100,000.00 | 1,186,746.55 | 0.00 | 0.00 | 86,746.55 | 1,100,000.00 |
| 402-600-5800-00 | ADVANCES OUT | 500,000.00 | 500,000.00 | 0.00 | 0.00 | 0.00 | 500,000.00 |
| TOTAL EXPENDITURES | | 1,600,000.00 | 1,686,746.55 | 0.00 | 0.00 | 86,746.55 | 1,600,000.00 |
| TOTAL REVENUES | | 1,600,000.00 | 1,600,000.00 | 0.00 | 0.00 | 0.00 | 1,600,000.00 |
| TOTAL EXPENDITURES | | 1,600,000.00 | 1,686,746.55 | 0.00 | 0.00 | 86,746.55 | 1,600,000.00 |
| NET OF REVENUES & EXPENDITURES | | 0.00 | (86,746.55) | 0.00 | 0.00 | (86,746.55) | 0.00 |
| BEG. FUND BALANCE | | 100,953.88 | 100,953.88 | | 100,953.88 | | |
| END FUND BALANCE | | 100,953.88 | 14,207.33 | | 100,953.88 | | |
| Fund 500 - WATER | | | | | | | |
| Revenues | | | | | | | |
| 500-000-4420-00 | WATER SPECIAL ASSESSMENT | 250.00 | 250.00 | 0.00 | 0.00 | 0.00 | 250.00 |
| 500-000-4530-00 | USER CHARGES | 1,575,000.00 | 1,575,000.00 | 89,046.87 | 89,046.87 | 0.00 | 1,485,953.13 |
| 500-000-4532-00 | BULK WATER CHARGES | 3,000.00 | 3,000.00 | 222.00 | 222.00 | 0.00 | 2,778.00 |
| 500-000-4533-00 | CELLULAR ANTENNA RENT | 35,000.00 | 35,000.00 | 4,163.40 | 4,163.40 | 0.00 | 30,836.60 |
| 500-000-4670-00 | WATER METER FEES | 12,000.00 | 12,000.00 | 2,400.00 | 2,400.00 | 0.00 | 9,600.00 |
| 500-000-4810-00 | MISCELLANEOUS | 250.00 | 250.00 | 609.47 | 609.47 | 0.00 | (359.47) |
| TOTAL REVENUES | | 1,625,500.00 | 1,625,500.00 | 96,441.74 | 96,441.74 | 0.00 | 1,529,058.26 |
| Expenditures | | | | | | | |
| 500-800-5100-00 | REGULAR SALARIES | 381,000.00 | 381,000.00 | 25,391.56 | 25,391.56 | 0.00 | 355,608.44 |
| 500-800-5110-00 | OVERTIME SALARIES | 15,000.00 | 15,000.00 | 1,032.27 | 1,032.27 | 0.00 | 13,967.73 |
| 500-800-5200-00 | PERS | 52,500.00 | 52,500.00 | 3,650.32 | 3,650.32 | 0.00 | 48,849.68 |
| 500-800-5210-00 | MEDICARE | 5,800.00 | 5,800.00 | 399.40 | 399.40 | 0.00 | 5,400.60 |
| 500-800-5220-00 | WORKERS' COMPENSATION | 6,800.00 | 6,800.00 | 1.81 | 1.81 | 0.00 | 6,798.19 |
| 500-800-5230-00 | INSURANCE PREMIUMS | 146,000.00 | 146,000.00 | 9,738.79 | 9,738.79 | 88,308.58 | 47,952.63 |
| 500-800-5240-00 | TRAVEL/TRANSPORTATION | 200.00 | 200.00 | 0.00 | 0.00 | 0.00 | 200.00 |
| 500-800-5250-00 | UNIFORMS/LICENSES | 3,200.00 | 3,200.00 | 1,400.00 | 1,400.00 | 0.00 | 1,800.00 |
| 500-800-5320-00 | PROFESSIONAL SERVICES | 10,000.00 | 11,086.49 | 0.00 | 0.00 | 11,086.49 | 0.00 |
| 500-800-5325-00 | TRAINING/EDUCATION | 2,000.00 | 2,000.00 | 0.00 | 0.00 | 315.00 | 1,685.00 |
| 500-800-5326-00 | BILL PRINTING/MAILING SERVICES | 4,000.00 | 4,308.00 | 106.84 | 106.84 | 4,201.16 | 0.00 |
| 500-800-5330-00 | INSURANCE/BONDING | 15,000.00 | 15,000.00 | 0.00 | 0.00 | 14,000.00 | 1,000.00 |
| 500-800-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 12,000.00 | 12,000.00 | 2,657.00 | 2,657.00 | 4,075.00 | 5,268.00 |
| 500-800-5348-00 | STATE OPERATING FEES | 7,000.00 | 7,000.00 | 0.00 | 0.00 | 0.00 | 7,000.00 |
| 500-800-5400-00 | OFFICE SUPPLIES AND MATERIALS | 8,000.00 | 8,000.00 | 0.00 | 0.00 | 1,050.00 | 6,950.00 |
| 500-800-5500-00 | CAPITAL OUTLAY | 9,000.00 | 9,000.00 | 0.00 | 0.00 | 0.00 | 9,000.00 |
| 500-800-5600-00 | DEBT PRINCIPAL | 218,500.00 | 218,500.00 | 121,163.45 | 121,163.45 | 97,302.63 | 33.92 |
| 500-800-5610-00 | DEBT INTEREST | 45,000.00 | 45,000.00 | 22,967.40 | 22,967.40 | 21,674.25 | 358.35 |
| 500-801-5340-00 | OTHER CONTRACT SERVICES | 10,000.00 | 11,425.00 | 153.67 | 153.67 | 2,555.33 | 8,716.00 |
| 500-801-5410-00 | OPERATION AND MAINTENANCE | 25,000.00 | 27,054.47 | 687.73 | 687.73 | 5,347.10 | 21,019.64 |
| 500-801-5410-01 | CHEMICALS | 340,000.00 | 357,856.90 | 15,595.52 | 15,595.52 | 105,451.38 | 236,810.00 |

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|--------------------------------|----------------------------------|--------------------|------------------------|-----------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 500 - WATER | | | | | | | |
| Expenditures | | | | | | | |
| 500-801-5500-00 | CAPITAL OUTLAY | 60,000.00 | 66,500.00 | 2,354.52 | 2,354.52 | 4,145.48 | 60,000.00 |
| 500-802-5300-00 | UTILITIES | 110,000.00 | 118,549.52 | 6,746.35 | 6,746.35 | 94,303.17 | 17,500.00 |
| 500-802-5320-00 | PROFESSIONAL SERVICES | 5,000.00 | 5,000.00 | 0.00 | 0.00 | 0.00 | 5,000.00 |
| 500-802-5340-00 | OTHER CONTRACT SERVICES | 20,000.00 | 22,000.00 | 446.68 | 446.68 | 8,153.32 | 13,400.00 |
| 500-802-5347-00 | PAYMENT TO POLITICAL SUBDIVISION | 135,000.00 | 145,733.78 | 10,071.62 | 10,071.62 | 135,662.16 | 0.00 |
| 500-802-5352-00 | GIS | 9,000.00 | 9,000.00 | 0.00 | 0.00 | 0.00 | 9,000.00 |
| 500-802-5410-00 | OPERATION AND MAINTENANCE | 22,500.00 | 22,694.67 | 462.72 | 462.72 | 4,645.90 | 17,586.05 |
| 500-802-5411-00 | FUEL | 5,500.00 | 6,881.80 | 0.00 | 0.00 | 5,381.80 | 1,500.00 |
| 500-802-5420-00 | FLEET OPERATION AND MAINTENANCE | 3,000.00 | 3,000.00 | 0.00 | 0.00 | 0.00 | 3,000.00 |
| 500-802-5500-00 | CAPITAL OUTLAY | 110,000.00 | 110,000.00 | 0.00 | 0.00 | 0.00 | 110,000.00 |
| TOTAL EXPENDITURES | | 1,796,000.00 | 1,848,090.63 | 225,027.65 | 225,027.65 | 607,658.75 | 1,015,404.23 |
| TOTAL REVENUES | | 1,625,500.00 | 1,625,500.00 | 96,441.74 | 96,441.74 | 0.00 | 1,529,058.26 |
| TOTAL EXPENDITURES | | 1,796,000.00 | 1,848,090.63 | 225,027.65 | 225,027.65 | 607,658.75 | 1,015,404.23 |
| NET OF REVENUES & EXPENDITURES | | (170,500.00) | (222,590.63) | (128,585.91) | (128,585.91) | (607,658.75) | 513,654.03 |
| BEG. FUND BALANCE | | 1,707,720.46 | 1,707,720.46 | | 1,707,720.46 | | |
| END FUND BALANCE | | 1,537,220.46 | 1,485,129.83 | | 1,579,134.55 | | |
| Fund 501 - WATER CONNECTIONS | | | | | | | |
| Revenues | | | | | | | |
| 501-000-4531-00 | CAPACITY FEES | 300,000.00 | 300,000.00 | 54,762.34 | 54,762.34 | 0.00 | 245,237.66 |
| TOTAL REVENUES | | 300,000.00 | 300,000.00 | 54,762.34 | 54,762.34 | 0.00 | 245,237.66 |
| Expenditures | | | | | | | |
| 501-800-5600-00 | DEBT PRINCIPAL | 45,000.00 | 45,000.00 | 22,175.77 | 22,175.77 | 22,480.69 | 343.54 |
| 501-800-5610-00 | DEBT INTEREST | 10,600.00 | 10,600.00 | 5,415.56 | 5,415.56 | 5,110.64 | 73.80 |
| 501-803-5320-00 | PROFESSIONAL SERVICES | 50,000.00 | 68,996.45 | 4,412.67 | 4,412.67 | 14,583.78 | 50,000.00 |
| 501-803-5340-00 | OTHER CONTRACT SERVICES | 160,000.00 | 160,000.00 | 0.00 | 0.00 | 0.00 | 160,000.00 |
| 501-803-5500-00 | CAPITAL OUTLAY | 150,000.00 | 150,000.00 | 0.00 | 0.00 | 0.00 | 150,000.00 |
| TOTAL EXPENDITURES | | 415,600.00 | 434,596.45 | 32,004.00 | 32,004.00 | 42,175.11 | 360,417.34 |
| TOTAL REVENUES | | 300,000.00 | 300,000.00 | 54,762.34 | 54,762.34 | 0.00 | 245,237.66 |
| TOTAL EXPENDITURES | | 415,600.00 | 434,596.45 | 32,004.00 | 32,004.00 | 42,175.11 | 360,417.34 |
| NET OF REVENUES & EXPENDITURES | | (115,600.00) | (134,596.45) | 22,758.34 | 22,758.34 | (42,175.11) | (115,179.68) |
| BEG. FUND BALANCE | | 2,637,038.01 | 2,637,038.01 | | 2,637,038.01 | | |
| END FUND BALANCE | | 2,521,438.01 | 2,502,441.56 | | 2,659,796.35 | | |
| Fund 510 - SEWER | | | | | | | |
| Revenues | | | | | | | |
| 510-000-4430-00 | SEWER SPECIAL ASSESSMENT | 250.00 | 250.00 | 0.00 | 0.00 | 0.00 | 250.00 |
| 510-000-4530-00 | USER CHARGES | 1,950,000.00 | 1,950,000.00 | 139,500.85 | 139,500.85 | 0.00 | 1,810,499.15 |
| 510-000-4810-00 | MISCELLANEOUS | 500.00 | 500.00 | 11.98 | 11.98 | 0.00 | 488.02 |
| TOTAL REVENUES | | 1,950,750.00 | 1,950,750.00 | 139,512.83 | 139,512.83 | 0.00 | 1,811,237.17 |
| Expenditures | | | | | | | |

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|--------------------------------|-------------------------------------|--------------------|------------------------|-----------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 510 - SEWER | | | | | | | |
| Expenditures | | | | | | | |
| 510-810-5100-00 | REGULAR SALARIES | 360,000.00 | 360,000.00 | 24,981.55 | 24,981.55 | 0.00 | 335,018.45 |
| 510-810-5110-00 | OVERTIME SALARIES | 13,500.00 | 13,500.00 | 627.04 | 627.04 | 0.00 | 12,872.96 |
| 510-810-5200-00 | PERS | 50,000.00 | 50,000.00 | 3,536.26 | 3,536.26 | 0.00 | 46,463.74 |
| 510-810-5210-00 | MEDICARE | 5,400.00 | 5,400.00 | 385.04 | 385.04 | 0.00 | 5,014.96 |
| 510-810-5220-00 | WORKERS' COMPENSATION | 6,500.00 | 6,500.00 | 1.78 | 1.78 | 0.00 | 6,498.22 |
| 510-810-5230-00 | INSURANCE PREMIUMS | 162,000.00 | 162,000.00 | 14,515.52 | 14,515.52 | 121,276.33 | 26,208.15 |
| 510-810-5240-00 | TRAVEL/TRANSPORTATION | 200.00 | 200.00 | 0.00 | 0.00 | 0.00 | 200.00 |
| 510-810-5250-00 | UNIFORMS/LICENSES | 2,750.00 | 2,750.00 | 1,400.00 | 1,400.00 | 0.00 | 1,350.00 |
| 510-810-5320-00 | PROFESSIONAL SERVICES | 12,000.00 | 13,086.49 | 0.00 | 0.00 | 11,086.49 | 2,000.00 |
| 510-810-5325-00 | TRAINING/EDUCATION | 2,000.00 | 2,200.00 | 830.00 | 830.00 | 200.00 | 1,170.00 |
| 510-810-5326-00 | BILL PRINTING/MAILING SERVICES | 4,000.00 | 4,308.00 | 106.84 | 106.84 | 4,201.16 | 0.00 |
| 510-810-5330-00 | INSURANCE/BONDING | 15,000.00 | 15,000.00 | 0.00 | 0.00 | 14,000.00 | 1,000.00 |
| 510-810-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 12,000.00 | 12,000.00 | 3,007.60 | 3,007.60 | 3,970.00 | 5,022.40 |
| 510-810-5348-00 | STATE OPERATING FEES | 10,000.00 | 10,000.00 | 6,567.29 | 6,567.29 | 32.71 | 3,400.00 |
| 510-810-5349-00 | MISCELLANEOUS CONTRACT SERVICES | 8,000.00 | 8,000.00 | 365.00 | 365.00 | 5,135.00 | 2,500.00 |
| 510-810-5400-00 | OFFICE SUPPLIES AND MATERIALS | 5,000.00 | 5,000.00 | 29.05 | 29.05 | 550.00 | 4,420.95 |
| 510-810-5410-00 | OPERATION AND MAINTENANCE | 2,500.00 | 2,500.00 | 0.00 | 0.00 | 0.00 | 2,500.00 |
| 510-810-5600-00 | DEBT PRINCIPAL | 368,000.00 | 368,000.00 | 31,279.06 | 31,279.06 | 336,638.14 | 82.80 |
| 510-810-5610-00 | DEBT INTEREST | 56,500.00 | 56,500.00 | 8,102.94 | 8,102.94 | 48,223.86 | 173.20 |
| 510-811-5300-00 | UTILITIES | 215,000.00 | 233,998.93 | 15,621.87 | 15,621.87 | 217,717.70 | 659.36 |
| 510-811-5310-00 | COMMUNICATIONS/PRINTING/ADVERTISING | 5,500.00 | 5,997.74 | 232.14 | 232.14 | 3,265.60 | 2,500.00 |
| 510-811-5320-00 | PROFESSIONAL SERVICES | 35,000.00 | 35,000.00 | 0.00 | 0.00 | 135.00 | 34,865.00 |
| 510-811-5346-00 | SLUDGE REMOVAL | 160,000.00 | 163,000.00 | 3,000.00 | 3,000.00 | 109,598.00 | 50,402.00 |
| 510-811-5349-00 | MISCELLANEOUS CONTRACT SERVICES | 35,000.00 | 37,082.00 | 830.79 | 830.79 | 9,576.21 | 26,675.00 |
| 510-811-5410-00 | OPERATION AND MAINTENANCE | 25,000.00 | 27,062.00 | 62.90 | 62.90 | 17,039.10 | 9,960.00 |
| 510-811-5411-00 | FUEL | 7,000.00 | 8,076.65 | 0.00 | 0.00 | 5,576.65 | 2,500.00 |
| 510-811-5420-00 | FLEET OPERATION AND MAINTENANCE | 2,000.00 | 2,000.00 | 0.00 | 0.00 | 500.00 | 1,500.00 |
| 510-811-5500-00 | CAPITAL OUTLAY | 200,000.00 | 204,650.00 | 1,266.31 | 1,266.31 | 10,383.69 | 193,000.00 |
| 510-812-5320-00 | PROFESSIONAL SERVICES | 5,000.00 | 5,000.00 | 0.00 | 0.00 | 0.00 | 5,000.00 |
| 510-812-5340-00 | OTHER CONTRACT SERVICES | 50,000.00 | 50,000.00 | 954.50 | 954.50 | 29,340.50 | 19,705.00 |
| 510-812-5352-00 | GIS | 9,000.00 | 9,000.00 | 0.00 | 0.00 | 0.00 | 9,000.00 |
| 510-812-5410-00 | OPERATION AND MAINTENANCE | 100,000.00 | 111,515.54 | 8,457.82 | 8,457.82 | 65,329.93 | 37,727.79 |
| 510-812-5500-00 | CAPITAL OUTLAY | 240,000.00 | 240,000.00 | 0.00 | 0.00 | 0.00 | 240,000.00 |
| TOTAL EXPENDITURES | | 2,183,850.00 | 2,229,327.35 | 126,161.30 | 126,161.30 | 1,013,776.07 | 1,089,389.98 |
| TOTAL REVENUES | | 1,950,750.00 | 1,950,750.00 | 139,512.83 | 139,512.83 | 0.00 | 1,811,237.17 |
| TOTAL EXPENDITURES | | 2,183,850.00 | 2,229,327.35 | 126,161.30 | 126,161.30 | 1,013,776.07 | 1,089,389.98 |
| NET OF REVENUES & EXPENDITURES | | (233,100.00) | (278,577.35) | 13,351.53 | 13,351.53 | (1,013,776.07) | 721,847.19 |
| BEG. FUND BALANCE | | 2,516,766.13 | 2,516,766.13 | | 2,516,766.13 | | |
| END FUND BALANCE | | 2,283,666.13 | 2,238,188.78 | | 2,530,117.66 | | |
| Fund 511 - SEWER CONNECTIONS | | | | | | | |
| Revenues | | | | | | | |
| 511-000-4531-00 | CAPACITY FEES | 500,000.00 | 500,000.00 | 140,075.00 | 140,075.00 | 0.00 | 359,925.00 |
| TOTAL REVENUES | | 500,000.00 | 500,000.00 | 140,075.00 | 140,075.00 | 0.00 | 359,925.00 |
| Expenditures | | | | | | | |
| 511-813-5320-00 | PROFESSIONAL SERVICES | 25,000.00 | 104,665.55 | 15,584.58 | 15,584.58 | 64,080.97 | 25,000.00 |
| 511-813-5340-00 | OTHER CONTRACT SERVICES | 150,000.00 | 150,000.00 | 0.00 | 0.00 | 63,159.00 | 86,841.00 |
| 511-813-5500-00 | CAPITAL OUTLAY | 500,000.00 | 520,205.05 | 0.00 | 0.00 | 20,205.05 | 500,000.00 |

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|--------------------------------|---------------------------------|--------------------|------------------------|-----------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 511 - SEWER CONNECTIONS | | | | | | | |
| Expenditures | | | | | | | |
| TOTAL EXPENDITURES | | 675,000.00 | 774,870.60 | 15,584.58 | 15,584.58 | 147,445.02 | 611,841.00 |
| TOTAL REVENUES | | 500,000.00 | 500,000.00 | 140,075.00 | 140,075.00 | 0.00 | 359,925.00 |
| TOTAL EXPENDITURES | | 675,000.00 | 774,870.60 | 15,584.58 | 15,584.58 | 147,445.02 | 611,841.00 |
| NET OF REVENUES & EXPENDITURES | | (175,000.00) | (274,870.60) | 124,490.42 | 124,490.42 | (147,445.02) | (251,916.00) |
| BEG. FUND BALANCE | | 4,487,920.35 | 4,487,920.35 | | 4,487,920.35 | | |
| END FUND BALANCE | | 4,312,920.35 | 4,213,049.75 | | 4,612,410.77 | | |
| Fund 520 - STORM WATER FUND | | | | | | | |
| Revenues | | | | | | | |
| 520-000-4440-00 | STORM WATER SPECIAL ASSESSMENTS | 50.00 | 50.00 | 0.00 | 0.00 | 0.00 | 50.00 |
| 520-000-4530-00 | USER CHARGES | 249,000.00 | 249,000.00 | 19,102.90 | 19,102.90 | 0.00 | 229,897.10 |
| 520-000-4622-01 | NPDES INSPECTION FEE | 15,500.00 | 15,500.00 | 1,800.00 | 1,800.00 | 0.00 | 13,700.00 |
| 520-000-4810-00 | MISCELLANEOUS | 250.00 | 250.00 | 0.00 | 0.00 | 0.00 | 250.00 |
| TOTAL REVENUES | | 264,800.00 | 264,800.00 | 20,902.90 | 20,902.90 | 0.00 | 243,897.10 |
| Expenditures | | | | | | | |
| 520-820-5100-00 | REGULAR SALARIES | 74,500.00 | 74,500.00 | 5,660.42 | 5,660.42 | 0.00 | 68,839.58 |
| 520-820-5110-00 | OVERTIME SALARIES | 4,500.00 | 4,500.00 | 0.00 | 0.00 | 0.00 | 4,500.00 |
| 520-820-5200-00 | PERS | 11,000.00 | 11,000.00 | 778.44 | 778.44 | 0.00 | 10,221.56 |
| 520-820-5210-00 | MEDICARE | 1,200.00 | 1,200.00 | 87.55 | 87.55 | 0.00 | 1,112.45 |
| 520-820-5220-00 | WORKERS' COMPENSATION | 1,400.00 | 1,400.00 | 0.37 | 0.37 | 0.00 | 1,399.63 |
| 520-820-5230-00 | INSURANCE PREMIUMS | 31,000.00 | 31,000.00 | 2,044.20 | 2,044.20 | 23,404.14 | 5,551.66 |
| 520-820-5240-00 | TRAVEL/TRANSPORTATION | 50.00 | 50.00 | 0.00 | 0.00 | 0.00 | 50.00 |
| 520-820-5250-00 | UNIFORMS/LICENSES | 750.00 | 750.00 | 400.00 | 400.00 | 0.00 | 350.00 |
| 520-820-5320-00 | PROFESSIONAL SERVICES | 5,000.00 | 5,163.01 | 0.00 | 0.00 | 1,663.01 | 3,500.00 |
| 520-820-5325-00 | TRAINING/EDUCATION | 250.00 | 250.00 | 0.00 | 0.00 | 0.00 | 250.00 |
| 520-820-5326-00 | BILL PRINTING/MAILING SERVICES | 3,000.00 | 3,231.00 | 80.12 | 80.12 | 3,150.88 | 0.00 |
| 520-820-5330-00 | INSURANCE/BONDING | 5,000.00 | 5,000.00 | 0.00 | 0.00 | 4,600.00 | 400.00 |
| 520-820-5340-00 | OTHER CONTRACT SERVICES | 2,000.00 | 2,000.00 | 0.00 | 0.00 | 0.00 | 2,000.00 |
| 520-820-5345-00 | MEMBERSHIPS/SUBSCRIPTIONS | 500.00 | 500.00 | 0.00 | 0.00 | 500.00 | 0.00 |
| 520-820-5348-00 | STATE OPERATING FEES | 850.00 | 850.00 | 0.00 | 0.00 | 850.00 | 0.00 |
| 520-820-5400-00 | OFFICE SUPPLIES AND MATERIALS | 1,500.00 | 1,500.00 | 0.00 | 0.00 | 0.00 | 1,500.00 |
| 520-820-5410-00 | OPERATION AND MAINTENANCE | 1,000.00 | 1,000.00 | 0.00 | 0.00 | 200.00 | 800.00 |
| 520-820-5500-00 | CAPITAL OUTLAY | 1,300.00 | 1,300.00 | 0.00 | 0.00 | 0.00 | 1,300.00 |
| 520-821-5320-00 | PROFESSIONAL SERVICES | 5,000.00 | 5,000.00 | 0.00 | 0.00 | 3,000.00 | 2,000.00 |
| 520-821-5340-00 | OTHER CONTRACT SERVICES | 40,000.00 | 40,000.00 | 0.00 | 0.00 | 7,545.03 | 32,454.97 |
| 520-821-5352-00 | GIS | 5,000.00 | 5,000.00 | 0.00 | 0.00 | 0.00 | 5,000.00 |
| 520-821-5410-00 | OPERATION AND MAINTENANCE | 50,000.00 | 52,500.00 | 18,340.00 | 18,340.00 | 1,064.47 | 33,095.53 |
| 520-821-5500-00 | CAPITAL OUTLAY | 20,000.00 | 115,000.00 | 0.00 | 0.00 | 95,000.00 | 20,000.00 |
| TOTAL EXPENDITURES | | 264,800.00 | 362,694.01 | 27,391.10 | 27,391.10 | 140,977.53 | 194,325.38 |
| TOTAL REVENUES | | 264,800.00 | 264,800.00 | 20,902.90 | 20,902.90 | 0.00 | 243,897.10 |
| TOTAL EXPENDITURES | | 264,800.00 | 362,694.01 | 27,391.10 | 27,391.10 | 140,977.53 | 194,325.38 |
| NET OF REVENUES & EXPENDITURES | | 0.00 | (97,894.01) | (6,488.20) | (6,488.20) | (140,977.53) | 49,571.72 |
| BEG. FUND BALANCE | | 227,189.05 | 227,189.05 | | 227,189.05 | | |
| END FUND BALANCE | | 227,189.05 | 129,295.04 | | 220,700.85 | | |

PERIOD ENDING 01/31/2020

| GL NUMBER | DESCRIPTION | 2020 | | ACTIVITY FOR MONTH 01/31/20 | YTD BALANCE 01/31/2020 | ENCUMBERED YEAR-TO-DATE | UNENCUMBERED BALANCE |
|-------------------------------------|-------------|--------------------|------------------------|-----------------------------------|---------------------------|----------------------------|-------------------------|
| | | ORIGINAL BUDGET | 2020 AMENDED BUDGET | | | | |
| Fund 901 - MEIJER-SPECIAL | | | | | | | |
| Revenues | | | | | | | |
| 901-000-4700-00 | INTEREST | 2,000.00 | 2,000.00 | 0.00 | 0.00 | 0.00 | 2,000.00 |
| TOTAL REVENUES | | <u>2,000.00</u> | <u>2,000.00</u> | <u>0.00</u> | <u>0.00</u> | <u>0.00</u> | <u>2,000.00</u> |
| TOTAL REVENUES | | 2,000.00 | 2,000.00 | 0.00 | 0.00 | 0.00 | 2,000.00 |
| TOTAL EXPENDITURES | | <u>0.00</u> | <u>0.00</u> | <u>0.00</u> | <u>0.00</u> | <u>0.00</u> | <u>0.00</u> |
| NET OF REVENUES & EXPENDITURES | | <u>2,000.00</u> | <u>2,000.00</u> | <u>0.00</u> | <u>0.00</u> | <u>0.00</u> | <u>2,000.00</u> |
| BEG. FUND BALANCE | | 141,065.01 | 141,065.01 | | 141,065.01 | | |
| END FUND BALANCE | | 143,065.01 | 143,065.01 | | 141,065.01 | | |
| Fund 902 - GREENGATE DR AGENCY FUND | | | | | | | |
| Revenues | | | | | | | |
| 902-000-4700-00 | INTEREST | 3,000.00 | 3,000.00 | 0.00 | 0.00 | 0.00 | 3,000.00 |
| TOTAL REVENUES | | <u>3,000.00</u> | <u>3,000.00</u> | <u>0.00</u> | <u>0.00</u> | <u>0.00</u> | <u>3,000.00</u> |
| TOTAL REVENUES | | 3,000.00 | 3,000.00 | 0.00 | 0.00 | 0.00 | 3,000.00 |
| TOTAL EXPENDITURES | | <u>0.00</u> | <u>0.00</u> | <u>0.00</u> | <u>0.00</u> | <u>0.00</u> | <u>0.00</u> |
| NET OF REVENUES & EXPENDITURES | | <u>3,000.00</u> | <u>3,000.00</u> | <u>0.00</u> | <u>0.00</u> | <u>0.00</u> | <u>3,000.00</u> |
| BEG. FUND BALANCE | | 408,709.85 | 408,709.85 | | 408,709.85 | | |
| END FUND BALANCE | | 411,709.85 | 411,709.85 | | 408,709.85 | | |
| TOTAL REVENUES - ALL FUNDS | | 18,475,000.00 | 18,475,000.00 | 1,880,929.95 | 1,880,929.95 | 0.00 | 16,594,070.05 |
| TOTAL EXPENDITURES - ALL FUNDS | | 19,060,825.00 | 20,215,898.83 | 1,707,653.20 | 1,707,653.20 | 6,760,806.13 | 11,747,439.50 |
| NET OF REVENUES & EXPENDITURES | | (585,825.00) | (1,740,898.83) | 173,276.75 | 173,276.75 | (6,760,806.13) | 4,846,630.55 |
| BEG. FUND BALANCE - ALL FUNDS | | 26,103,076.50 | 26,103,076.50 | | 26,103,076.50 | | |
| END FUND BALANCE - ALL FUNDS | | 25,517,251.50 | 24,362,177.67 | | 26,276,353.25 | | |

COUNCIL UPDATE



February 26, 2020

Department of Public Service
Matthew C. Peoples, Director

Project Status:

2020 Street CIP: We are requesting Council authorization at the March 2nd meeting for the project that includes work on W. Waterloo, Williamson, Hilliard, Saylor, and Hemmingford, pool parking lot expansion and the Tussing Ditch path, as well as general pavement work and the sidewalk program.

Northpointe Utilities Extension: This project is out to bid with an opening March 19th and a request for Council to authorize the contract at the first meeting in April.

Westchester Park: The contractor will begin work March 2nd on the installation of the shelter house and playground equipment.

Gender Road Paving: ODOT has bid the project and are expecting to award in March. As soon as we get the schedule we will get notifications out. Final costs will be based on actual bid costs and final quantities and, once the project is done, ODOT will determine what refunds/payments there may be.

McGill Park: OHM has started the design on both the McGill Phase I and Trail Connector projects and are expecting to be complete near the mid-summer. The grant for the Phase I project is still in limbo and we expect the State and Feds will have resolved soon.

Municipal Complex: We are sending out the requests for proposal for the design-build contractor.

Solid Waste Contract: Mayor Ebert & I met again with Waste Management on a potential contract extension and we hope to have some information to present soon. Additionally, we have submitted our requirements for SWACO's Consortium II and are working through their bid process.

Gender Rd. Phase VI: We are working with EMH&T on a design concept for a Gender Rd. Phase VI project that will include pedestrian connection across the Gender Rd. overpass as well as additional lanes for Gender Rd. Our plan would be to utilize ODOT Safety Funding as well OPWC funding.

WRF Generator Project: We are working on the funding documents and hope to have more in March. The project is preliminary estimated at \$350,000 and the loan is for as many as 20 years with an interest rate as low as 0.72% including a possible \$50,000 in principal forgiveness.

Gender Rd. Signal Synchronization Project: EMH&T has reviewed ODOT data and is providing comments towards the synchronization models. We are expecting the project to be completed by April.

Storm Sewer Replacement: The project is nearly complete and the contractor will be scheduling a final walkthrough in March.

Gender Rd. Phase V: We are beginning design work for the project that is expected to begin spring 2021. This project includes intersection improvements at Canal St. with new mast arm signals and a NB right turn lane to Canal St. and a NB turn lane at Winchester Blvd, along with some bike path relocations.

Transportation Thoroughfare Plan: MORPC is working on their data collection and analysis portion of the process. EMH&T's portion will work off of the MORPC data and will continue through the spring.

Groveport/Dye/Manor Waterline: We met with Bird & Bull to discuss the scope of the Groveport/Dye/Manor Waterline Replacement project. The lines in that area are from the fifties and seventies and recent break, along with some drainage and pavement issues, has increased its priority. The cost will likely be above \$1M so we are looking into the possibility of either an OPWC application or OEPA loans.

Trail Lighting: Bill Sims and I met with South Central Power to get quotes on installing pole lighting along the Groveport bike path from Hanners Park west to the end of the trail.

COUNCIL UPDATE



February 26, 2020

Division of Urban Forestry
Dick Miller, Urban Forester

Project Status:

Spring Street Tree Plantings: We are opening the bids for the 2020 spring street tree plantings February 27th. The project will include approximately 70 trees and installations will be done in March and April.

Winter Work: Perennial herbicide bed spraying 10% complete and we are performing soil core aeration at various sites.

Project Prep: We are preparing for the upcoming projects and have ordered Give away trees, mulch, annual flowers, and herbicide.

Arbor Day: We have begun planning for our annual Arbor Day event.

COUNCIL UPDATE



February 26, 2020

Division of Water Reclamation
Steve Smith, Superintendent

Project Status:

Control Replacement: Bids are being solicited for replacement of the aging controls at the Rt. 33 lift station.

Sludge Press Upgrade: The order has been placed for the press upgrade material. We hope to have the work done the second quarter of 2020.

Air Release Valves: The air release valves serving the Rt. 33 Lift station force main are being reworked and repaired. One is now finished and parts have been received to enable repair of the second unit, which we be done as time and weather allow.

Bixby Rd. Utilities: The WRF staff are finalizing the review of the new Bixby Rd. lift station.

Safety:

- The Safety committee met to discuss building vulnerability following a mandate by the mayor. The report should be filed sometime in March.

COUNCIL UPDATE



February 26, 2020

Division of Streets, Lands and Buildings
Shawn Starcher, Manager

Project Status:

Mowing Prep: Crews have been cutting back limbs and fallen trees along roadside mowing areas to prepare for mowing season.

Litter Patrol: Crews continue to collect litter along U.S. Route 33 and other roadways in the city. This is ongoing and will continue as weather permits.

Pothole Patrol: Crews have continued to check and fill any potholes in pavement areas and along the shoulder areas.

Training: Several crew members will be attending Safety and Training classes this month.

Street Sweeping: Street Sweeping will continue to be scheduled weekly to collect debris from the gutter pans as long as the weather cooperates.

Storm Curb & Gutter Inlets: Storm curb/gutter Inlets continue to be inspected and repaired if needed. This will continue as weather permits.

Street Light Painting: A painting contractor has now completed painting all the street light poles in Zone G (N. High Street) and Zone C (West Waterloo). They will begin painting traffic signal mast arm bases in needed areas. This will continue as weather permits.

COUNCIL UPDATE



February 26, 2020

Division of Information Technology
Rick Brown, Coordinator

Project Status:

Security: Completed security camera installations at pool, sheriff sub-station and public service facility.

Training: Attended seminar on a new version of Backup and Replication software.

Service:

- Managing day-to-day enterprise user requests
- Ordered two laptops for Water and Wastewater
- Installed new computer for Construction Services consultant
- Updated servers

Planning:

- Completed IT requirements for Municipal Complex
- Scoping access management at Water Plant
- Working with Sheriff's vendor on scoping virtual arraignment

COUNCIL UPDATE



February 26, 2020

Division of Water
Joe Taylor, Superintendent

Project Status:

Plant Production:

- We pumped 23.430 Million Gallons in December at an average of .755 MGD with an average hardness was 118 mg/l.
- Working on the new OEPA Asset Management Plan.

Distribution:

- AMI Metering System installs are ongoing. We have approximately 2,000 units installed with approximately 1,388 remaining (59% complete).
- Meter readings were the 26th with re-reads on the 27th. Additionally, staff completed shut offs this week. Only 13 Properties were on the list this month with eight were physically shut off.
- Staff is updating curb box location cards for commercial buildings.
- Staff is preparing for spring valve bolt replacement on Gender Rd. between the RR tracks and Winchester Blvd.

COUNCIL UPDATE



February 28, 2020

Development Department

Lucas Haire, Director

Development Report

- Northpoint Development is nearing final approval of their site improvements plans. They intend to break ground on their speculative warehouse development at Bixby and Rager Road in mid-March.
- GC Pallet & Storage, Inc. has acquired the building at 880 West Walnut Street. This 51,200 square foot building has been vacant for more than 10 years. They intend to invest more than \$400,000 into the building for their operation to build, restore, and recondition pallets. The project will result in 15 – 20 new jobs in the community.
- DDC Management continues to work on plan revision for their proposed 191-unit Greengate condominium development. This will go before Planning & Zoning Commission for a recommendation at their March 9 meeting.
- Bank of America will also be before Planning & Zoning Commission at the March 9 meeting. They are proposing amendment to their previously approved plan for a new bank branch on Winchester Blvd.