

Canal Winchester

*Town Hall
10 North High Street
Canal Winchester, OH 43110*



Meeting Agenda

February 18, 2020

6:00 PM

Council Work Session

Mike Coolman - Chair

Jill Amos

Will Bennett

Bob Clark

Patrick Lynch

Chuck Milliken

Mike Walker

A. Call To Order**B. Roll Call****C. Also In Attendance**

Mayor Ebert, Matt Peoples, Lucas Haire, Amanda Jackson, Bill Sims, Dick Miller, Steve Smith, Shawn Starcher, Rick Brown, Joe Taylor, Sergeant Hendershot, Shane Spencer

D. Reports

Bill Sims -

Dick Miller -

Steve Smith -

Shawn Starcher -

Rick Brown -

Joe Taylor -

Sergeant Hendershot-

Shane Spencer -

E. Request for Council Action**ORD 20-008**

Law

An Ordinance to Repeal Chapter 1130 of the Codified Ordinances of the City of Canal Winchester (**Ordinance, Exhibit A ORD-18-047 Residential Appearance Standards**)

- Request to move to full Council

ORD 20-009

Development

An Ordinance Approving the Final Development Plan for Outlot 3 Identified in the Meijer Outparcel Development Pattern Book (**Ordinance, Exhibit A P&Z Approval Letter, Exhibit B P&Z Staff Report, Exhibit C Dev Plan App**)

- Request to move to full Council

ORD 20-010

Development

An Ordinance to Authorize the Mayor to Accept an Easement for General Utility Purposes from the Mountain Agency, LLC. (**Ordinance, Exhibit A**)

- Request to move to full Council

ORD 20-011

Law

An Ordinance Authorizing the Issuance of a Promissory Note Not to Exceed \$2,400,000 for the Purpose of Paying all or a Part of the Cost of Acquiring, Constructing, Equipping and Improving the City of Canal Winchester's City Hall and Declaring an Emergency (**Ordinance**)

- Request to move to full Council

[ORD 20-012](#)

Law

An Ordinance Authorizing the Law Director to Enter Into an Agreed Judgment Entry on Settlement Between the City of Canal Winchester and Panda Express, Inc., and Declaring an Emergency ([Ordinance, Exhibit A Agreed Judgment Entry, Exhibit B Site Plan](#))

- Request to move to full Council

[ORD 20-013](#)

Finance

An Ordinance to Amend the 2020 Appropriation Ordinance #19-069, Amendment #1 ([Ordinance](#))

- Request to move to full Council

F. Items for Discussion

G. Old/New Business

H. Adjournment

ORDINANCE NO. 20-008

AN ORDINANCE TO REPEAL CHAPTER 1130 OF THE CODIFIED ORDINANCES OF THE CITY OF CANAL WINCHESTER

WHEREAS, with the approval of Ordinance 18-047, which adopted Residential Appearance Standards set forth in Chapter 1198 of the Codified Ordinances, the City’s Codifier has requested that Chapter 1130 of the Codified Ordinances, which set forth the previous version of the Planning and Zoning Residential Standards, be formally repealed; and,

WHEREAS, Council hereby finds and determines that it is in the best interest of the City of Canal Winchester to repeal Chapter 1130 of the Codified Ordinances.

NOW THEREFORE BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, STATE OF OHIO:

Section 1. That Chapter 1130 is hereby repealed.

Section 2. That this Ordinance shall take effect and be in force from and after the earliest period allowed by law.

DATE PASSED _____

PRESIDENT OF COUNCIL

ATTEST _____

CLERK OF COUNCIL

MAYOR

APPROVED AS TO FORM:

_____ DATE APPROVED

LEGAL COUNSEL

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by the Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.

Clerk of Council

ORDINANCE NO. 18-047

AN ORDINANCE ADOPTING SECTION 1198 OF THE CODIFIED ORDINANCES REGARDING RESIDENTIAL APPEARANCE STANDARDS

WHEREAS, City Council had formed a committee to review standards for residential development in the City of Canal Winchester to further assist developers and city officials in the preparation and review process of said developments; and

WHEREAS, the Residential Appearance Standards prepared by the committee have been presented to the Planning and Zoning Commission who held a public hearing and subsequently recommended their adoption by City Council; and

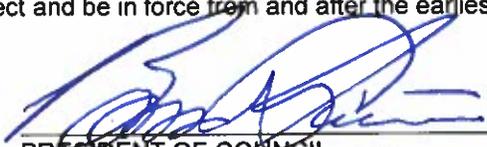
WHEREAS, Ordinance 82-06 adopting Section 1130 Planning and Zoning Residential Standards shall be repealed;

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, STATE OF OHIO:

SECTION 1. Section 1198 Residential Appearance Standards attached hereto as Exhibit "A" are hereby adopted.

SECTION 2. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

DATE PASSED: 1/7/19

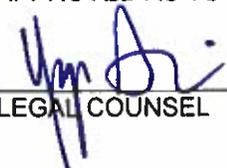

PRESIDENT OF COUNCIL

ATTEST: Amanda M Jackson

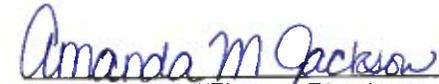

MAYOR

1-8-19
DATE APPROVED

APPROVED AS TO FORM:


LEGAL COUNSEL

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.


Clerk of Council/Finance Director

ORDINANCE NO. 20-009

AN ORDINANCE APPROVING THE FINAL DEVELOPMENT PLAN FOR OUTLOT 3 IDENTIFIED IN THE MEIJER OUTPARCEL DEVELOPMENT PATTERN BOOK

WHEREAS, the final development plan for Outlot 3 of the Meijer Development has been approved with conditions by the Planning and Zoning Commission; and

WHEREAS, Council approved the Meijer Store and Outparcel Development Pattern Book with Ordinance 74-06; and

WHEREAS, per Ordinance No. 52-01, all final development plans of the Pifer property are also to be approved by the Council of the City of Canal Winchester.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, STATE OF OHIO:

SECTION 1. That the City Council hereby approves the Final Development Plan for Outlot 3 of the Meijer Development which is attached hereto as Exhibit A, subject to and conditioned upon, with the following conditions:

1. The electric transformer be screened on three sides by the arborvitae shown on the plan.
2. The FDC be relocated per Violet Township Fire Dept. recommendation.

SECTION 2. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

DATE PASSED _____

PRESIDENT OF COUNCIL

ATTEST _____
CLERK OF COUNCIL

MAYOR

DATE APPROVED

APPROVED AS TO FORM:

LEGAL COUNCIL

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by the Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.

CLERK OF COUNCIL

February 11, 2020

Tim Dwyer
Leesman Engineering and Assoc.
4820 Glenway Ave
Cincinnati, OH 45238

Re: Application #FDP-20-001

To Whom it May Concern:

The Planning and Zoning Commission heard your above referenced application at their February 10, 2020 meeting. Following discussion, the Commission passed a motion to approve Final Development Plan application #FDP-20-001 with the following conditions and recommend to City Council for approval:

1. The electric transformer be screened on three sides by the arborvitae shown on the plan.
2. The FDC be relocated per Violet Township Fire Dept. recommendation.

A copy of the approved plans has been included with this letter.

This application is scheduled for the first reading on the February 18, 2020 Council Agenda.

If you have any questions regarding the above, please give me a call at (614) 837-6742 or e-mail me at amoore@canalwinchesterohio.gov.

Sincerely,

Andrew Moore
Planning and Zoning Administrator

**Final Development Plan #FDP-20-001
Shooters Sports Grill**

Owner: Meijer Stores Limited Partnership
Applicant: Shooters Franchise OH 5, LLC
Location: Outlot 3 of Meijer Outparcels (PID 042-389000)
Existing Zoning: PID (Planned Industrial District)
Proposed Use: New 6,620 sq. ft. Shooters Sports Grill Restaurant

Location and Surrounding Land Uses

The subject property is zoned PID (Planned Industrial District) and consists 1.99 acres (Outlot 3) in front of the Meijer store located at 8300 Diley Road. Outparcels to the north and south are part of the Meijer Planned District zoned PID. Property to the east is the Meijer Store, zoned PID. Property to the west is the Diley Medical Center zoned PCD (Planned Commercial District).

Setbacks

Building Setback

- Diley Road: 50' Build-to line
- Side Yard: 25'
- Rear Yard 25'

Parking Setback

- Diley Road: 50'
- North Setback: 20'
- South Setback: 10'
- East Setback: 20'

Analysis

The subject property is zoned PID (Planned Industrial District) and is subject to the Meijer Outparcel Development Pattern Book that was approved by City Council with ORD-74-06 on September 5, 2006. The outparcel development pattern book set a standard for building orientation and design, site layout, landscaping standards and signage regulations. The development was designed with the intent of all buildings to face outwardly and not internally to the development with a cohesive architectural design and enhanced landscape requirements.

The building being proposed for outlot 3 is a standalone restaurant consisting of approximately 6,620 sq. ft. The restaurant is positioned to face both Diley Road and to the North with dual entryways. The facility also features an 890 sq. ft. patio on the front of the building facing Diley Road.

Access and parking

The subject site is accessed from Road 'B' of the Meijer development with a single curb cut internal to the development. The site plan shows a total of 84 parking spaces to be provided on the north and east ends of the proposed building. The Meijer development text prohibits any pavement between the building and Diley Road.

The Meijer outparcel development pattern book indicates that building entries shall be convenient for parking but also acknowledge the importance of the public realm. The subject site has an entry facing both Diley Road and the parking areas to the north, meeting this requirement.

Additionally, the development standards require the site design to accommodate vehicular and pedestrian circulation that minimizes conflict and each structure must create a pedestrian connection to the circulation systems of the surrounding development. The applicant is showing a 5 foot concrete walk connecting the building to the existing asphalt multi-use path along Diley Road and a 5 foot concrete sidewalk around the east and north of the site.

Utilities

- Sanitary sewer service to the site is provided to the east with an 8" main that serves the development.
- Water service is provided by extending the 8" public water main from the north to the south, completing the loop for the outparcels 3-5.
- Storm Water is provided from an existing 30" pipe to the south of the site that will connect the storm water for outparcels 3-5 to the detention basin to the south. The applicant is showing connecting their internal stormwater with a series of pipes to the development main storm line.
- The fire department FDC location is shown on the south side of the building in the dumpster pad area. Violet Township Fire Dept. recommends that it be relocated as a remote FDC located to the south of the electric transformer so it is parallel with the private hydrant in the parking island.

The outparcel development pattern book discusses that all service areas, storage areas and refuse enclosures shall be screened from public view (all roads), and screened from adjacent sites and be constructed with decorative construction materials on all four sides. All utilities are to be screened by landscape or buildings to the extent allowable.

- The dumpster enclosure is proposed to be a 8 foot three sided brick enclosure with metal gate screened to the south by arborvitae.
- The electric transformer is on the west side of the building adjacent to the cooler. Staff recommends that the transformer be relocated to be behind the 3 arborvitae located to the south of the transformer.

Landscaping and Lighting

The Meijer outparcel development pattern book discusses that the landscaping shall blend with the area and shall be provided at the base of buildings to anchor them to the surrounding environment. Trees shall be used through paved areas to reduce heat build-up and glare and dense landscaping and architectural treatments shall be used to screen storage areas, trash enclosures, utility cabinets, and other similar elements.

The development pattern book requires the interior landscaping area shall be a minimum of 10% of the total area of the parking lot pavement and shall be used to visually break up the pavement, provide runoff filtration and provide landscaping walking paths between parking lots and the building. All

parking areas are to be screened from all roads with evergreen or deciduous hedge with a minimum 18” installation and maintained at a 4 foot height. The hedges can be staggered or broken up by masonry columns or trees to prevent monotony.

Parking lots shall incorporate 1 tree island per 6 parking spaces with a minimum of 1 shade tree per island. Islands must be a minimum of 8 feet curb-face to curb-face and no less than 100 square feet. Each tree within the island must be able to mature to a canopy of 20 feet minimum. The applicant is showing 16 trees around the parking lot meeting this requirement.

The building is required to provide a minimum planting width of 3 feet adjacent to the building with multi-stemmed ornamental trees, shrubs, perennial flowers and ground cover, consisting of no less than 40% of the building perimeter. The building perimeter landscaping meets this requirement.

The proposed lighting plan features nine (9) parking lot lights that are proposed to be a max 16 foot tall with a decorative bell shaped fixture. The proposed lighting meets the specs of the outparcel development book.

Architecture

The Meijer outparcel development pattern book requires that similar colors, materials and textures of the buildings need to match that of the Meijer store. Details and features on the Meijer building should be incorporated to the smaller scale of the outparcel developments. All sides of the buildings shall express a consistent architectural detail and character.

The outparcel development pattern book states that buildings shall be designed to reduce their visual impact and provide a human scale by installing elements such as planters and site walls, architectural wainscot treatments, pronounced eaves and cornices, subtle changes in color and texture and breaking down buildings into distinct masses while providing covered pedestrian frontages and recessed entries. The development pattern book prohibits gradation in paint color, extended bands of vibrant or contrasting colors/logos, long uninterrupted expanses of glass and floor to ceiling glass storefront treatments.

Buildings with flat roofs are required to have the integration of strong cornice lines. All flat roofs shall be required to have a parapet and or means of screening all rooftop mechanical equipment. The proposed building has a flat roof and the applicant indicates that it will meet the screening requirements with a metal HVAC screening.

All buildings are required to be traditional and natural in appearance such as brick, precast stone, wood and glass. No less than 60% of each façade shall be brick or stone. The proposed building is comprised of brick, stone and Eifs and meets the 60% brick requirement.

The street frontage of the building walls shall be no less than 40% window glass. The applicant is proposing 46.3% window glass on the Diley Road elevation.

Signage

The Meijer Outparcel Development Text has the following signage regulations:

1. When multiple corporations share one site, signs shall be integrated as one (1) unit to create shared identity for the property to the extent permitted by the ordinance or be located and or designed as a package.

2. Wall signs shall be composed of individual letters.
 - a. Back lit or indirectly lit individual letters are generally desirable.
 - b. Internally illuminated signs are prohibited.
 - c. Visible raceways and transformers for individual letters are not permitted.
 - d. Wall sign character height is max 24 inches.
 - e. Wall signs shall not exceed 1 square foot per linear foot of building frontage of the individual business. No individual sign shall exceed 200 sq. ft.
3. One wall sign per individual tenant frontage. Corner lots shall be allowed two (2) wall signs, one facing each roadway.
4. No roof signs. No signs with animation. No banners as permanent signs.
5. Each tenant may have a projecting sign not to exceed 4 sq. ft.
6. No monument signs permitted for the outlots.

The applicants signage drawings show metal individual letters that are back-lit on an oval background meeting the requirements for the wall signage.

Staff Recommendation

Staff recommends that Final Development Plan application FDP-20-001 be approved with the following conditions:

1. The electric transformer be screened on three sides by the arborvitae shown on the plan.
2. The FDC be relocated per Violet Township Fire Dept. recommendation.



City of Canal Winchester

36 South High Street
Canal Winchester, Ohio 43110
Development Department
Phone (614) 837-7501 Fax (614) 837-0145

DEVELOPMENT PLAN APPLICATION

_____ Preliminary X Final

rev. 09/24/2013

PROPERTY OWNER

Name Shooters Franchise OH 5, LLC

Address _____

Daytime Phone 614-419-5021 Email hedge43@gmail.com

APPLICANT

Name Leesman Engineering and Associates - Tim Dwyer

Address 4820 Glenway Avenue

Daytime Phone 513-702-0571 Email email@leesmanengineering.com

Address/Location of Subject Property Meijer Store #246 - Outlot 3

Tax Parcel ID (not yet created) Current Zoning Planned Industrial Acreage 1.99

Attach a current survey (within 2 years) of the subject property and all supporting materials as required by Chapter 1141 and Chapter 1173 as applicable (see attachment). Additional information may be required by the Planning and Zoning Administrator or the Planning and Zoning Commission.

I certify that the information provided with this application is correct and accurate to the best of my ability.

1-8-2020

Property Owner's or Authorize Agent's Signature

Date

DO NOT WRITE BELOW THIS LINE

Date Received: ___/___/___ Fee: \$ ___ Paid Historic District: ___ Yes ___ No
Preservation District: ___ Yes ___ No
Date of Action: ___/___/___ Application ___ No
Expiration Date: ___/___/___ Approved: ___ Yes
___ Yes, with conditions
Tracking Number: PDP - _____



LEESMAN ENGINEERING & ASSOCIATES

2720 Topichills Dr. ♦ Cincinnati, OH 45248 ♦ Phone 513-417-0420 ♦

Email: email@leesmanengineering.com

OUTLOT 3

1.989 ACRES

VILLAGE OF CANAL WINCHESTER, FAIRFIELD COUNTY, OHIO

SITUATED IN THE STATE OF OHIO, COUNTY OF FAIRFIELD, TOWNSHIP OF VIOLET AND CITY OF CANAL WINCHESTER, BEING IN SECTION 28, TOWNSHIP 15, RANGE 20, CONGRESS LANDS, BEING PART OF THE 56.115 ACRE TRACT OF LAND CONVEYED TO MEIJER STORES LIMITED PARTNERSHIP OF RECORD IN OFFICIAL RECORD 1459, PAGE 766, RECORDER'S OFFICE, FAIRFIELD COUNTY OHIO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A MONUMENT BOX FOUND WITH A 3/4-INCH SOLID IRON PIPE, 36 INCHES LONG WITH AN ALUMINUM CAP INSCRIBED TRUCCO CONSTRUCTION ODOT C/L P.S. 7961, IN THE CENTERLINE OF DILEY ROAD AT THE NORTHWESTERLY CORNER OF SAID SECTION 28, THE SAME BEING THE NORTHEASTERLY CORNER OF SECTION 29, THE SOUTHEASTERLY CORNER OF SECTION 20; THENCE S 04°42'50" W, WITH THE CENTERLINE OF SAID DILEY ROAD, THE WESTERLY LINE OF SAID SECTION 28, A DISTANCE OF 284.41 FEET TO A POINT;

THENCE WITH THE COMMON PROPERTY LINE OF A 0.066 ACRE TRACT CONVEYED AS PARCEL 46-WDV TO BOARD OF FAIRFIELD COUNTY COMMISSIONERS BY DEED OF RECORD IN OFFICIAL RECORD 1180, PAGE 977, AND A 0.879 ACRE TRACT CONVEYED AS PARCEL 40-WDV TO BOARD OF FAIRFIELD COUNTY COMMISSIONERS BY DEED OF RECORD IN OFFICIAL RECORD 1324, PAGE 81, S 87°21'47"E 65.56 FEET TO A SET IRON PIN AND CAP #8352 AND THE TRUE POINT OF BEGINNING;

THENCE THE FOLLOWING SEVEN (7) COURSES;

- 1) S87°21'47"E A DISTANCE OF 16.63 FEET TO A SET IRON PIN AND CAP #8352;
- 2) N22°15'01"E A DISTANCE OF 34.64 FEET TO A SET IRON PIN AND CAP #8352;
- 3) S85°14'15"E A DISTANCE OF 303.70 FEET TO A SET IRON PIN AND CAP #8352;
- 4) S16°32'12"E A DISTANCE OF 33.09 FEET TO A SET IRON PIN AND CAP #8352;
- 5) S04°45'45"W A DISTANCE OF 226.08 FEET TO A SET IRON PIN AND CAP #8352;
- 6) N85°14'35"W A DISTANCE OF 338.18 FEET TO A SET IRON PIN AND CAP #8352;
- 7) N03°35'30"E A DISTANCE OF 223.33 FEET TO A SET IRON PIN AND CAP #8352 TO THE TRUE POINT OF BEGINNING.

SAID PARCEL OF LAND CONTAINING 1.989 ACRES, MORE OR LESS SUBJECT HOWEVER TO ALL COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, AND EASEMENTS CONTAINING IN ANY INSTRUMENT OF RECORD PERTAINING TO THE ABOVE DESCRIBED TRACT OF LAND. THIS DESCRIPTION WAS PREPARED FROM A FIELD SURVEY PERFORMED BY STEVEN J. LEESMAN OHIO LICENSE #8352 ON AUGUST 16, 2019 WITH BEARINGS BASED UPON LEGAL DESCRIPTION OF OFFICIAL RECORD 1459, PAGE 766, RECORDER'S OFFICE, FAIRFIELD COUNTY OHIO. ALL PINS SET ARE 5/8" X 36" WITH CAP S.J. LEESMAN WITH CAP #8352.

STEVEN J. LEESMAN

DATE

OH#8352

SHOOTERS SPORTS GRILL

XXXX DILEY ROAD
CANAL WINCHESTER, OHIO 43110

LOT DATA

OUTLOT - MELJER CANAL WINCHESTER, OHIO
PARCEL ID: _____
ZONING - PLANNED INDUSTRIAL

SITE DATA

USES
PROPOSED USE: RESTAURANT
HOURS OF OPERATION: 11am - 1am (SUNDAY TO THURSDAY)
11am - 2:30am (FRIDAY & SATURDAY)

PROPOSED BUILDING:
FLOOR AREA: 7,510 SF (INCLUDING PATIO)

F.A.R. CALCULATION
F.A.R. = 7,510 SQ. FT. / 86,637 SQ. FT. = 8.7%

SETBACK REQUIREMENTS- MELJER SETBACKS
BUILDING
FRONT: 50' (WEST) *BUILD-TO LINE
SIDE: 40' (NORTH)
SIDE: 25' (SOUTH)
REAR: 25' (EAST)

PARKING ANALYSIS

USE: RESTAURANT
PARKING REQUIRED:
REQ(MIN): 1 PER EACH (100) SQUARE FEET OF FLOOR AREA (INCLUDING PATIO)
MINIMUM = 7,510/100 = 76 SPACES
REQ(MAX): (125% x FLOOR AREA)/100
MAXIMUM = 9,387/100 = 94 SPACES

PARKING PROVIDED:

TOTAL PARKING: 86 SPACES
REQUIRED ADA ACCESSIBLE: 4 SPACES (1 VAN & 3 CAR)
PROVIDED ADA ACCESSIBLE: 4 SPACES

FLOOD DATA

MAP NUMBER: NO FEMA FLOOD ZONE STUDY
COMMUNITY NUMBER: 390169
PANEL -
ZONE X
MAP REVISED: NO FLOOD MAP AVAILABLE

ISR CALCULATIONS:

PROPOSED LOT - 1.99 ACRES (86,637 SQ. FT.)
PROPOSED IMPERVIOUS AREA= 48,128 SQ. FT.
ISR= 55.6% IMPERVIOUS

DISTURBED AREA:
1.70 ACRES (ON-SITE)

VICINITY MAP:

N.T.S.



OWNER/DEVELOPER:

SHOOTERS FRANCHISE OH 5, LLC
(614) 419-5021
hedge43@gmail.com

PREPARER/ENGINEER:

LEESMAN ENGINEERING & ASSOC.
ENGINEER: STEVEN J. LEESMAN, PE E-60565
PREPARER: MICHAEL CHANDLER
4820 GLENWAY AVE
CINCINNATI, OHIO 45238
PH: 513-304-7196

UTILITY NOTES AND OWNERS

The utility information shown hereon was taken from actual field evidence, utility agency records, or any other available evidence. Other utilities may exist and may not be shown, or may vary from where shown. No guarantee is expressed or implied in regard to the utility locations shown hereon. The Owner(s) and Contractor(s) should assume responsibility to verify utility existence, size, location, depth, and availability of service, and be solely responsible for contacting the utility location service prior to commencing construction.

WATER & SANITARY SEWER
CITY OF CANAL WINCHESTER
WATER TREATMENT FACILITY
223 N HIGH STREET
CANAL WINCHESTER, OHIO 43110

STORM
CITY OF CANAL WINCHESTER
PUBLIC SERVICES
400 ASHBROOK RD
CANAL WINCHESTER, OHIO 43110
614-834-5111

GAS
NORTHEAST OHIO NATURAL GAS
5640 LANCASTER-NEWARK RD NE
PLEASANTVILLE, OH 43148
800-237-2099

ELECTRIC
SOUTH CENTRAL POWER CO
110 DANVILLE PIKE
HILLSBORO, OH 45133
800-282-5064

CABLE
ATT & SPECTRUM

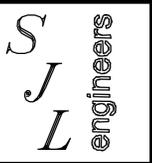
DRAWING INDEX

| SHT # | DESCRIPTION | DATE |
|--------|--|--------------|
| T 1 | TITLE SHEET / DESIGN CRITERIA / VICINITY MAP | 25 NOV. 2019 |
| ALTA | EXISTING CONDITIONS / ALTA SURVEY | 18 OCT. 2019 |
| C 1 | DEMOLITION AND EPSC PHASE 1 | 25 NOV. 2019 |
| C 2 | EPSC PHASE 2 | 25 NOV. 2019 |
| C 3 | SITE PLAN | 25 NOV. 2019 |
| C 4 | GRADING PLAN | 25 NOV. 2019 |
| C 4.1 | STORM SEWER PLAN | 25 NOV. 2019 |
| C 5 | UTILITY PLAN | 25 NOV. 2019 |
| | SITE LIGHTING PLAN | 5 DEC. 2019 |
| C 6 | DETAIL PAGE | 25 NOV. 2019 |
| C 7 | DETAIL PAGE | 25 NOV. 2019 |
| 634859 | CONTECH CS-5 WATER QUALITY UNIT DETAIL | 5 DEC. 2019 |
| L 1 | LANDSCAPE PLAN | 5 DEC. 2019 |
| L 2 | LANDSCAPE PLAN | 5 DEC. 2019 |

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------------|----|------|
| 1 | REVISIONS AND/OR ISSUES | | |



SHOOTERS SPORTS GRILL
 XXXX DILEY ROAD
 CANAL WINCHESTER, OHIO 43110
 LEESMAN ENGINEERING & ASSOC.
 ENGINEERING, SURVEYING, PLANNING
 2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0420



DRAWING TITLE

TITLE SHEET

PROJ. NO. DATE
SSG-CW 11/25/19
DRAWN CHECKED
MDC SJL

DRAWING NO.

T1

The undersigned hereby certifies, as of SEPTEMBER 9, 2019 to

and its successors, nominees and assigns as follows:

- a) I have surveyed, on the ground in accordance with the minimum Standard Detail Requirements for ALTA/ASCM Land Title Surveys as jointly established and adopted by the American Land Title Association and American Congress on Surveying & Mapping and National Society of Professional Surveyors, 2016 and this meets the requirements for an urban survey as defined therein, the property legally described hereof and that said legal description is correct, complete and accurate.
- b) The boundaries of the property as depicted in the plat were established by actual field measurements and the pins, monuments or other markers were set or found as shown.
- c) The size, dimensions and locations of all of the boundaries of the property, buildings, structures, fences and party walls and other improvements, recorded and visible unrecorded easements, streets, signs, drainage ditches, roads, railroads, streams, means of public access, rights of way, utility lines and connections, and set-back lines which affect the property are correctly and accurately shown hereon.
- d) All encroachments, overlaps or overhangs on easements, adjoining property, streets or alleys by any of said buildings, structures or other improvements, are as shown on the drawing. There are no encroachments, no overlaps or overhangs on said property by buildings, structures or other improvements situated on adjoining property and r/w except as shown.
- e) This plat correctly shows (i) the courses and measured distances of the exterior property lines of the property and any easements located on or affecting the property; (ii) the scale, north direction, the beginning point and point of reference from which the property is measured, the width of the streets on which the said property abuts, the lot and block number shown on any map or plat to which reference is made in the legal description of the property, together with the recording references for said map or plat; (iii) the address of the property; (iv) the location and number of parking spaces and the total area of the property in acres and square feet and any easements located on or affecting the property; (v) the dimensions of all buildings on the property at ground surface level and the distance therefrom to the nearest facing exterior property lines; and (vi) names of adjoining owners.
- f) The property lines shown as surveyed and described on the plat is contiguous along its entire boundaries and is not enclosed within the perimeters thereof.
- g) The dimensions shown hereon are expressed in feet and decimal part thereof.
- h) All bearings are related to an assumed meridian and are intended to indicate angles only.
- i) All parcels are contiguous with each other and there are no gaps or gores between or among parcels.
- j) A physical examination of the property reveals no apparent use of the property for pathways, driveways or roadways for which there are not recorded easements nor for solid waste dump, sump, sanitary land fill, drilling, excavating, building, street or sidewalk construction or repairs, or any changes in street right-of-way lines, either completed or proposed, nor does it serve adjoining property for drainage, ingress, egress or any other purpose.
- k) The property has direct frontage to a dedicated, complete and accepted public street maintained by governmental authority know as DILEY ROAD with NO DIRECT ACCESS. Access is being provided via common access drive and easement on and along the NORTHERN property line of subject property. Shared-Access Drive is UNNAMED.
- l) The property does NOT lie within a flood plain. NO FEMA FLOOD MAP AVAILABLE.
- m) A physical examination of the property does not reveal evidence of cemeteries.
- n) There are no parking restrictions on said property.
- o) No portion of the property lies within a federally designated wetlands protection area as determined by the maps of the Army Corps of Engineers, nor within any designated flood hazard area as determined by the U.S. Department of Housing and Urban Development, the Federal Emergency Management Agency or other federal, state or local government entity.
- p) There was NO evidence of building construction during survey.

PROPERTY INFORMATION

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE BEARING OF NORTH 04°42'50" EAST FOR THE CENTERLINE OF DILEY ROAD AS SHOWN ON THE DEED TO MEIJER STORES LIMITED PARTNERSHIP OF RECORD IN O.R. 1459, PG. 766 OF THE FAIRFIELD COUNTY, OHIO RECORDER'S OFFICE.

FLOOD DATA

MAP NUMBER : NO FEMA FLOOD ZONE STUDY
 COMMUNITY NUMBER: 390169
 PANEL -
 ZONE X
 MAP REVISED: NO FLOOD MAP AVAILABLE

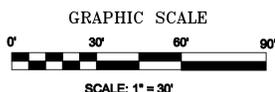
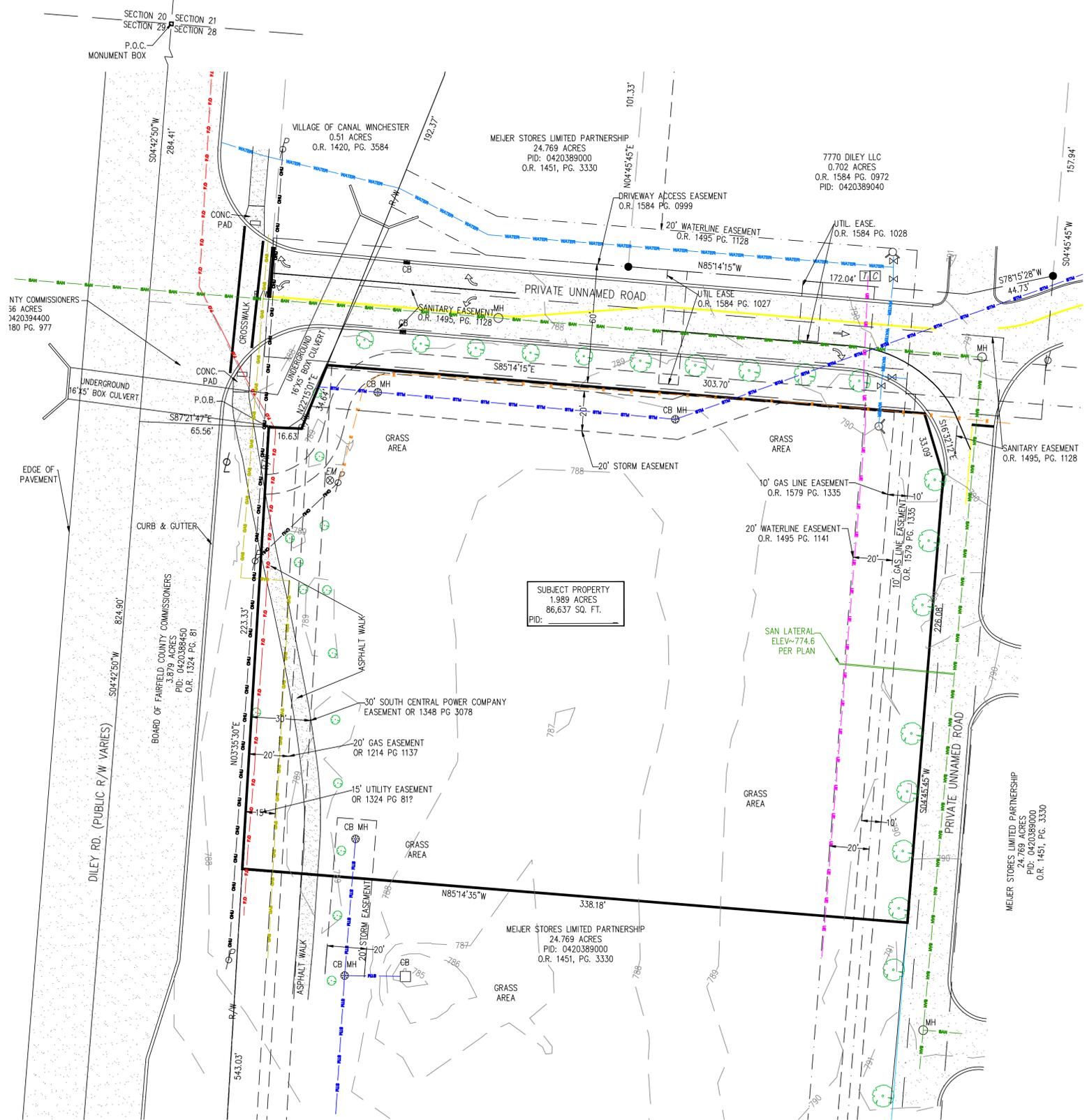
ENCROACHMENT NOTES

DRAWING NOTES

- 1) ALL UTILITIES ARE SHOWN BY VISUAL INSPECTION OF THE SITE OR MARKINGS ON THE GROUND BY OTHERS.
- 2) FROM OBSERVED EVIDENCE AS SHOWN HEREON, GAS, ELECTRIC, STORM, SANITARY SEWER, AND TELEPHONE ARE AVAILABLE FOR THE SUBJECT PROPERTY.
- 3) DATE OF TITLE COMMITMENT: -----

LEGEND

- | | |
|----------------|-------------------|
| ● FOUND I.P. | CB CATCH BASIN |
| ✕ FOUND C.N. | MH MAN HOLE |
| ⊕ LIGHT POLE | EM ELECTRIC METER |
| ⊙ GAS VALVE | ⊠ CABLE BOX |
| ⊙ FIRE HYDRANT | ⊠ TELEPHONE BOX |
| ⊙ WATER VALVE | |

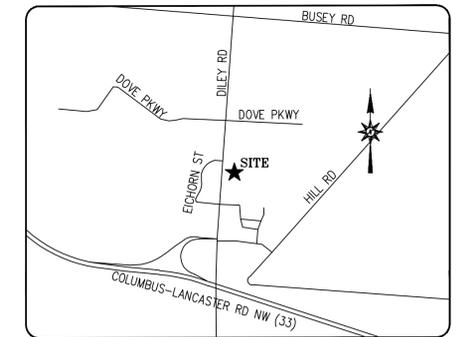


LEESMAN ENGINEERING & ASSOC.
 ENGINEERING, SURVEYING, PLANNING
 2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0420

| DRAWING DATA | REVISIONS | |
|---------------|-----------|----|
| | DATE | BY |
| SCALE: 1"=30' | | |
| DRAWN BY: BRR | | |
| CHECKED BY: | | |
| DWG. No.: | | |

LEGAL DESCRIPTION

SCH. B II ITEMS. COMMITMENT NO. 000



VICINITY MAP
N.T.S.

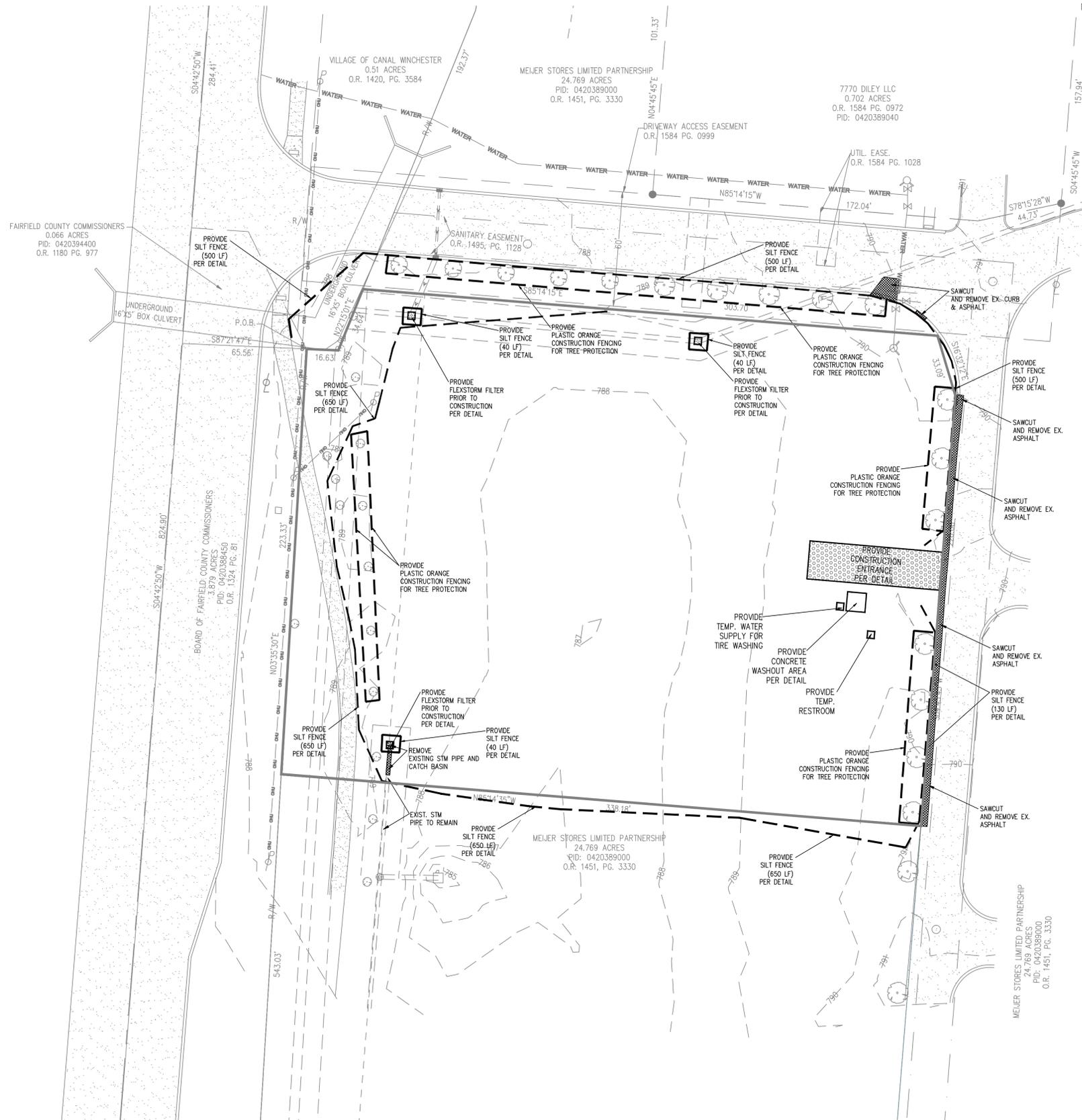
ALTA/NSPS LAND TITLE SURVEY

Date of PLAT/MAP: SEPTEMBER 9, 2019



PRELIMINARY

Steven J. Leesman, Leesman Engineering & Associates
 Registered Land Surveyor
 Reg. No. 8352
 State of Ohio
 Date of survey: AUGUST 26, 2019
 Contact info: email@leesmanengineering.com



DEMOLITION NOTES

- 1) ALL EXISTING UTILITIES ARE SHOWN PER PLANS PROVIDED BY OWNER AND UTILITY DEPARTMENTS. CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO START OF CONSTRUCTION.
- 2) MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED. EPSC BMP'S (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED PER THE PLAN AND CLERMONT COUNTY STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDDED AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM THE STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES. SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, OR CATCH BASIN. WHERE CONSTRUCTION OR LAND DISTURBING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICAL, BUT NO LATER THAN 14 DAYS AFTER ACTIVITY HAS CEASED.

SITE DEMOLITION NOTES:

1. EXISTING TREES ALONG PERIMETER OF SITE TO REMAIN. CONTRACTOR TO LOCATE PROPOSED SIDEWALK AND NOTIFY DESIGN ENGINEER OF CONFLICTS (IF ANY).

EROSION CONTROL NOTES

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- 2) USE TEMPORARY SEEDING AND/OR VEGETATION TO PROTECT AREAS THAT ARE BARE SOIL
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- 4) NO WORK SHALL COMMENCE UNTIL ALL SEDIMENT AND EROSION PROTECTION MEASURES HAVE BEEN INSTALLED AND INSPECTED.
- 5) ALL SEDIMENT AND EROSION MEASURES ARE TO BE INSPECTED ON A REGULAR BASIS, IF AT ANY TIME THESE MEASURES ARE TO FAIL THE CONTRACTOR IS TO REPAIR IMMEDIATELY.
- 6) UPON COMPLETION OF GRADING A MINIMUM OF 4 INCHES OF TOPSOIL IS TO BE PLACED OVER GRASSED AREAS. FINAL GRASS SEEDING IS TO BE PER LANDSCAPE ARCHITECT PLAN.
- 7) WHEN PROJECT IS COMPLETE AND INSPECTED THE EROSION CONTROL MEASURES ARE TO BE REMOVED AND SEEDDED PER LANDSCAPE PLAN FINAL SEEDING CHART.
- 8) CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND FUELING EQUIPMENT. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE CONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITTEE.
- 9) STEEP SLOPES (35% GRADE OR GREATER) SHALL BE TEMPORARILY STABILIZED NOT LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY ON THE SLOPE HAS TEMPORARILY OR PERMANENTLY CEASED.

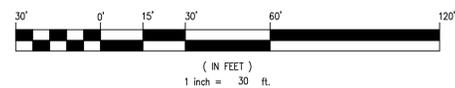
EPSC PHASING

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4. INSTALL CONC. WASHOUT
5. BEGIN GRADING AND CONSTRUCTION OF STORM DRAINAGE
6. INSTALL INLET PROTECTION ON EACH STRUCTURE AS CONSTRUCTED
7. TEMPORARY SEED AND STRAW DISTURBED AREAS
8. COMPLETE CONSTRUCTION
9. PERMANENT SEED AND STRAW ENTIRE SITE
10. REMOVE SILT FENCE AND INLET PROTECTION ON STRUCTURES

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EPSC & DEMO PLAN

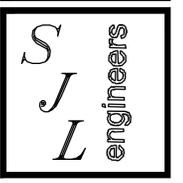


3 WORKING DAYS
BEFORE YOU DIG
UTILITIES PROTECTION SERVICE

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------------|----|------|
| 1 | REVISIONS AND/OR ISSUES | | |



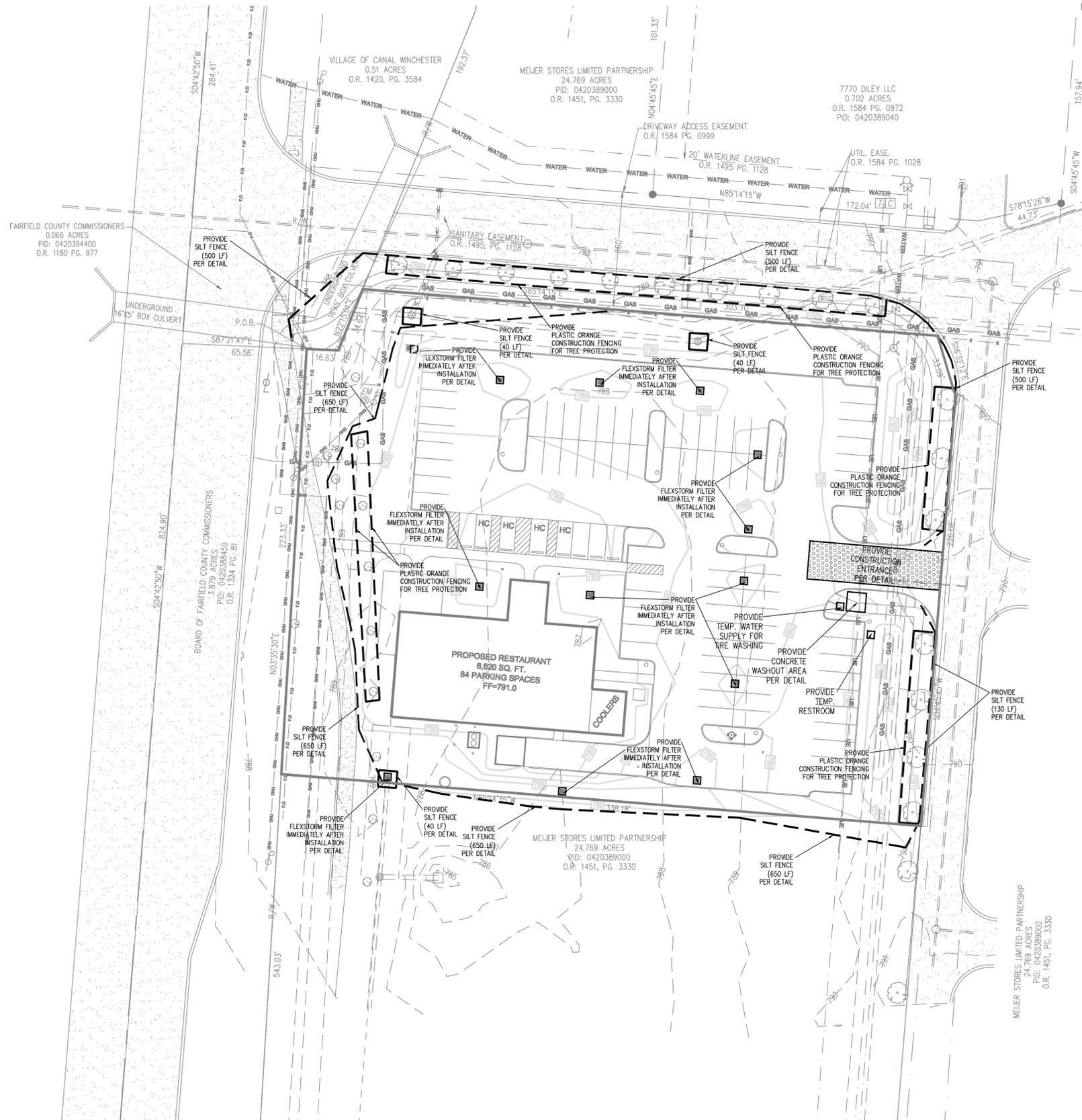
SHOOTERS SPORTS GRILL
XXXX DILEY ROAD
CANAL WINCHESTER, OHIO 43110
LEESMAN ENGINEERING & ASSOC.
ENGINEERING, SURVEYING, PLANNING & ASSOC.
2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0420



DRAWING TITLE

EPSC & DEMO PLAN
PROJ. NO. SSG-CW
DATE 11/25/19
DRAWN MDC
CHECKED SJL

DRAWING NO.
C1



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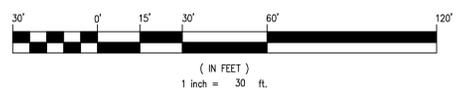
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EPSC-PHASE 2

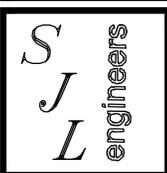


3 WORKING DAYS BEFORE YOU DIG UTILITIES PROTECTION SERVICE

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------------|----|------|
| 1 | REVISIONS AND/OR ISSUES | | |



SHOOTERS SPORTS GRILL
 XXXX DILEY ROAD
 CANAL WINCHESTER, OHIO 43110
LEEBMAN ENGINEERING & ASSOC.
 ENGINEERING, SURVEYING, PLANNING & ASSOC.
 2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0420



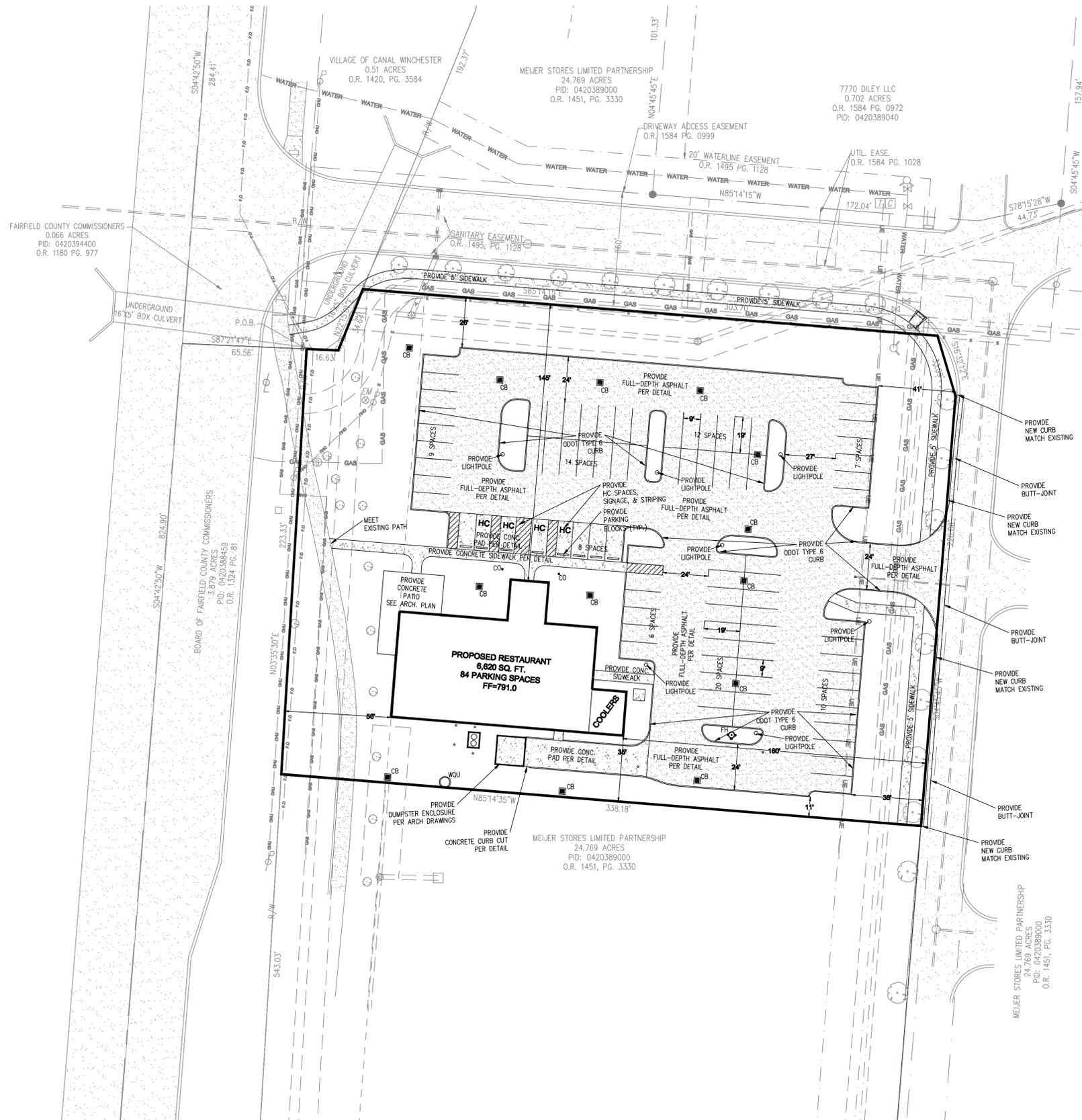
DRAWING TITLE

EPSC-PHASE 2

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| PROJ. NO. SSG-CW | DATE 11/25/19 |
| DRAWN MDC | CHECKED SJL |

DRAWING NO.

C2



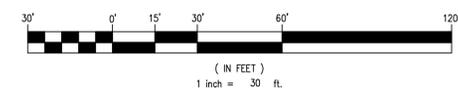
CONSTRUCTION NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
3. ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE ENGINEER IMMEDIATELY.
4. CLERMONT COUNTY WATER AND SEWER DEPARTMENT STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN ALL UTILITY CONSTRUCTION.
5. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS AND IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO EXTRA COST TO THE OWNER.
6. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OR OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
7. CONTRACTOR SHALL COORDINATE INSTALLATION OF WATER SERVICE WITH DEPARTMENT OF PUBLIC WORKS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, PURCHASE AND/OR FEES ASSOCIATED WITH ALL APPARATUS INCLUDING: WATER METERS, BACK FLOW PREVENTERS, POST INDICATOR VALVES, AND ENCLOSURES.
8. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF WATER AND SEWER LINE IS (10') TEN FEET. THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINES IS (18") EIGHTEEN INCHES.
9. ALL DOMESTIC WATER LEADS SHALL HAVE REDUCED PRESSURE VALVES AS DIRECTED BY THE OWNER'S ARCHITECT.
10. EXISTING UTILITIES LOCATIONS ARE APPROXIMATE AND SHOULD BE VERIFIED FOR LOCATION AND NUMBER BY THE CONTRACTOR.
11. CONTRACTOR TO COORDINATE INSTALLATION OF ALL UTILITIES BY OTHERS WITH HIS WORK.
12. ALL EASEMENTS TO BE PLATTED BY THE CONTRACTOR (UNLESS OTHERWISE NOTED).
13. ANY UTILITIES NOT SHOWN THAT REQUIRE RELOCATION OR REMOVAL IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS TO REPORT ALL DISCREPANCIES TO THE ENGINEER IMMEDIATELY UPON DISCOVERY.

GENERAL NOTE

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS IN THE AREA OF PROPOSED WORK. IF CONDITIONS OTHER THAN THOSE SHOWN ON THE DRAWINGS ARE ENCOUNTERED, THE CONTRACTOR MUST NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
2. THE LOCATIONS OF THE EXISTING UTILITIES SHOWN ON THE PLAN FOR PLANNING PURPOSES ONLY AND HAVE BEEN OBTAINED BY FIELD CHECKS AND SEARCHES OF AVAILABLE RECORDS AND ARE BELIEVED TO BE CORRECT. HOWEVER, THE CONTRACTOR MUST VERIFY EXACT LOCATIONS BEFORE BEGINNING CONSTRUCTION. CONTACT THE UTILITIES PROTECTION SERVICE AT LEAST TWO (2) WORKING DAYS IN ADVANCE OF CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING STRUCTURES AND UTILITIES DURING OR RESULTING FROM CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING AND REPLACING ALL UTILITIES IGNORED TO COMPLETE AND UNDERGROUND UTILITIES. THIS PROJECT INCLUDING ALL OVERHEAD.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, INSPECTIONS, ETC. COORDINATION REQUIRED BY THE APPLICABLE UTILITY. THE CONTRACTOR SHALL MAKE ALL RESTORATION, REPLACEMENT, AND REPAIR IN ACCORD WITH THE APPLICABLE REQUIREMENTS OF THE UTILITY. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE OF OHIO CONSTRUCTION AND MATERIAL SPECIFICATIONS.
5. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASINS, EARTH DIKES, TEMPORARY OR PERMANENT SEEDING, MULCHING AND/OR MULCH NETTING OR ANY OTHER GENERALLY ACCEPTED METHODS TO PREVENT EROSION, MUD AND DEBRIS FROM BEING DEPOSITED ON OTHER PROPERTY, ON NEWLY CONSTRUCTED OR EXISTING ROADS, OR INTO EXISTING SEWERS OR NEW SEWERS WITHIN THE WORK AREA. THE CONTRACTOR SHALL CONTINUALLY MONITOR THE CONSTRUCTION PROGRESS AND MAKE ANY NECESSARY TEMPORARY ADJUSTMENTS TO MAINTAIN THIS CONTROL.
6. ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO BE FINAL GRADE AND ARE TO REMAIN SO, SHALL RECEIVE VEGETATIVE STABILIZATION.
7. FOLLOW WRITTEN DIMENSIONS ALWAYS. DO NOT SCALE.
8. ADJUSTMENTS TO GRADE MAY BE ALLOWED TO PROVIDE A BALANCED SITE. NO ADJUSTMENT TO GRADE ARE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
9. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORD WITH VILLAGE OF AMELIA AND ODOT DETAILS AND SPECIFICATIONS.
10. SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS
11. LIGHTING TO BE SHOWN ON BUILDING WITH ARCHITECTURAL PLANS
12. ROOF DRAINS, FOUNDATION DRAINS AND OTHER STORM WATER CONNECTIONS TO SANITARY SEWER ARE PROHIBITED

SITE PLAN

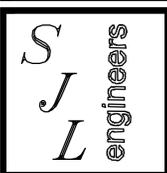


3 WORKING DAYS
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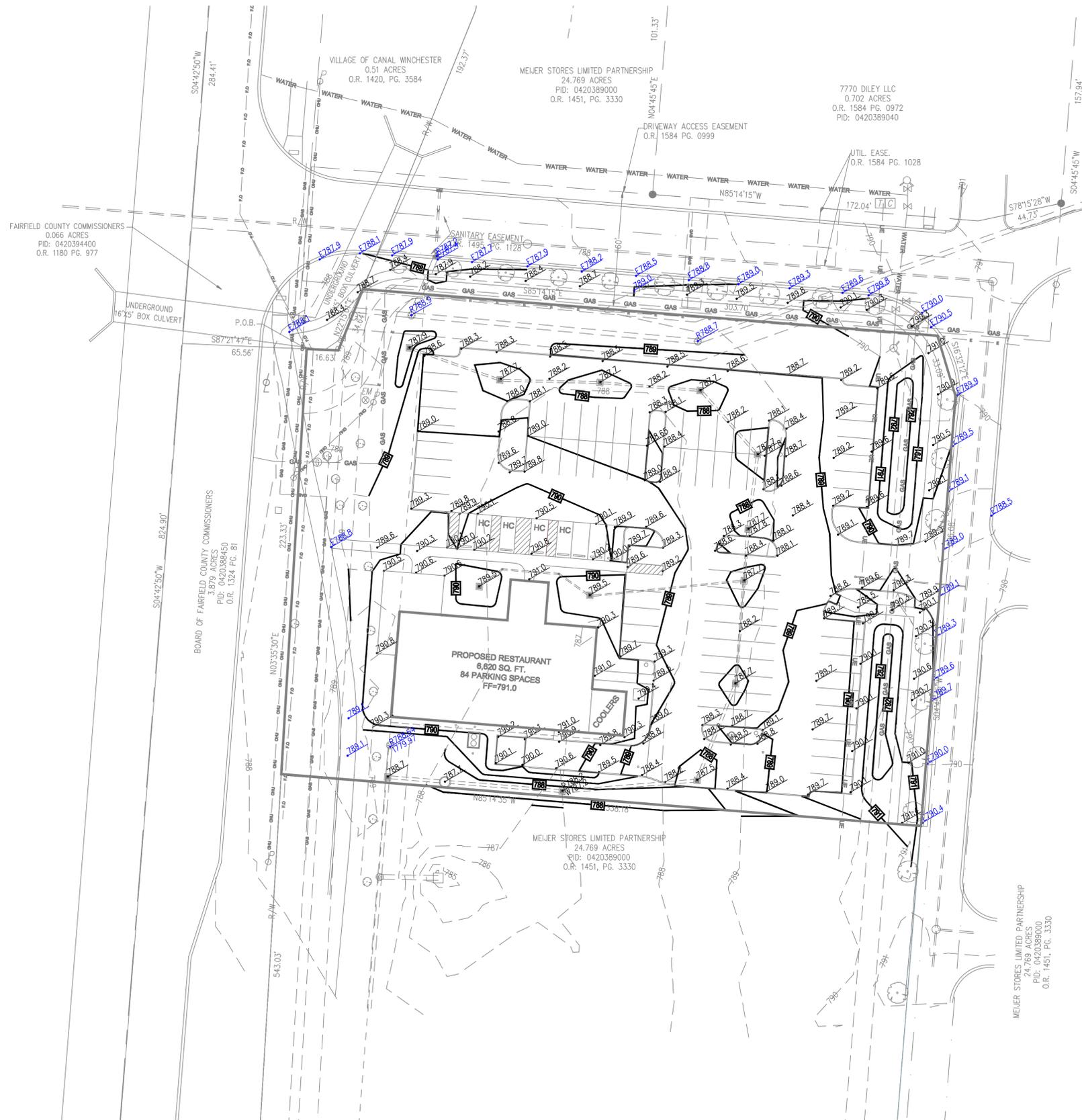
DRAWING TITLE

SITE PLAN

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| PROJ. NO. SSG-CW | DATE 11/25/19 |
| DRAWN MDC | CHECKED SJL |

DRAWING NO.

C3



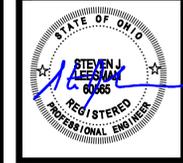
| TEMPORARY SEEDING | | | |
|--------------------|--------------|-----------------|-------------------------|
| SPECIES | SEEDING RATE | | SEEDING DATES |
| | LB./AC. | LB./1000 sq.ft. | |
| OATS | 4 BUSHEL | 3 | MARCH 1 TO AUGUST 15 |
| TALL FESCUE | 40 | 1 | |
| ANNUAL RYEGRASS | 40 | 1 | |
| PERENNIAL RYEGRASS | 40 | 1 | |
| TALL FESCUE | 40 | 1 | |
| ANNUAL RYEGRASS | 40 | 1 | |
| RYE | 2 BUSHEL | 3 | AUGUST 16 TO NOVEMBER 1 |
| TALL FESCUE | 40 | 1 | |
| ANNUAL RYEGRASS | 40 | 1 | |
| WHEAT | 2 BUSHEL | 3 | |
| TALL FESCUE | 40 | 1 | |
| ANNUAL RYEGRASS | 40 | 1 | |
| PERENNIAL RYEGRASS | 40 | 1 | |
| TALL FESCUE | 40 | 1 | |
| ANNUAL RYEGRASS | 40 | 1 | |

USE MULCH ONLY, SOODING PRACTICES NOVEMBER 1 TO SPRING SEEDING
OR DORMANT SEEDING
NOTE: OTHER

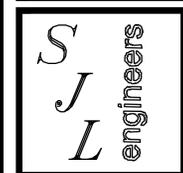
| PERMANENT SEEDING | | | |
|---------------------------|--------------|-----------------|-------------------------------|
| SEED MIX | SEEDING RATE | | NOTES |
| | LB./AC. | LB./1000 sq.ft. | |
| GENERAL USE | | | |
| CREeping RED FESCUE | 20-40 | 1/2-1 | MARCH 1 TO AUGUST 15 |
| DOMESTIC RYEGRASS | 10-20 | 1/4-1/2 | |
| KENTUCKY BLUEGRASS | 10-20 | 1/4-1/2 | |
| TALL FESCUE | 40 | 1 | |
| DWARF FESCUE | 40 | 1 | |
| STEep BANKS OR CUT SLOPES | | | |
| TALL FESCUE | 20-40 | 1 | |
| CROWN VETCH TALL FESCUE | 10-20 | 1/4-1/2 | DO NOT SEED LATER THAN AUGUST |
| FLAT PEA TALL FESCUE | 20 | 1/2 | DO NOT SEED LATER THAN AUGUST |
| ROAD DITCHES AND SWALES | | | |
| TALL FESCUE | 40 | 1 | |
| DWARF FESCUE | 90 | 2 1/2 | |
| KENTUCKY BLUEGRASS | 5 | | |
| LAWNS | | | |
| KENTUCKY BLUEGRASS | 60 | 1 1/2 | |
| PERENNIAL RYEGRASS | 60 | 1 1/2 | |
| KENTUCKY BLUEGRASS | 60 | 1 1/2 | FOR SHADED AREAS |
| CREeping RED FESCUE | 60 | 1 1/2 | FOR SHADED AREAS |

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------------|----|------|
| 1 | REVISIONS AND/OR ISSUES | | |



SHOOTERS SPORTS GRILL
XXXX DILEY ROAD
CANAL WINCHESTER, OHIO 43110
LEESMAN ENGINEERING & ASSOC.
ENGINEERING, SURVEYING, PLANNING
2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0420



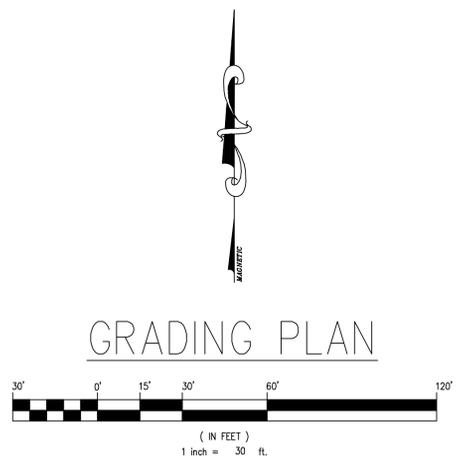
DRAWING TITLE

GRADING PLAN

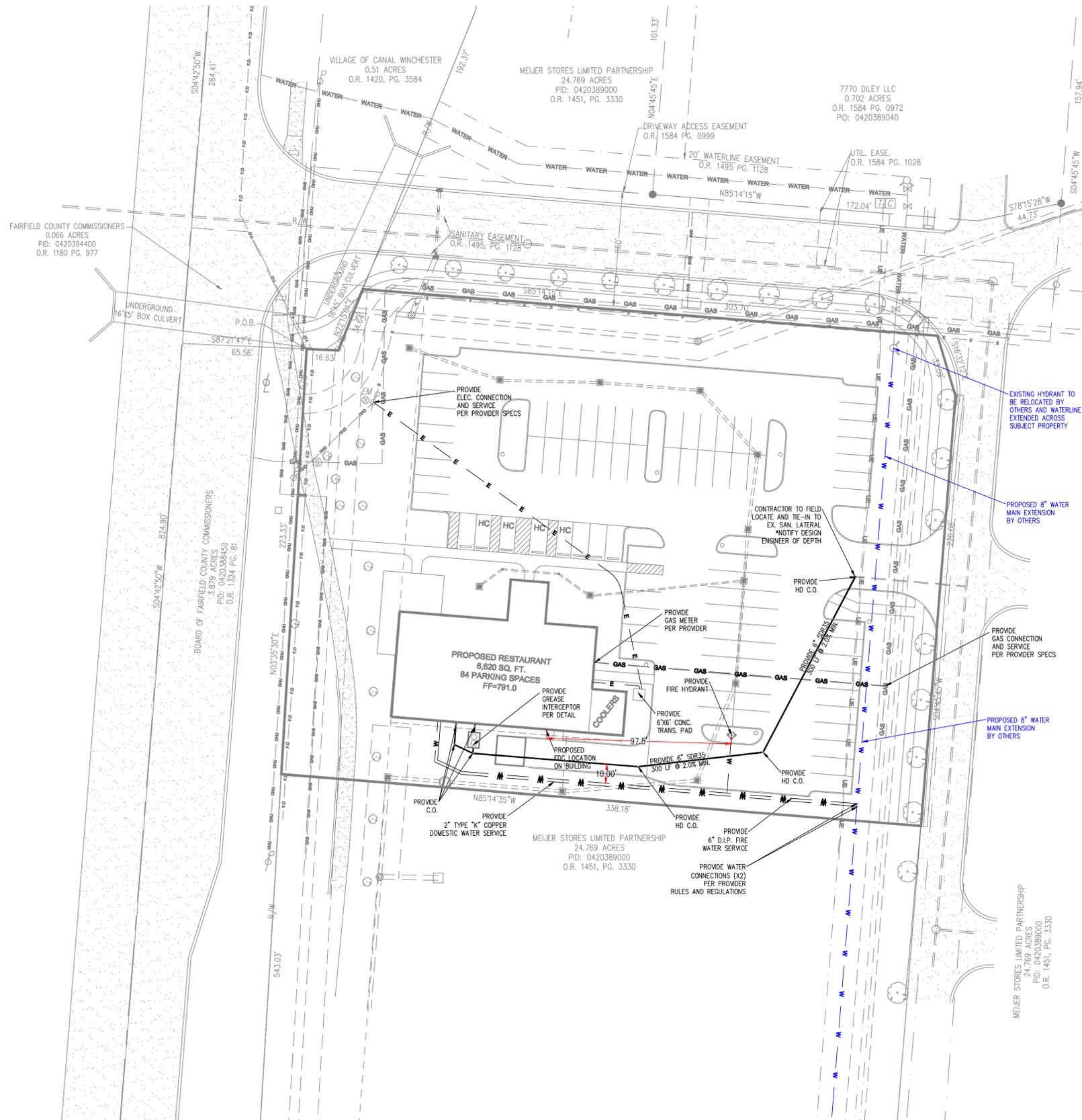
PROJ. NO. SSG-CW
DATE 11/25/19
DRAWN MDC
CHECKED SJL

DRAWING NO.

C4



3 WORKING DAYS
BEFORE YOU DIG
UTILITIES PROTECTION SERVICE

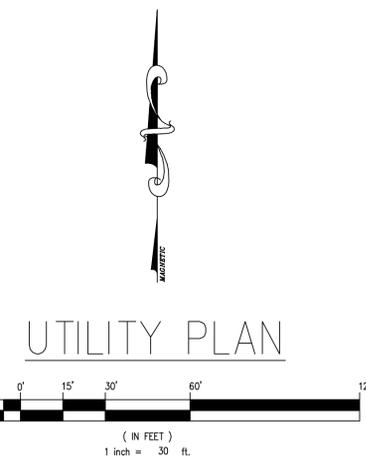


UTILITY NOTES:

- A. VERIFY EXACT LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
 - B. ROOF DOWN SPOUTS FROM THE PROPOSED BUILDING ARE TO DRAIN INTO STORM SEWER SYSTEM. CONNECTION TO SANITARY SEWER SYSTEM IS STRICTLY PROHIBITED.
 - C. TRAFFIC MARKING PAINT IN RIGHT-OF-WAY SHALL BE ODOT ITEM 644 THERMOPLASTIC. PARKING LOT MARKING PAINT SHALL BE ALKYD-RESIN TYPE, AASHTO M248 TYPE 1 4" STRIPE WIDTH, COLOR: WHITE.
 - D. EACH UTILITY CONTRACTOR IS TO ADJUST ANY UTILITY ELEMENT INTENDED TO BE FLUSH WITH GRADE (CLEANOUTS, MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- CITY OF CANAL WINCHESTER/LOCAL UTILITY PROVIDER IS NOT RESPONSIBLE FOR ADJUSTING ANY UTILITY INCLUDING WATER, SEWER, ELECTRICAL, TELECOMMUNICATIONS, OR STORM UTILITY ELEMENTS. ALL ITEMS THAT REQUIRE ADJUSTMENTS DUE TO CONSTRUCTION ACTIVITIES SHALL BE THE RESPONSIBILITY OF OWNER.
- E. SEWER PIPE TO BE AS INDICATED: POLYVINYL CHLORIDE PIPE (PVC) ASTM D3034, SDR 35, GASKETED JOINTS ONLY. MINIMUM SLOPE OF 2.0% ON ALL SEWAGE PIPE UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
 - F. PRECAST MANHOLES SHALL CONFORM TO ASTM C478, WITH PROVISION FOR RUBBER GASKET JOINTS. STRUCTURES SHALL COMPLY WITH SPECIFICATIONS AND STANDARDS OF ODOT.
 - G. PROVIDE THE FOLLOWING MINIMUM COVERS OVER THE TOP OF PROPOSED UTILITIES.
 1. SANITARY MAIN = 4'-0"
 2. WATER MAINS = 4'-0"
 3. STORM WATER LINES = 2'-0"
 4. GAS & ELECTRIC = 2'-0"

IRRIGATION NOTE:

- A. AN IRRIGATION PLAN AND SYSTEM ARE REQUIRED FOR THIS SITE. CONTRACTOR TO SUPPLY DESIGN TO ENGINEER PRIOR TO INSTALLATION FOR REVIEW.

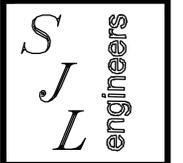


UTILITY PLAN

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------------|----|------|
| 1 | REVISIONS AND/OR ISSUES | | |



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| | |
|---------------------|------------------|
| DRAWING TITLE | |
| UTILITY PLAN | |
| PROJ. NO. SSG-CW | DATE 11/25/19 |
| DRAWN MDC | CHECKED SJL |

DRAWING NO.
C5

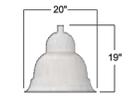
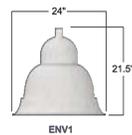
3 WORKING DAYS
 BEFORE YOU DIG
 UTILITIES PROTECTION SERVICE



AV Poles & Lighting

AVPL ENV - Architectural Bell Luminaire

AV POLES & LIGHTING
4327 Division St.
Lancaster, CA 93335
Toll Free: (844) 775-AVPL
Fax: (951) 945-2764
sales@avplg.com
www.avplg.com



Description

Decorative architectural design provides a unique lighting solution for a variety of applications. The ENV series by AV Poles and Lighting is ideal for commercial, municipal, and design build lighting applications.

Features

- Spun Aluminum construction
- Stainless Steel hardware
- Dark Sky/ Full Cutoff
- IP67 rated modules - 5 year warranty
- Up to 130+ Lumens Per Watt output
- Low maintenance cost with lifetime >54,000 hrs
- Multiple lighting distribution options with optical lens transmittance up to 98%.
- Multiple LED modules can easily be connected in series
- TGIC thermoseal polyester powder coat finish is electrostatically applied at a 3.0 mil nominal thickness. A five stage metal pre-treatment process and sealer provides maximum corrosion resistance. The powder top coat is baked in excess of 400 degrees for supreme endurance.



Ordering Information

| Luminaire | Lamp Type | Volts | Mounting | Finish | Options |
|-----------|--|-------|---------------|-------------|--|
| AVPL ENV1 | 700mA LED 35W 35W 70W 105W 135W 1A | 120 | Wall Mount... | Dark Bronze | Optical |
| AVPL ENV2 | 700mA LED 35W 35W 70W 105W 135W 1A | 208 | 1..... | Black | House Site Shield |
| | Lumen Output (4K) | 240 | 2-90..... | White | Electrical |
| | Optics | 277 | 2-180..... | Grey | 15-200V Surge Dimmable Driver(s) |
| | Type II | MT | 3-90..... | Green | Photo Cell + Voltage |
| | Type III | | 3-120..... | | High/Low Dimming for Hardened Building or Non-Integrated Motion Sensor |
| | Type IV | | 4-90..... | | |
| | Type V | | | | |
| | Color Temp | | | | |
| | 3000K Warm | | | | |
| | 4000K Neutral | | | | |
| | 5000K Cool | | | | |

16' MOUNTING HEIGHT

S04°42'50"W 824.90'

BOARD OF FAIRFIELD COUNTY COMMISSIONERS
3.879 ACRES
PID: 0420388450
O.R. 1324 PG. 81

N03°35'30"E

223.33'

UNDERGROUND
16"x5" BOX CULVERT
N12°15'01"E
336.64'

R/W

SANITARY EASEMENT
O.R. 1495, PG. 1

N85°14'35"W

338.18'

Luminaire parts list (Site 1)

| Index | Manufacturer | Article name | Item number | Fitting | Luminous flux | Light loss factor | Connected load | Quantity |
|-------|---|---|--------------------------------|--|---------------|-------------------|----------------|----------|
| 1 | Eye Lighting International of North America | Post-top retrofit kit installed in Lexalite 424 Lindy reference housing | LEX-37WH433-830-HWD-XXXX-UNV-X | 1xNine white LED arrays, three boards with three LED arrays and clear plastic optics each | 1000 lm | 0.91 | 12 W | 15 |
| 2 | AV POLES & LIGHTING | AVPL-CL-S-3-IV-700mA-105W-4K | | 1xLUMILEDS LUXEON Mx 3 MODULES WITH 4 LEDS PER MODULE 105W PER MODULE 700mA DRIVE CURRENT TYPE IV MEDIUM | 8762 lm | 0.91 | 71 W | 9 |

| # | Name | Parameter | Min | Max | Average | Mean/Min | Max/Min |
|---|---------------------|---------------------------|----------|---------|---------|----------|---------|
| 1 | Calculation surface | Perpendicular illuminance | 0.006 fc | 7.96 fc | 0.96 fc | 163.2 | 1360 |



Shooters Canal Winchester

SCALE: N/A

DATE: 12/19/2019

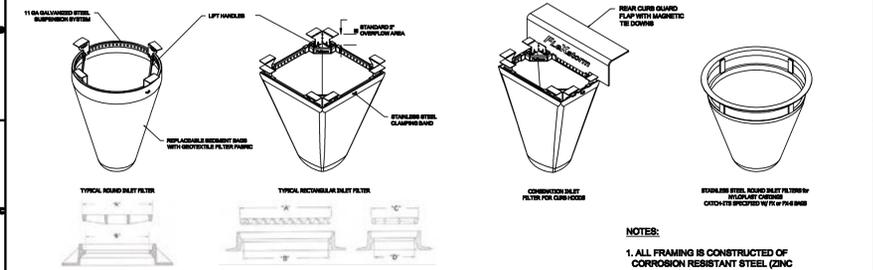
130 W. Ross Ave
Cincinnati, Ohio 45217

P. 513-693-4060

www.leesman.com



FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING



1. IDENTIFY YOUR FRAME STYLE AND SIZE

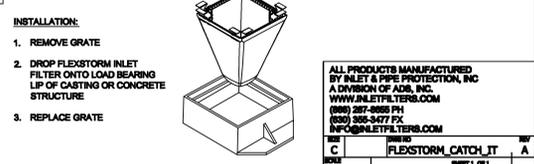
| STYLE | FRAME STYLE AND SIZE | Frame P/N |
|--------------|--|-----------|
| ROUND | Small Round (up to 30" dia pipe (A) dia) | 6298D |
| | Med Round (30" - 36" dia pipe (A) dia to 24" dia opening (B)) | 6298D |
| | Large Round (36" - 50" dia pipe (A) dia to 30" opening (B)) | 6298D |
| | XL Round (50" dia - 30" dia grate (A) dia to 30" dia opening (B)) | 6298D |
| RECT. SQUARE | Small Rect / Square (up to 30" (B) x 30" (C) opening or 24" (B) x 24" (C) opening) | 6298S |
| | Med Rect / Square (up to 36" (B) x 36" (C) opening or 30" (B) x 30" (C) opening) | 6298S |
| | Large Rect / Square (up to 50" (B) x 50" (C) opening or 30" (B) x 30" (C) opening) | 6298S |
| | XL Rect / Square (up to 50" (B) x 50" (C) opening) | 6298S |
| RECT. RECT. | Small Rect / Square (up to 30" (B) x 30" (C) opening) | 6298S |
| | Med Rect / Square (up to 36" (B) x 36" (C) opening) | 6298S |
| | Large Rect / Square (up to 50" (B) x 50" (C) opening) | 6298S |
| | XL Rect / Square (up to 50" (B) x 50" (C) opening) | 6298S |

2. SELECT YOUR BAG PART NUMBER

| ITEM | 12" depth | 18" depth | Clear Water Flow Rate (GPM/ft ²) | Min. A.O.S. (ft. below) |
|-----------------------|-----------|-----------|--|-------------------------|
| IX Standard Woven Bag | 75 | 75.5 | 200 | 40 |
| II DOT Non-Woven Bag | 11 | 11.5 | 145 | 70 |

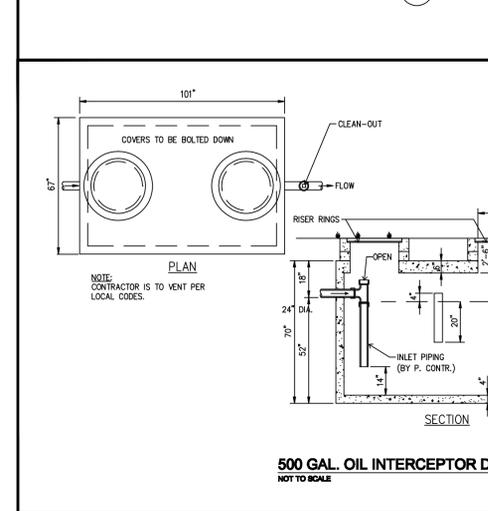
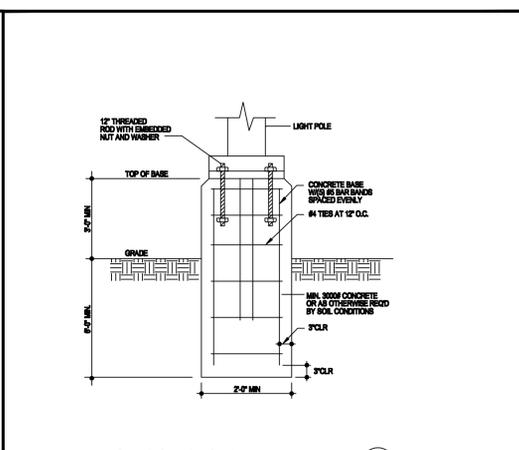
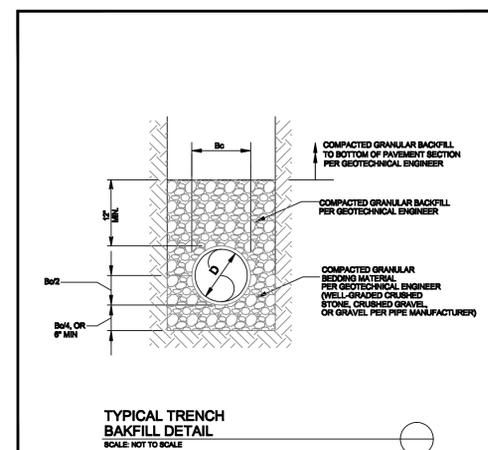
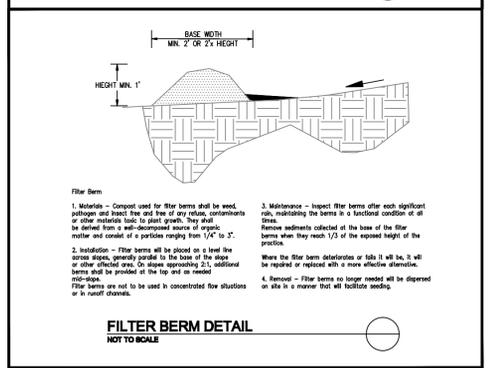
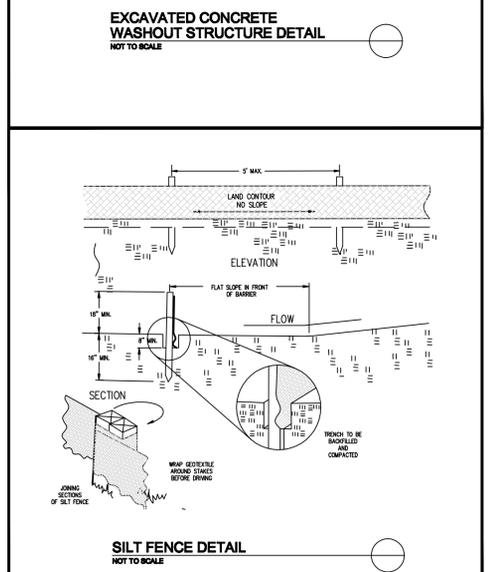
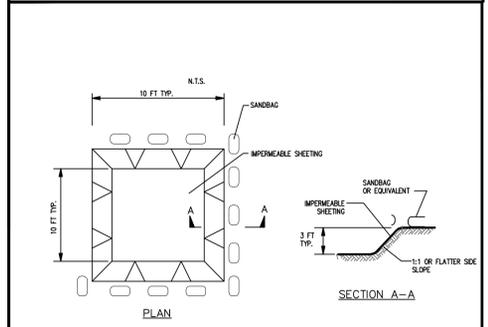
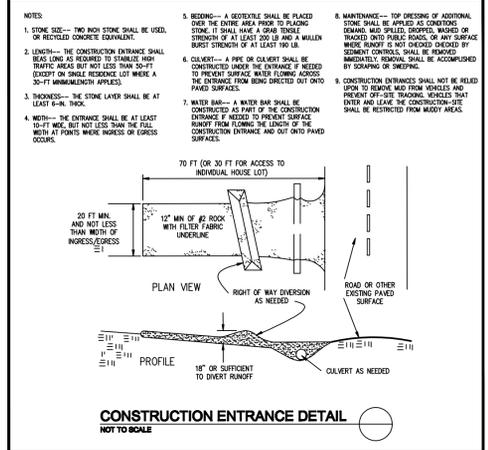
3. CREATE YOUR FLEXSTORM INLET FILTER PART NUMBER

Frame P/N from Step 1: _____ Filter Bag P/N from Step 2: _____



FLEXSTORM FILTER DETAIL
 NOT TO SCALE

EPSC DETAILS
 N.T.S.



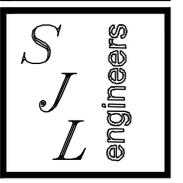
UTILITY DETAILS
 N.T.S.

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------------|----|------|
| 1 | REVISIONS AND/OR ISSUES | | |



SHOOTERS SPORTS GRILL
 XXXX DILEY ROAD
 CANAL WINCHESTER, OHIO 43110

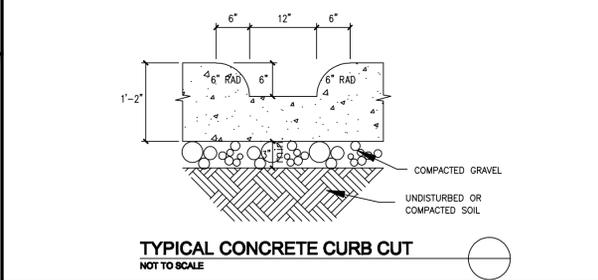
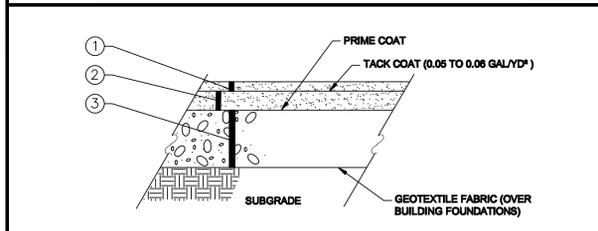
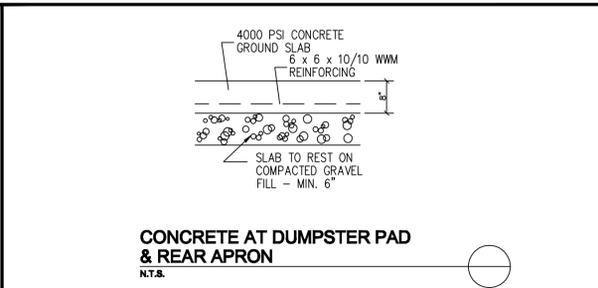
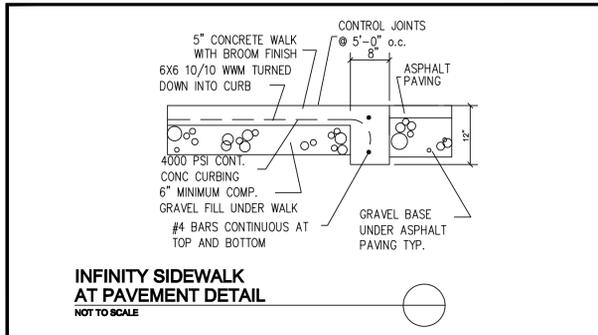
LEESMAN ENGINEERING & ASSOC.
 ENGINEERING, SURVEYING, PLANNING
 2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0420



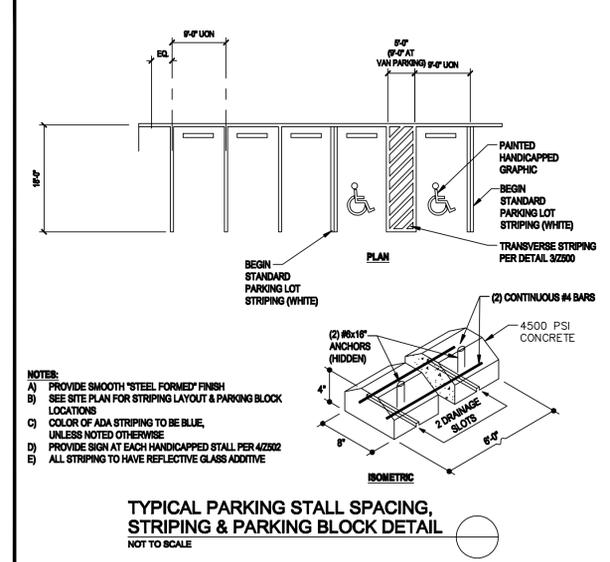
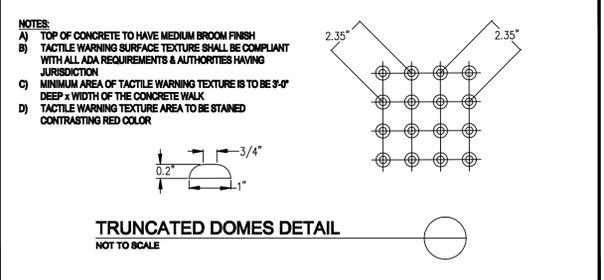
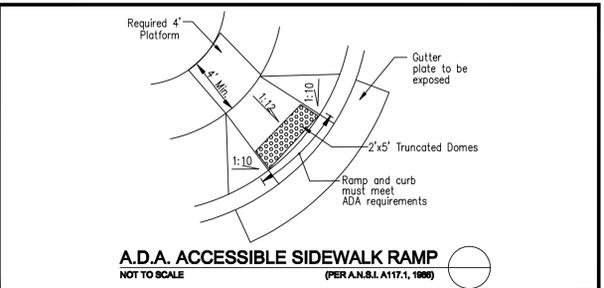
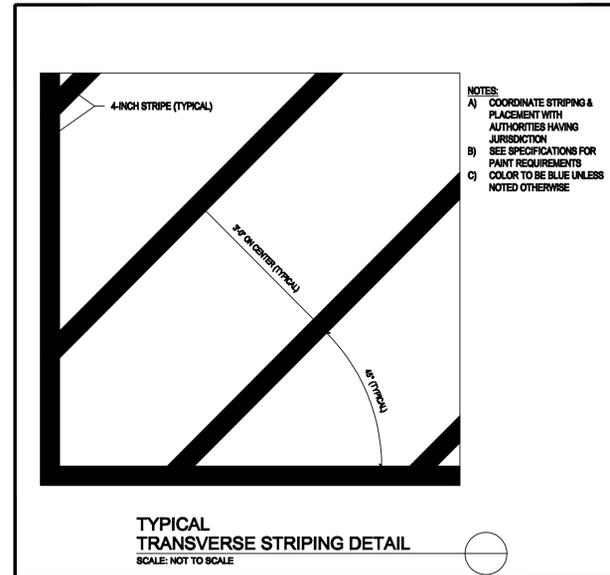
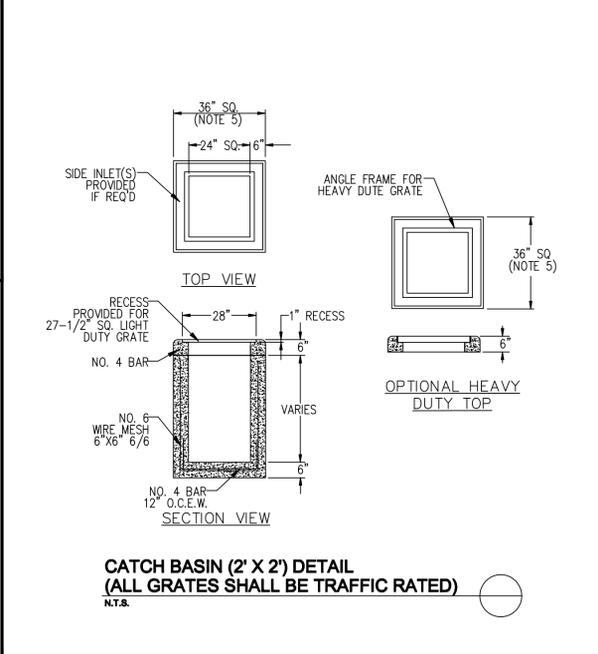
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| DETAILS | |
| PROJ. NO. SSG-CW | DATE 11/25/19 |
| DRAWN MDC | CHECKED SJL |

DRAWING NO.
 C6

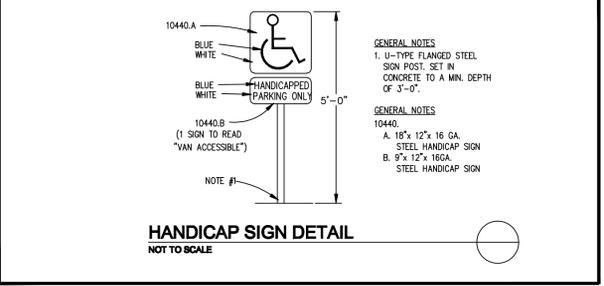
3 WORKING DAYS
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| ROAD SURFACE MATERIALS | | |
|------------------------|---|-----------|
| TYPE | DESCRIPTION | THICKNESS |
| 1 | ASPHALT CONCRETE SURFACE COURSE | 1.5" |
| 2 | ASPHALT CONCRETE BINDER COURSE | 3" |
| 3 | AGGREGATE BASE - APPLIED IN TWO (2) LIFTS | 6" |



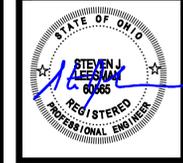
- MINIMUM STANDARDS** - The standards shown herein are to be considered the minimum requirements. It is the responsibility of the developer and their engineer to meet all federal and state regulations involving handicapped accessibility.
- Curb ramps shall meet requirements of the Americans With Disabilities Act Accessible Guidelines (ADAAG) regulatory standards.
 - Each ramp may vary in width and length per conditions found in the field or on the plans. The field engineer will determine how each ramp is to be constructed.
 - Truncated domes are to be included as part of the ramp design. The domes shall be aligned with the normal path of travel.
 - The walls (if needed) at the sides of the ramp can be poured as part of the ramp itself. The ramp should be structurally one unit. The walls should be tapered to meet the existing ground at the top of the ramp.
 - Curb ramps constructed at crosswalks shall be placed such that a minimum 4' clear space exists within the crosswalk at the front of the ramp.
 - When objects such as utility poles, pull boxes, traffic controllers, and pole bases obstruct the proper placement of the ramp to meet the specified grades, exceptions may be made to the ramp design, as determined by the Engineer.
 - The front edge of the truncated dome section must be no further than 8" from the back of curb. They should be placed as close to the back of curb as possible, while still maintaining proper alignment.
 - All curb required to install the ramp, at least curb to the tangent section, must be constructed with an exposed gutter plate. This requires raising the gutter plate to meet the existing flow line at the edge of pavement if the gutter was originally paved over.
- ADA ACCESSIBILITY NOTES**
NOT TO SCALE



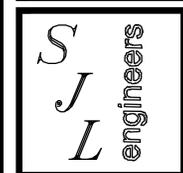
SITE DETAILS
N.T.S.

ADA DETAILS
N.T.S.

| | | | |
|-------|-------------|----|------|
| NO. 1 | DESCRIPTION | BY | DATE |
| | | | |



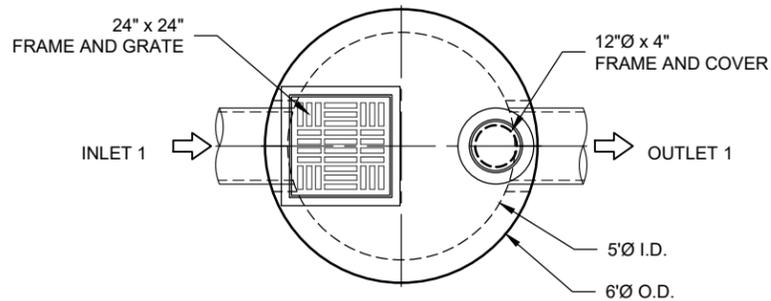
SHOOTERS SPORTS GRILL
XXXX DILEY ROAD
CANAL WINCHESTER, OHIO 43110
LEESMAN ENGINEERING & ASSOC.
ENGINEERING, SURVEYING, PLANNING & ASSOC.
2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513/417-0420



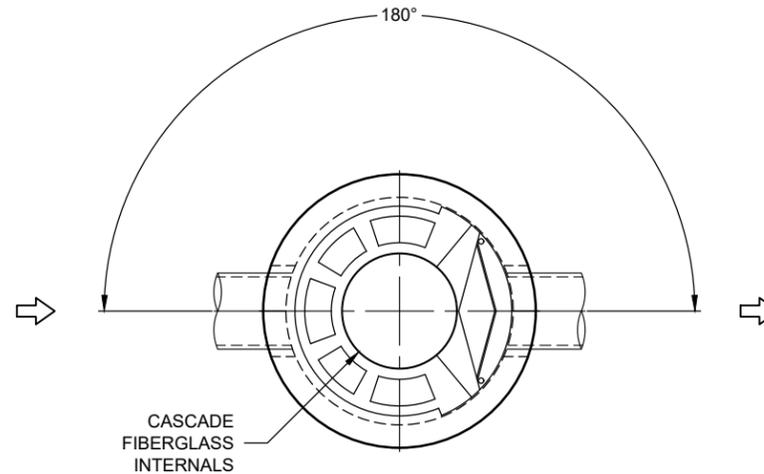
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| DRAWING TITLE | |
| DETAILS | |
| PROJ. NO. SSG-CW | DATE 11/25/19 |
| DRAWN MDC | CHECKED SJL |
| DRAWING NO. C7 | |

3 WORKING DAYS
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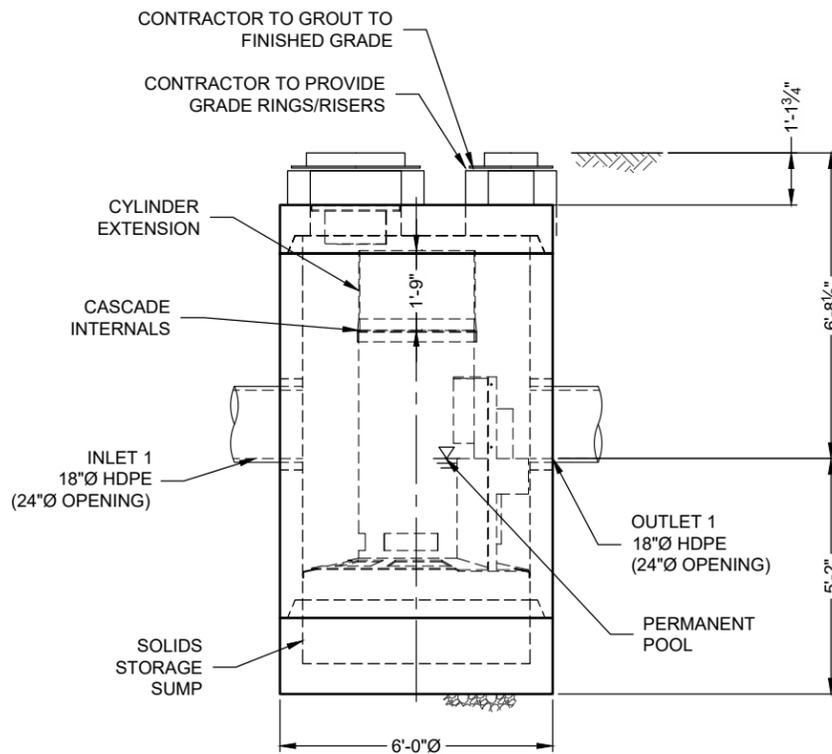
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PLAN VIEW
(INTERNALS NOT SHOWN)



SECTION FOR PIPE ORIENTATION
(TOP SLAB NOT SHOWN)



ELEVATION VIEW

RIM ELEV. 787.70+/-

TOP OF SYSTEM
ELEV. 786.55'

INLET 1 INVERT
ELEV. 780.99'
OUTLET 1 INVERT
ELEV. 780.99'

OUTSIDE BOTTOM
ELEV. 775.82'

MATERIAL LIST (PROVIDED BY CONTECH)

| COUNT | DESCRIPTION | INSTALLED BY |
|-------|--|--------------|
| 1 | CS-5 FIBERGLASS CYLINDER INSERT, STD. | CONTECH |
| 4 | CS-5 ALUMINUM INSTALLATION BRACKET | CONTECH |
| 1 | CS-5 FIBERGLASS CYLINDER EXTENSION, 1 FT. | CONTRACTOR |
| 1 | 24" INLET TRAY | CONTRACTOR |
| 1 | SEALANT FOR JOINTS | CONTRACTOR |
| 1 | 24" x 24" FRAME & GRATE, EJ#45624050A01, OR EQUIV. | CONTRACTOR |
| 1 | 12"Ø x 4" FRAME & COVER, EJ#41610201, OR EQUIV. | CONTRACTOR |

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.ContechES.com
- CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
- CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

STRUCTURE WEIGHT
APPROXIMATE HEAVIEST PICK = 10500 LBS.
OF 3 PIECES

MAXIMUM FOOTPRINT = 6'Ø

CONTECH
PROPOSAL
DRAWING

NCI
LAYOUT 1A

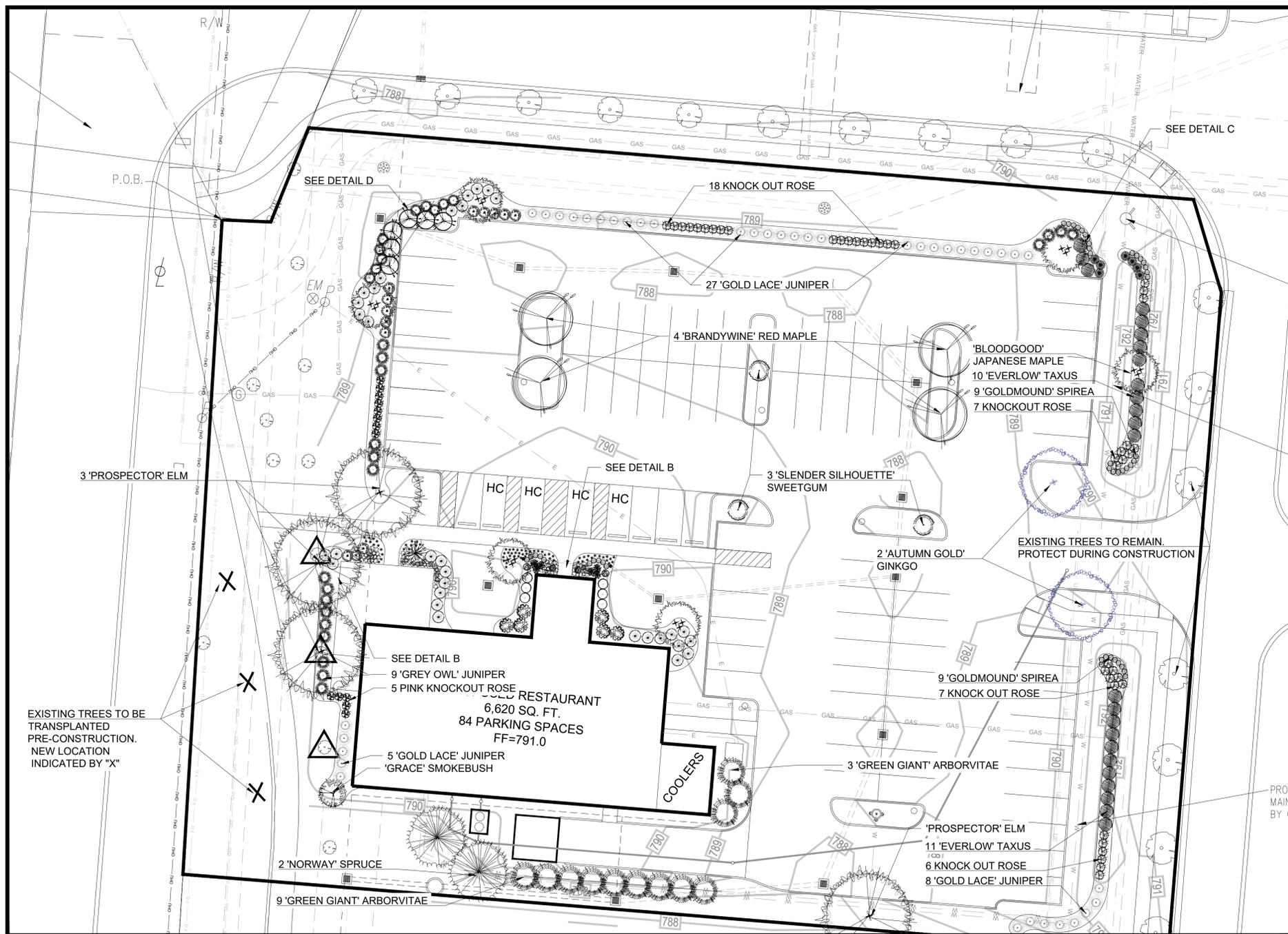
The design and information shown on this drawing is provided as a service to the project owner, engineer and contractor by CONTECH Construction Products Inc. or its authorized representative. It is not to be used, reproduced or modified in any manner without the prior written consent of CONTECH. Failure to comply is deemed to be a disclaimer of liability and responsibility for such use. If discrepancies between the supplied information upon which this design was based and the information shown are encountered as the work progresses, these discrepancies must be reported to CONTECH immediately for re-evaluation of the design. CONTECH does not assume any liability for incomplete or inaccurate information supplied by others.

| MARK | DATE | REVISION DESCRIPTION | BY |
|------|------|----------------------|----|
| | | | |
| | | | |
| | | | |

CS-5 - 634859-10
SHOOTERS SPORTS GRILL - CANAL
WINCHESTER, OH
CANAL WINCHESTER, OH

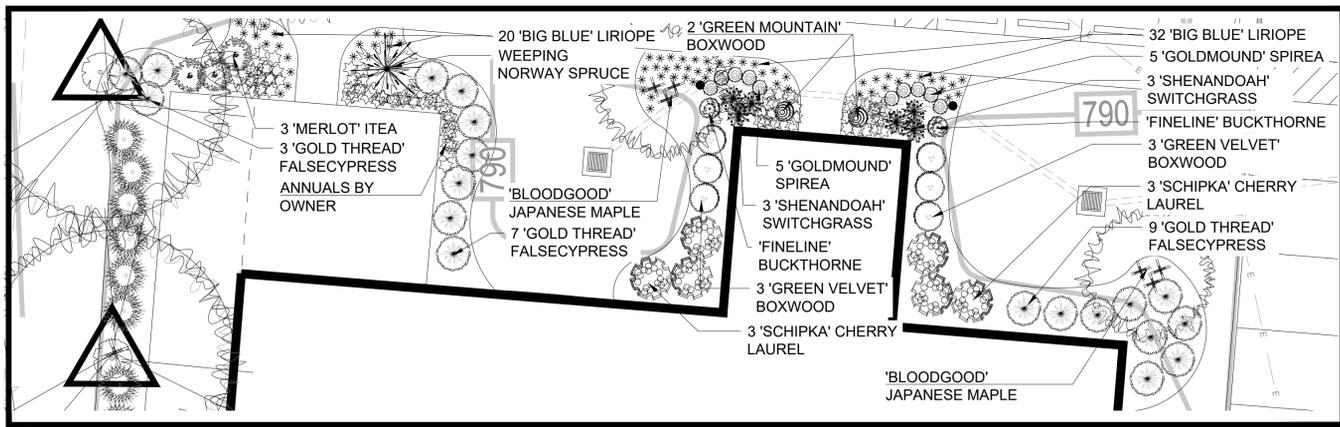
CONTECH
ENGINEERED SOLUTIONS LLC
www.ContechES.com
7037 Ridge Road, Hanover, MD 21076
410-796-5505 866-376-8511 FAX
CASCADE separator™

| | |
|---------------------|------------------|
| DATE: 12/05/19 | |
| DESIGNED: MAK | DRAWN: MAK |
| CHECKED: MAK | APPROVED: MAK |
| PROJECT No.: 634859 | SEQUENCE No.: 10 |
| SHEET: 1 OF 1 | |



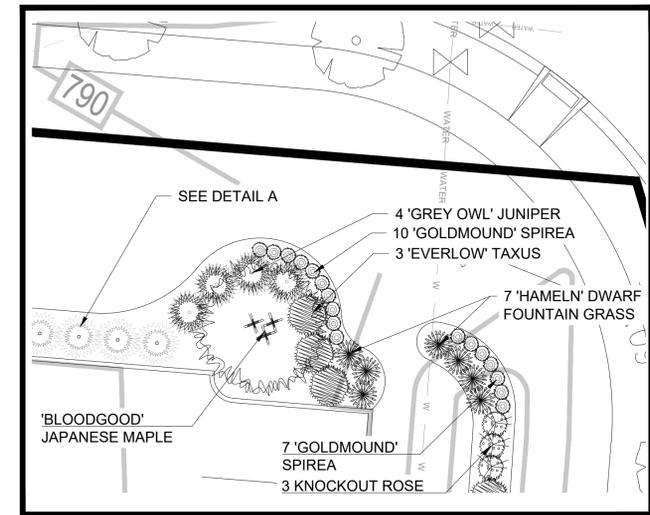
A PLAN: VUA LANDSCAPE AND BUFFER PLANTING

1"=20'-0"



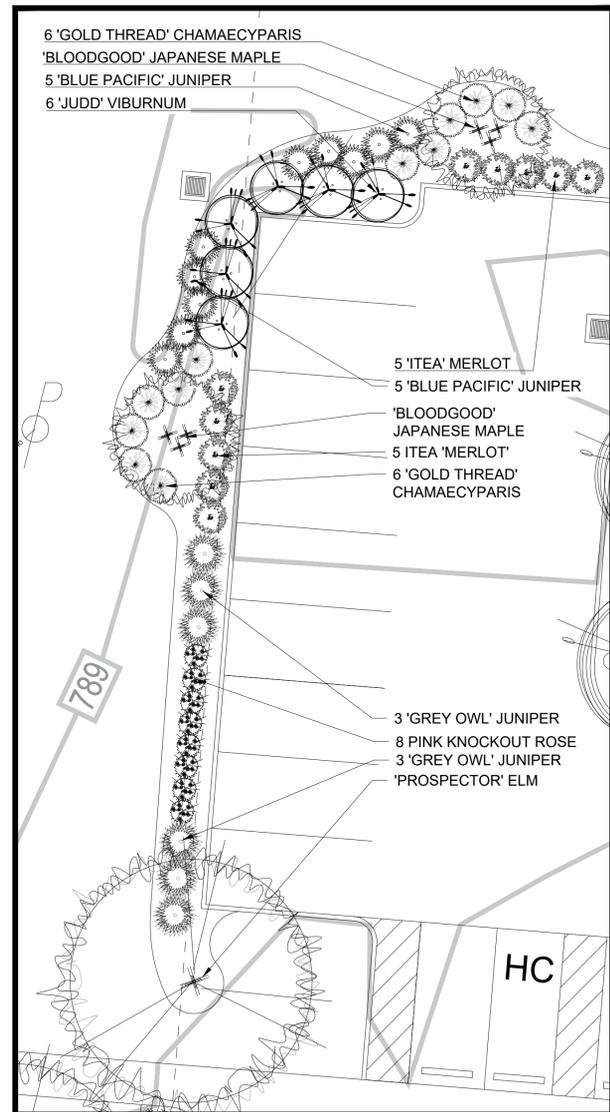
B PLAN: BUILDING LANDSCAPE

1"=10'-0"



C PLAN: BUFFER PLANTING

1"=10'-0"



D PLAN: BUFFER PLANTING

1"=10'-0"

SEED AND STRAW ALL DISTURBED AREAS

△ TRANSPLANT

| | | | |
|-----|-------------|----|------|
| NO. | DESCRIPTION | BY | DATE |
| | | | |
| | | | |
| | | | |



SHOOTERS SPORTS GRILL
 XXXX DILEY ROAD
 CANAL WINCHESTER, OHIO 43110
LEESMAN ENGINEERING & ASSOC.
 ENGINEERING, SURVEYING, PLANNING
 2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513.417-0420



| | |
|---------------------|------------------|
| DRAWING TITLE | |
| LANDSCAPE PLAN | |
| PROJ. NO. SSG-CW | DATE 12.15.19 |
| DRAWN JT | CHECKED GAF |

DRAWING NO.
L1 of 2

SPECIFICATIONS

GENERAL PLANTING NOTES

- *CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL LINES MARKED PRIOR TO COMMENCING WORK
- *PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK."
- *FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- *PROVIDE TREES AND SHRUBS OF SIZES AND GRADES COMPLYING WITH ANSI Z60.1 FOR TYPE OF TREES AND SHRUBS REQUIRED. TREES AND SHRUBS OF LARGER SIZE MAY BE USED, IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- *IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.
- *LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
- *LANDSCAPE ARCHITECT MAY OBSERVE TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.
- *TOPSOIL SHALL BE ASTM D 5268, pH RANGE OF 5.5 TO 7, A MINIMUM OF 4 PERCENT ORGANIC MATERIAL CONTENT, FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- *COMPOST SHALL BE WELL-COMPOSTED, STABLE AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH ONE INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS.
- *FERTILIZER TO BE SLOW-RELEASE, GRANULAR OR PELLETED CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHORUS, AND POTASSIUM IN AMOUNTS RECOMMENDED FOR TYPE OF PLANT BEING GROWN.

PREPARATION AND PLANTING

- *LOCATE ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. IF A PLANT IS SHOWN ON THE PLAN WITHIN THREE FEET OF AN UNDERGROUND UTILITY, NOTIFY LANDSCAPE ARCHITECT FOR ADJUSTMENT INSTRUCTIONS.
- *PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND LAWNS AND EXISTING EXTERIOR PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
- *PROVIDE EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
- *LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.
- *TREES SHALL BE SITED IN FIELD BY LANDSCAPE ARCHITECT WHERE NOTED ON PLANS.

- *ALL PLANTING BEDS ARE TO BE PREPARED AS FOLLOWS:
 - LOOSEN SUBGRADE TO A DEPTH OF 4 - 6". REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - SPREAD COMPOST AT A DEPTH OF 4 - 6" AND TILL WITH LOOSENED SUBGRADE, MIXING THOROUGHLY.
 - GRADE PLANTING BEDS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
 - EDGE BEDS 3 - 4" DEEP (SEE DETAIL).
- ADDITIONAL PREPARATION FOR PERENNIAL BEDS:
 - PROVIDE A TOTAL OF 6" OF COMPOST AND 6" UNSHREDDED TOPSOIL, THOROUGHLY BLEND MIXTURE, DO NOT COMPACT. MULCH WITH MINI PINE NUGGETS, 100% COVERAGE. LANDSCAPE ARCHITECT TO OBSERVE AND APPROVE.

- *ALL PLANTS ARE TO BE INSTALLED WITH ORGANIC BIO-TONE STARTER (A MYCORRHIZAL FUNGI STIMULANT)
- *AND TRICHODERMA ABSORBENT GEL, PER MANUFACTURER'S SPECIFICATIONS ON INSTALLATION MEANS AND METHODS AND APPLICATION RATES.

Type of Plants Normal Planting Dates

Non-Container Grown, Deciduous October 1 to April 1
 Non-Container Grown, Other October 1 to May 1
 Non-Container Grown, Other October 1 to May 1
 Container Grown, All Year-Round, if suitable precautions are taken to protect the stock from extremes of moisture and temperature, if there is a doubt, obtain a variance or a performance bond

ABSOLUTELY NO PLANT SUBSTITUTIONS WITHOUT WRITTEN PERMISSION OF THE MUNICIPALITY ZONING STAFF, CLIENT REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OH OR KY DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND PROJECT MANAGEMENT SPECIFICATIONS". IN THE EVENT OF A CONFLICT THE MORE STRINGENT STANDARD SHALL APPLY.

- *NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PITS.
- *NOTIFY LANDSCAPE ARCHITECT IF A LIGHT FIXTURE OR OTHER UTILITY HAS BEEN BUILT WITHIN 10' OF PROPOSED TREE.
- *ALL PLANTS ARE TO BE FERTILIZED WITH A SLOW-RELEASE FERTILIZER PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *REFER TO TYPICAL PLANTING DETAILS FOR PLANT INSTALLATION.
- *IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE A TREE, BUT IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ASSURE PLANTS REMAIN IN AN UPRIGHT POSITION UNTIL THE END OF THE WARRANTY PERIOD.
- *ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS ARE TO BE MULCHED AT A DEPTH OF 3". APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *FOR ALL PLANT MATERIALS, PRUNE TO REMOVE DEAD OR INJURED BRANCHES ONLY, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.
- *IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
 - KEEP ADJACENT PAVINGS AND CONSTRUCTION CLEAN, AND MAINTAIN WORK AREA IN AN ORDERLY CONDITION, FOR DURATION OF PROJECT.
 - PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS, TREAT, REPAIR, OR REPLACE DAMAGED EXTERIOR PLANTING.
 - REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.

- *CONTRACTOR SHALL PROVIDE OWNER WITH A WRITTEN WARRANTY FOR LABOR AND MATERIAL.
- *CONTRACTOR SHALL WARRANT EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLECT OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- *WARRANTY SHALL INCLUDE SPECIFIC WARRANTY PERIODS FOR TREES AND SHRUBS, SEED INSTALLATION, GROUND COVERS, AND OTHER EXTERIOR PLANTS.
- *SERVICES PROVIDED BY WARRANTY SHALL INCLUDE:
 - MAINTAINING UPRIGHT POSITION OF EXTERIOR PLANTINGS DURING WARRANTY PERIOD.
 - IMMEDIATE REMOVAL OF DEAD EXTERIOR PLANTS AND IMMEDIATE REPLACEMENT, UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON.
 - REPLACEMENT OF EXTERIOR PLANTS THAT ARE MORE THAN 25 PERCENT DEAD OR IN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.
- *WARRANTY SHALL BE LIMITED TO ONE REPLACEMENT OF EACH EXTERIOR PLANT, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH REQUIREMENTS.
- *PERFORM A SOIL TEST FOR SEED NEEDS, AND FERTILIZE AS REQUIRED FOR SUCCESSFUL GERMINATION.
- *TILL AREA TO BE SEED TO A DEPTH OF 4". RAKE TILLED AREA TO REMOVE DEBRIS 1" OR LARGER IN SIZE THAT HAS BEEN BROUGHT TO THE SURFACE DURING TILLING.
- *SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURER'S WRITTEN RECOMMENDED RATE.
- *RAKE SEED LIGHTLY INTO TOP OF TOPSOIL, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
- *PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:6 AND/OR SWALES/AREAS OF HIGHER WATER FLOW WITH EROSION-CONTROL FIBER MESH INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *SEED CONTRACTOR SHALL IDENTIFY THESE POTENTIAL AREAS OF EROSION AND PROVIDE MEANS TO MITIGATE SUCH.
- *PROTECT ALL OTHER SEEDED AREAS BY SPREADING STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO FORM A CONTINUOUS BLANKET 1-1/2" IN LOOSE DEPTH OVER.
- *SEED INSPECTION SHALL BE PERFORMED TO WARRANT A 90% GERMINATION, YIELDING 80% OPACITY WITHIN 90 DAYS OR INSTALLATION.
- *SEED ONLY AS THE WEATHER AND TEMPERATURE ALLOWS FOR SUCCESS.

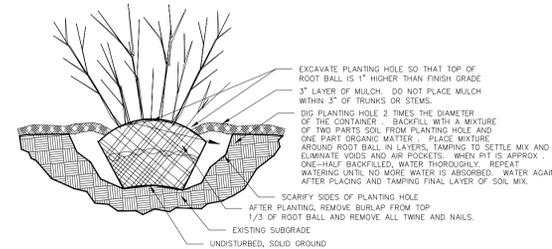
MULCH TO BE FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS. GRADE A MATERIALS APPLY TO 100 PERCENT OPACITY TO LAST 7 MONTHS WITHOUT ANY ADDITIONAL TOP DRESSING. DEPTH WILL VARY DEPENDING ON PRODUCT INSTALLED. TYPICALLY 3" DEPTH

- PROVIDE CLIENT OR CLIENT REPRESENTATIVE WITH PRICE AND A SAMPLE OF THE FOLLOWING OPTIONS:
- LONG LASTING DYED BLACK MULCH DOUBLE SHREDDED
 - DYED BROWN MULCH DOUBLE SHREDDED
 - DOUBLE SHREDDED HARDWOOD BLEND
 - CYPRESS MULCH
 - MINI PINE NUGGET
 - MINI PINE FINES
 - PINE STRAW
 - PREMIUM WOOD CHIP
 - WOOD CHIP

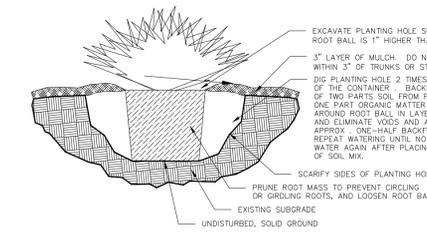
PROVIDE CLIENT WITH QNT MULCH PROVIDED _____ CUBIC YARDS

PROVIDE CLIENT WITH QNT OF COMPOST PROVIDED _____ CUBIC YARDS

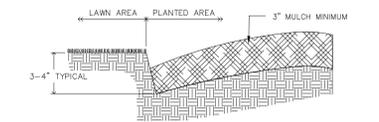
PROVIDE CLIENT WITH QUANTITY OF TOPSOIL PROVIDED _____ CUBIC YARDS



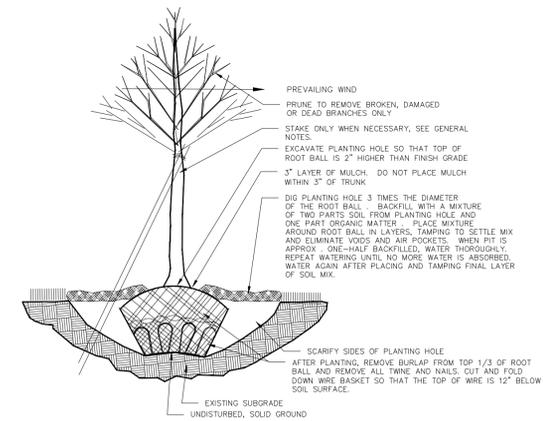
PLANTING DETAIL : BALLED AND BURLAPPED SHRUB
NOT TO SCALE



PLANTING DETAIL : CONTAINERIZED PLANTS
NOT TO SCALE



PLANTING DETAIL : BED EDGE
NOT TO SCALE



PLANTING DETAIL : BALLED AND BURLAPPED TREE
NOT TO SCALE

SHOOTERS CANAL WINCHESTER

PLANT KEY

12.15.19

| QNT | SIZE | COMMON | BOTANICAL |
|-----|----------|------------------------------|--|
| 4 | 2 in | Brandywine Red Maple | Acer rubrum 'Brandywine' |
| 2 | 2 in | Autumn Gold Ginkgo | Ginkgo biloba 'Autumn Gold' |
| 3 | 2 in | Sweetgum slender silhouette | Liquidambar styraciflua 'Slender Silhouette' |
| 4 | 2 in | Prospector Elm | Ulmus wilsoniana 'Prospector' |
| 6 | 1.5" | Japanese Bloodgood Maple | Acer palmatum 'Bloodgood' |
| 2 | 5' | Norway Spruce | Picea abies |
| 1 | 6'-7' | Norway Weeping Spruce | Picea abies var. pendula |
| 12 | 5' | Green Giant Arborvitae | Thuja plicata 'Green Giant' |
| 1 | 5 gal | Grace Smokebush | Cotinus coggygia 'Grace' |
| 13 | 18" | Merlot Itea | Itea virginica 'Merlot' |
| 2 | 5 gal | Fine Line Buckthorn | Rhamnus frangula 'Fine Line' |
| 13 | 18" | Double Knock Out Rose | Rosa 'Double Knock Out' |
| 41 | 18" | Knock Out Rose | Rosa 'Knock Out' |
| 45 | 18" | Gold Mound Spirea | Spiraea japonica 'Gold Mound' |
| 6 | 5 gal | Judd Viburnum | Viburnum x Judd |
| 2 | 24 in | Green Mountain Boxwood | Buxus x 'Green Mountain' |
| 6 | 15-18 in | Green Velvet Boxwood | Buxus x 'Green Velvet' |
| 31 | 18" | Gold Thread Falsecypress | Chamaecyparis pisifera 'Filifera Aurea' |
| 40 | 18" | Gold Lace Juniper | Juniperus chinensis 'Gold Lace' |
| 10 | 3 gal | Blue Pacific Juniper | Juniperus conferta 'Blue Pacific' |
| 19 | 18" | Grey Owl Juniper | Juniperus virginiana 'Grey Owl' |
| 6 | 3 gal | Otto Luyken Cherrylaurel | Prunus laocerasus 'Otoot Luyken' |
| 24 | 18" | Dense Yew | Taxus x media 'Densiformis' |
| 6 | 3 gal | Shenandoah Switch Grass | Panicum virgatum 'Shenandoah' |
| 7 | 2 gal | Hamelin Dwarf Fountain Grass | Pennisetum alopecuroides 'Hamelin' |
| 67 | 1 gal | Big Blue Lily Turf | Liriope muscari 'Big Blue' |

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| NO. | DESCRIPTION | BY | DATE |
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SHOOTERS SPORTS GRILL
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 ENGINEERING, SURVEYING, PLANNING
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DRAWING TITLE

LANDSCAPE PLAN

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| PROJ. NO. | DATE |
| SSG-CW | 12.15.19 |
| DRAWN | CHECKED |
| JT | GAF |

DRAWING NO.

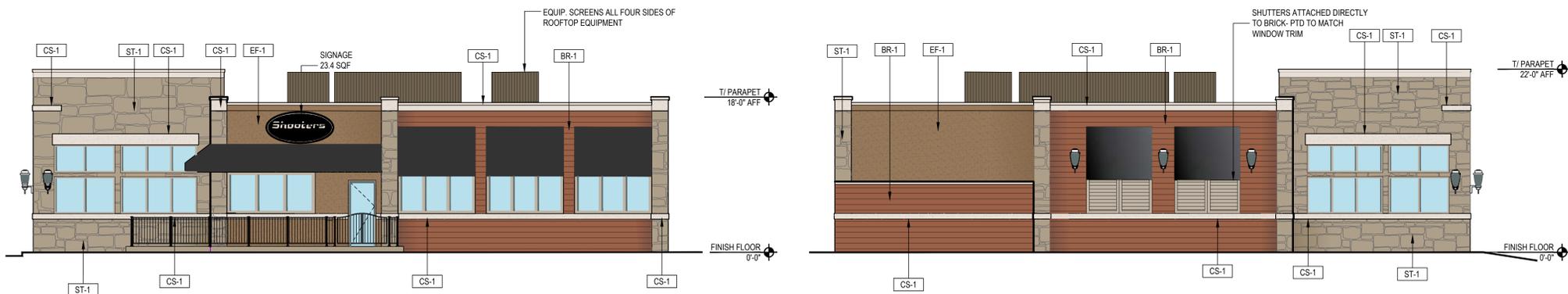
L2 of 2



H1 SIDE ELEVATION- LEFT
SCALE: 1/8" = 1'-0"



D1 SIDE ELEVATION- RIGHT
SCALE: 1/8" = 1'-0"



A1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

A7 REAR ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL SQUARE FOOTAGE CHART

| Elevation | Total Square Footage | Material Breakdown |
|-----------------|----------------------|---|
| LEFT ELEVATION | 2062 SQF | GLASS: 446 SQF= 21.6% EIFS: 236 SQF= 11.2% BRICK/STONE: 1408.18 SQF= 68.29% |
| FRONT ELEVATION | 1451 SQF | GLASS BETWEEN 2&10= 46.3% EIFS: 243.3 SQF = 17% BRICK/STONE: 866 SQF= 61% |
| RIGHT ELEVATION | 2019 SQF | GLASS: 213 SQF= 10.5% EIFS: 571 SQF = 28.2% BRICK/STONE: 1174 SQF= 58.14.6% |
| REAR ELEVATION | 1477.4 SQF | GLASS: 113.6 SQF= 7.6% EIFS: 209 SQF= 14.2% BRICK/STONE: 1154.54 SQF= 78% |

FINISH SCHEDULE

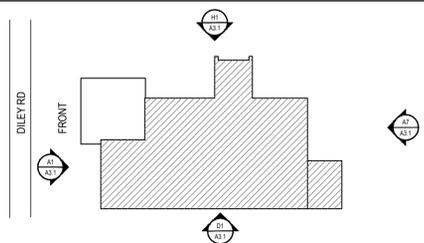
- BR-1** GLEN-GERY MEDALIA COLLECTION ROSEWOOD "MODULAR" (3 COURSES =8")
• COLOR: DARK RED TO BROWN
- EF-1** EXTERIOR INSULATION AND FINISH SYSTEM:
DRYVIT OR EQUAL
• SAND FINISH TO BE APPROVED BY OWNER/ARCHITECT
• COLOR TO MATCH BRICK
- CS-1** CAST STONE
GLEN-GERY LANDMARK STONE OR EQUAL
• COLOR: BUFF
• METAL CAP TO MATCH STONE COLOR
• SAMPLE TO BE APPROVED BY OWNER/ARCHITECT
- ST-1** CULTURED STONE:
GLEN-GERY LANDMARK STONE OR LOCAL EQUAL
• GLENRIDGE ASHFORD
• COLOR: TAN/BROWN TO BE APPROVED BY OWNER/ARCHITECT

NOTE: FOR CORNER CONDITIONS- USE PRE MANUFACTURED CORNER PEICES

EXTERIOR LIGHTING SCHEDULE

- EXTERIOR WALL SCONCE
MANUF: KICHLER TOWNHOUSE BLACK 27" H OUTDOOR
SCONCE, SIZE: 27"H X 9 1/2" X 10 1/2"
- ARCHITECTURAL WALL PACK
MANUF: ECONOLIGHT, LED FULL CUT OFF
E-WP503

KEY PLAN



ROOFTOP EQUIPMENT SCREENS



SHOOTERS SPORTS GRILL
8300 MEIJER DR
CANAL WINCHESTER
OH

PROJECT NO: 19025

ISSUANCES

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| 01-31-2020 - ZONING |
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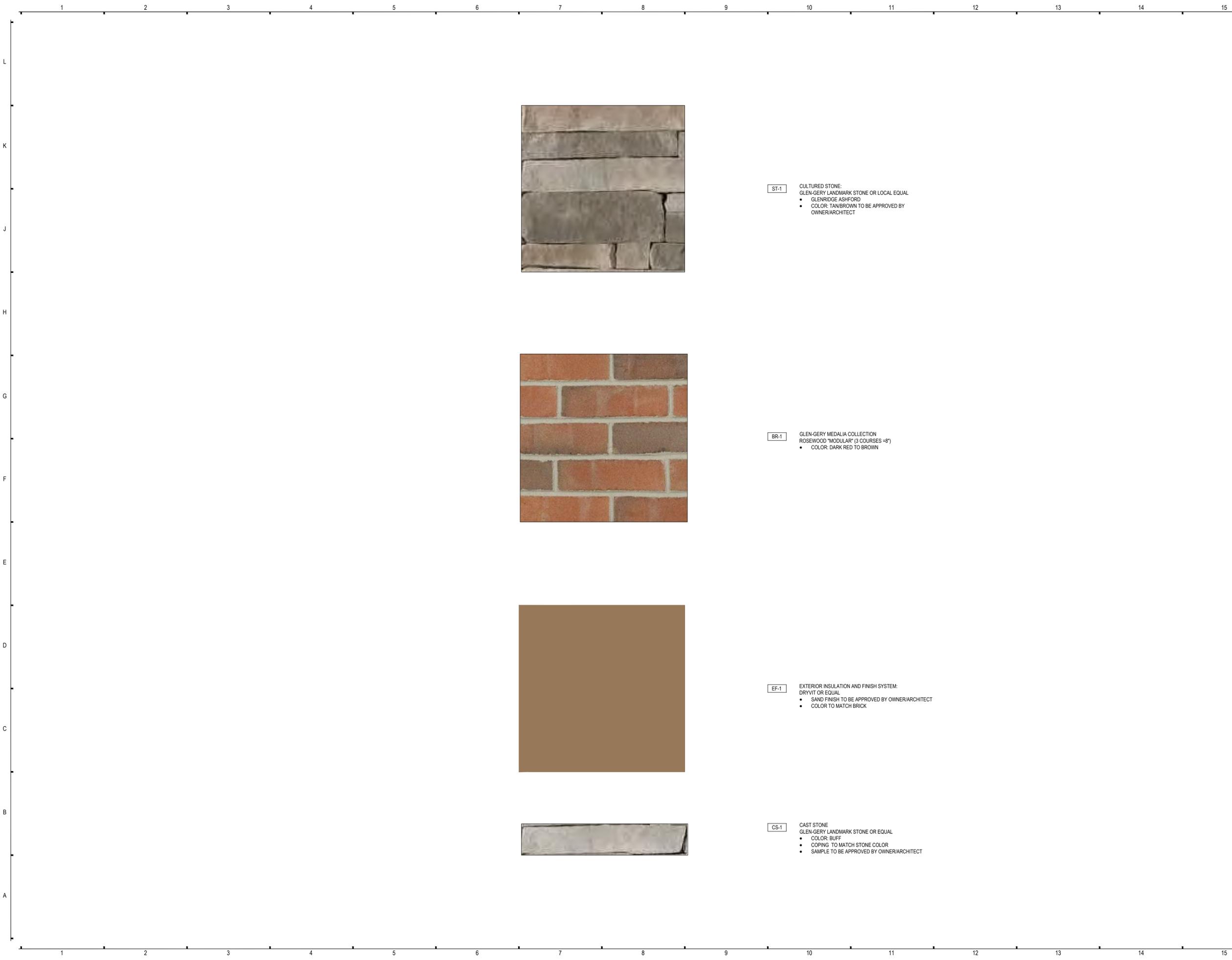
OPEN ARCHITECTURE, INC.

EXTERIOR ELEVATIONS

DRAWN BY: OA

REVIEWED BY: GK

ZE-1



ST-1 CULTURED STONE:
 GLEN-GERY LANDMARK STONE OR LOCAL EQUAL
 • GLENRIDGE ASHFORD
 • COLOR: TAN/BROWN TO BE APPROVED BY OWNER/ARCHITECT



BR-1 GLEN-GERY MEDALIA COLLECTION
 ROSEWOOD "MODULAR" (3 COURSES -8")
 • COLOR: DARK RED TO BROWN



EF-1 EXTERIOR INSULATION AND FINISH SYSTEM:
 DRYVIT OR EQUAL
 • SAND FINISH TO BE APPROVED BY OWNER/ARCHITECT
 • COLOR TO MATCH BRICK



CS-1 CAST STONE
 GLEN-GERY LANDMARK STONE OR EQUAL
 • COLOR: BUFF
 • COPING TO MATCH STONE COLOR
 • SAMPLE TO BE APPROVED BY OWNER/ARCHITECT



SHOOTERS SPORTS GRILL

8300 MEYER DR
 CANAL WINCHESTER
 OH

PROJECT NO: 19025

ISSUANCES

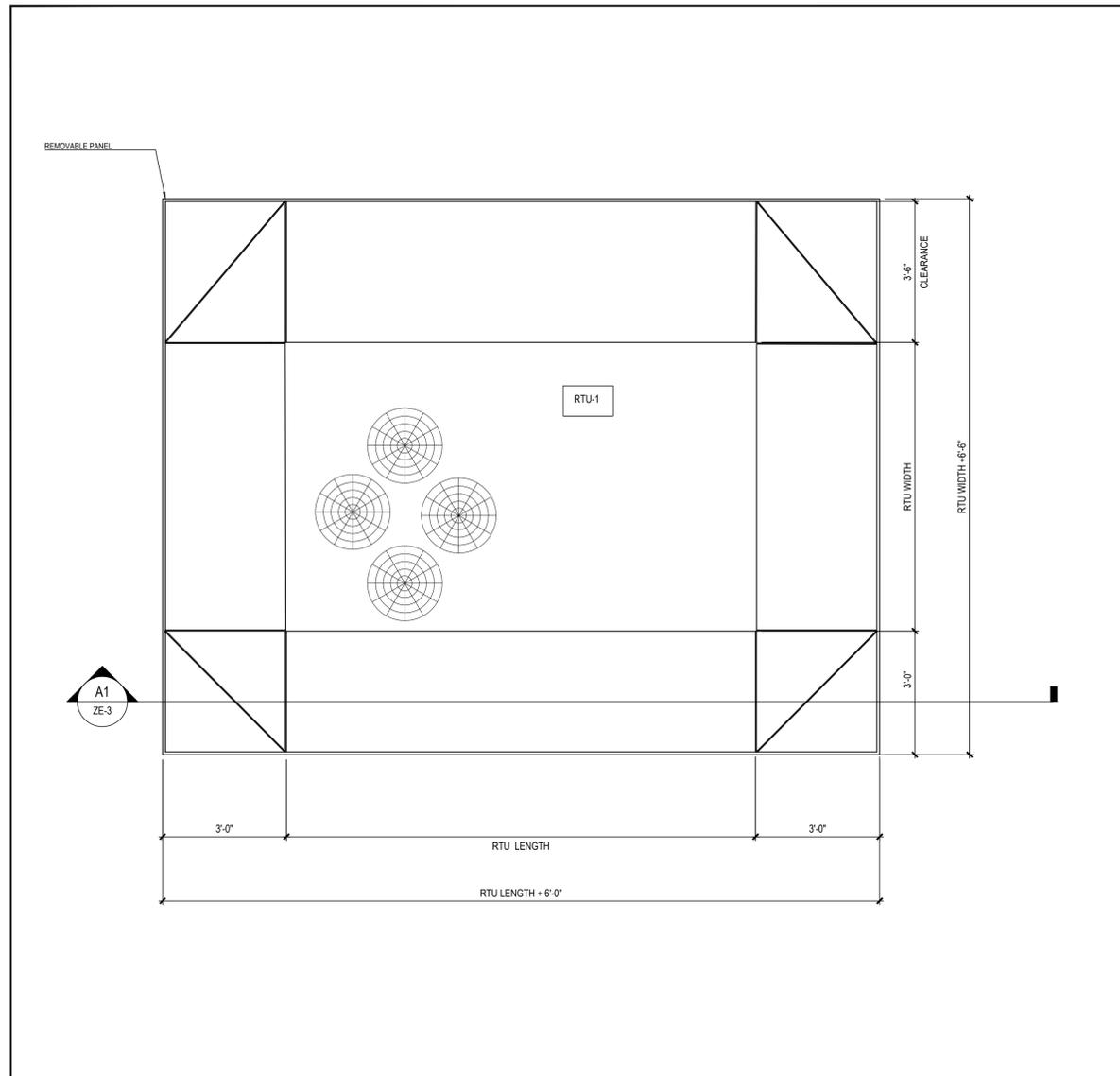
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OPEN ARCHITECTURE, INC.

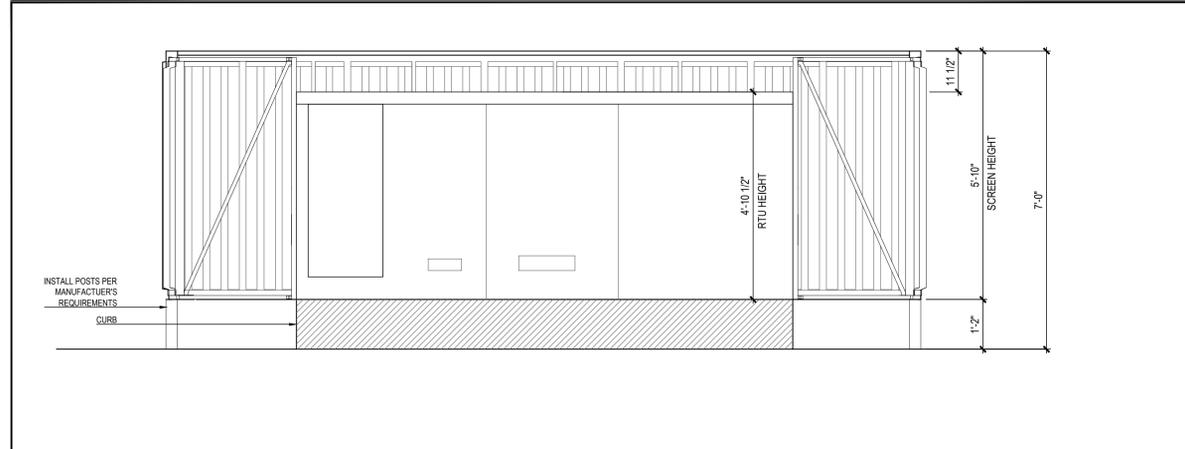
EXTERIOR MATERIALS

DRAWN BY: OA
 REVIEWED BY: GK

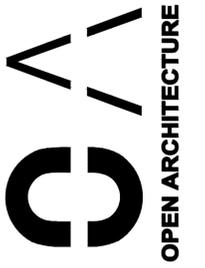
TYPICAL RTU SCREENING APPLICATION



D1 Screen Plan
SCALE: 1/2" = 1'-0"



A1 Screen Section
SCALE: 1/2" = 1'-0"



SHOOTERS SPORTS GRILL

8300 MEYER DR
CANAL WINCHESTER
OH

PROJECT NO: 19025

ISSUANCES

01-31-2020 - ZONING

OPEN ARCHITECTURE, INC.

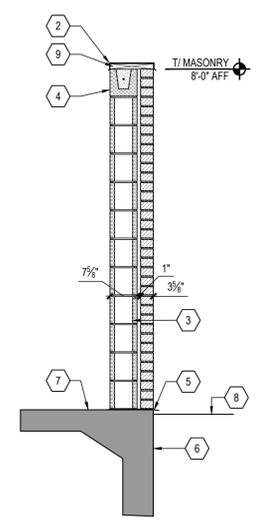
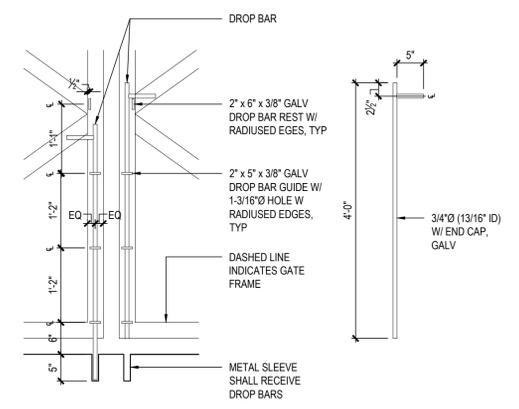
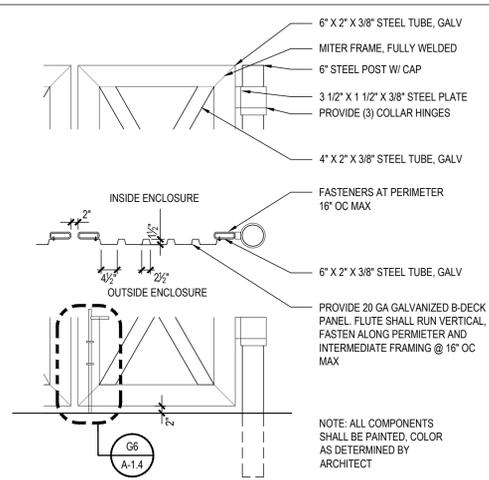
SCREEN DRAWINGS

DRAWN BY: OA

REVIEWED BY: GK

ZE-3

GATE HARDWARE:
 A. PROVIDE (2) 1-3/8" INDUSTRIAL DROP BARS, (2) 1-5/8" GUIDES & ALL REQUIRED NUTS & BOLTS. DRILL CONCRETE TO RECEIVE METAL SLEEVE. METAL SLEEVE TO ACCOMMODATE INDUSTRIAL DROP BARS. CONTACT EME FENCE CO. (513)231-7640
 B. (3) ROTATING STEEL COLLAR TO FIT AROUND PIPE - FILL CAVITY WITH HEAVY DUTY GREASE. POST AND COLLAR TO BE PAINTED
 C. EVERBOLT HEAVY DUTY GATE FLUID CATCH MODEL #20474
 COLOR: BLACK



GENERAL NOTES

- SEE FOUNDATION PLAN FOR FOUNDATION WALLS AND FOOTINGS LAYOUT AND CONCRETE SLAB RELATED INFORMATION
- DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
- REFER TO CIVIL DRAWINGS FOR COORDINATION AND PLACEMENT

KEY NOTES

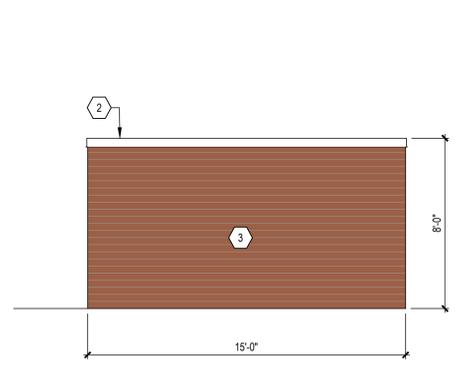
- TRASH ENCLOSURE W/ METAL GATE. GATE AND POSTS PAINTED TO MATCH BRICK. REFER TO DETAIL G1/A-1.4.
- METAL COPING, PAINTED TO MATCH ADJACENT BRICK
- 8" CONCRETE BLOCK WITH 1" AIRSPACE AND 3-5/8" FACE BRICK. REFER TO SECTION G10/A-1.4 FOR DETAILS.
- CONTINUOUS BOND BEAM- REFER TO STRUCTURAL
- "BLOK-FASH" THRU WALL MASONRY FLASHING SYSTEM AS SHOWN AND AS INDICATED IN DRAWINGS AND SPECIFICATIONS.
- FOUNDATION- REFER TO STRUCTURAL
- CONCRETE FLOOR SLAB- REFER TO STRUCTURAL
- GRADE- REFER TO CIVIL DRAWINGS
- PRESSURE TREATED SOLID WOOD BLOCKING

NOTE:
 REMOTE DUMPSTER
 LOCATION. REFER TO CIVIL
 DRAWINGS FOR LOCATION

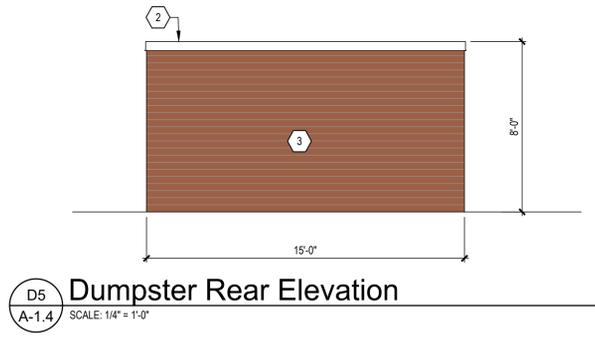
G1
 SCALE: 1/2" = 1'-0"
Dumpster Enclosure Gate Detail

G6
 SCALE: 3/4" = 1'-0"
Cane Bolt Detail

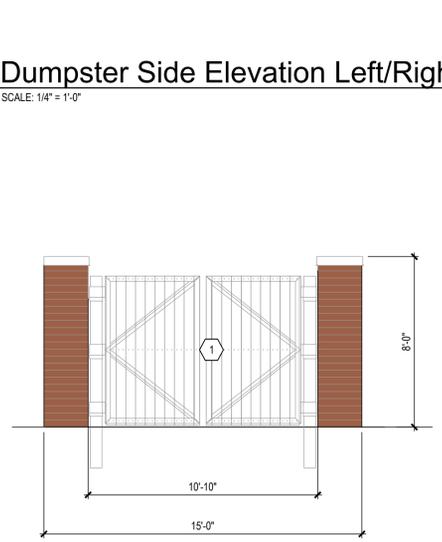
G10
 SCALE: 1/2" = 1'-0"
Wall Section



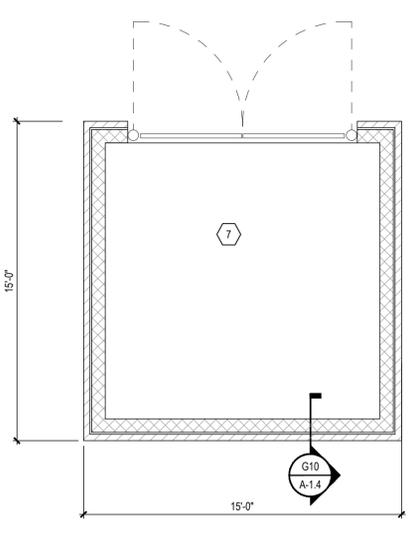
D1
 SCALE: 1/4" = 1'-0"
Dumpster Side Elevation Left/Right



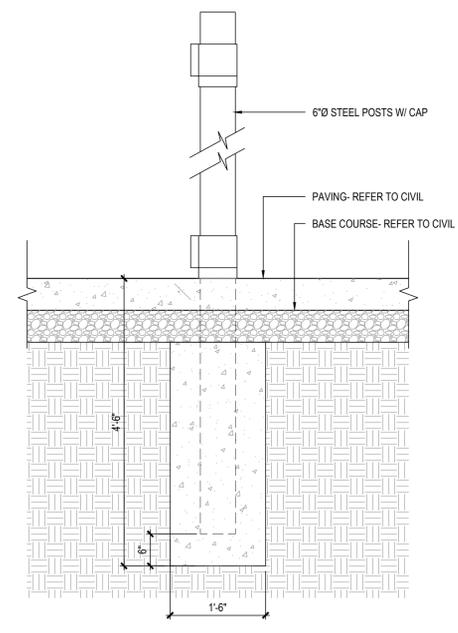
D5
 SCALE: 1/4" = 1'-0"
Dumpster Rear Elevation



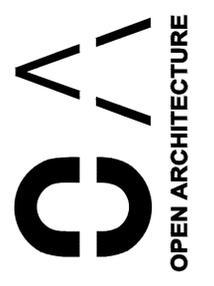
A1
 SCALE: 1/4" = 1'-0"
Dumpster-Front



A5
 SCALE: 1/4" = 1'-0"
Dumpster Plan



A10
 SCALE: 3/4" = 1'-0"
Steel Posts



SHOOTERS SPORTS GRILL
 8300 MEIJER DR
 CANAL WINCHESTER
 OH

PROJECT NO: 19025

ISSUANCES

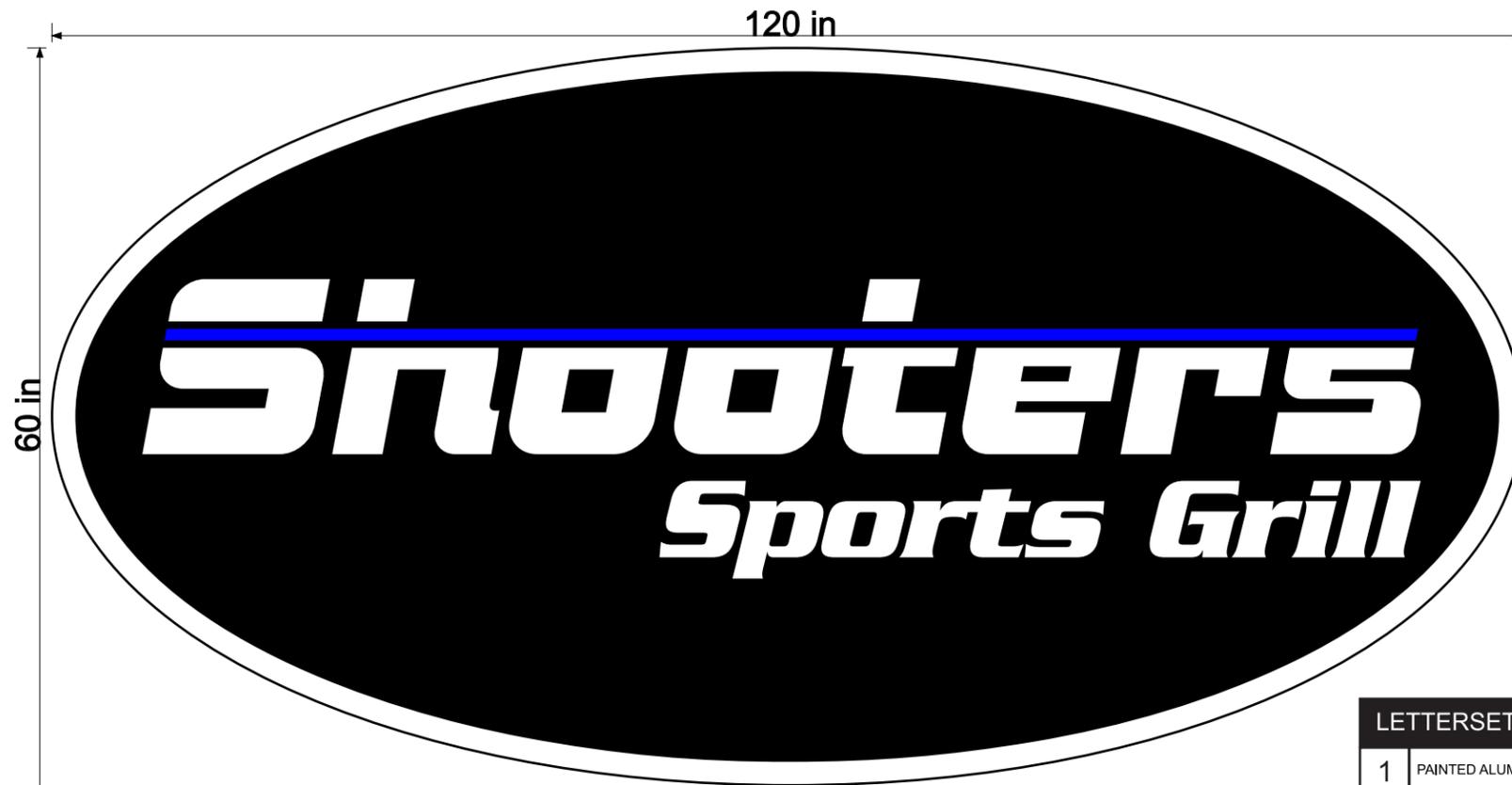
| |
|---------------------|
| 01-31-2020 - ZONING |
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| |
| |
| |

OPEN ARCHITECTURE, INC.

ENLARGED DUMPSTER PLAN AND DETAILS

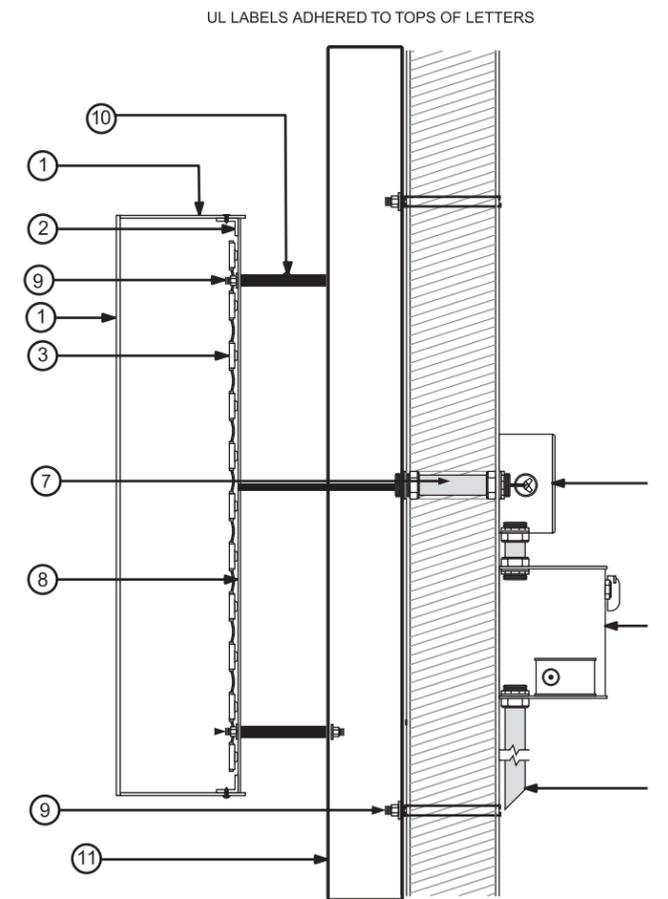
DRAWN BY: SP
 REVIEWED BY: ERC/KCB

ZE-4



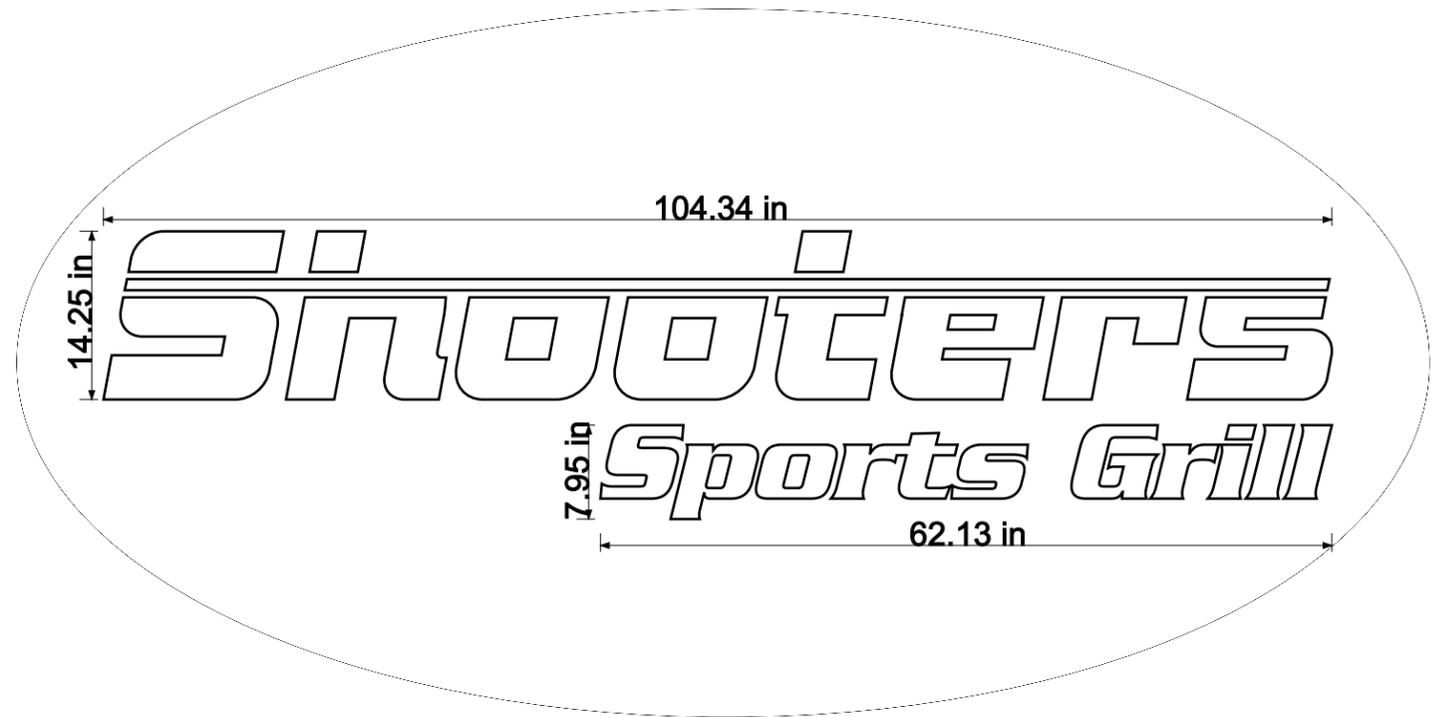
building left

| LETTERSET SPECIFICATIONS | |
|--------------------------|--|
| 1 | PAINTED ALUMINUM 3" RETURN AND FACE |
| 2 | BACKER MOUNTING CLIP: L-CLIP RIVETED TO BACKER |
| 3 | LED UNITS (WHITE) |
| 4 | UL LISTED HOUSING SECONDARY WIRING SPLICE POINT (WHEN NEEDED) |
| 5 | UL LISTED HOUSING CONTAINING POWERSUPPLY* DISCONNECT SWITCH FOR DEDICATED PRIMARY POWER CIRCUIT |
| 6 | PRIMARY POWER CIRCUIT (PROVIDED BY OTHERS) TO BE PLACED WITHING 3 FT OF SIGN |
| 7 | CONDUIT: SECONDARY ELECTRIC RUN |
| 8 | CLEAR BACKER: MODULES MOUNTED DIRECT |
| 9 | MOUNTING HARDARE : VARIES ON FACADE TYPE AND SUPPORT STRUCTURE |
| 10 | 1-1/2" BLACK SPACERS |
| 11 | 2" METAL BACKER |

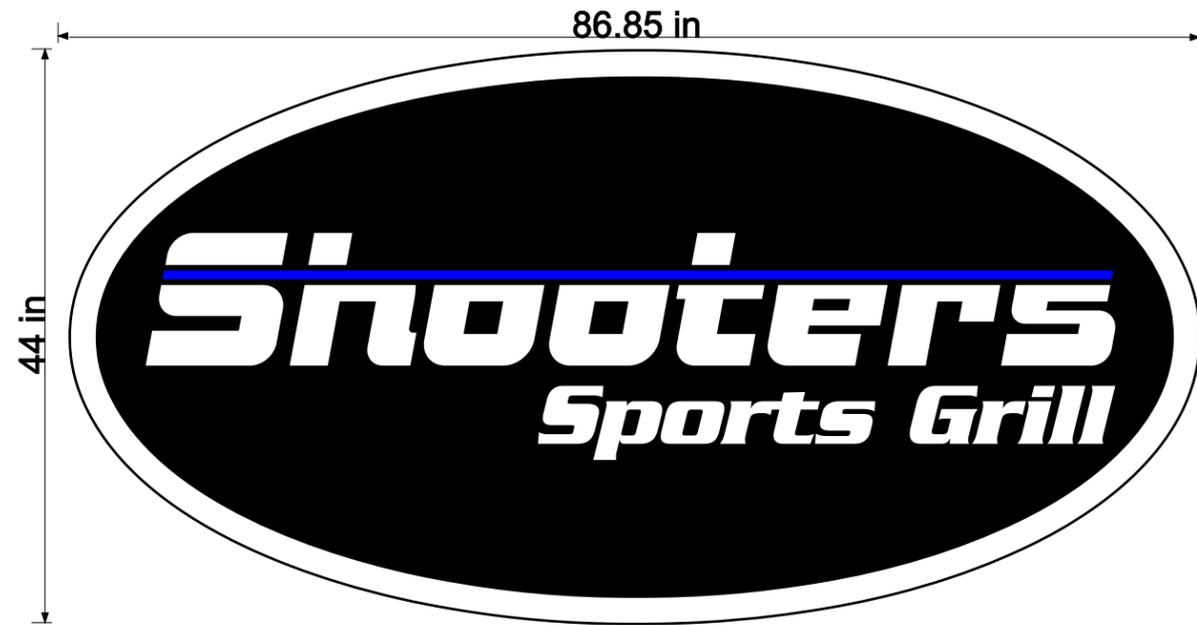


BP HALO LIT LETTER SECAION
SCALE: NTS

building left

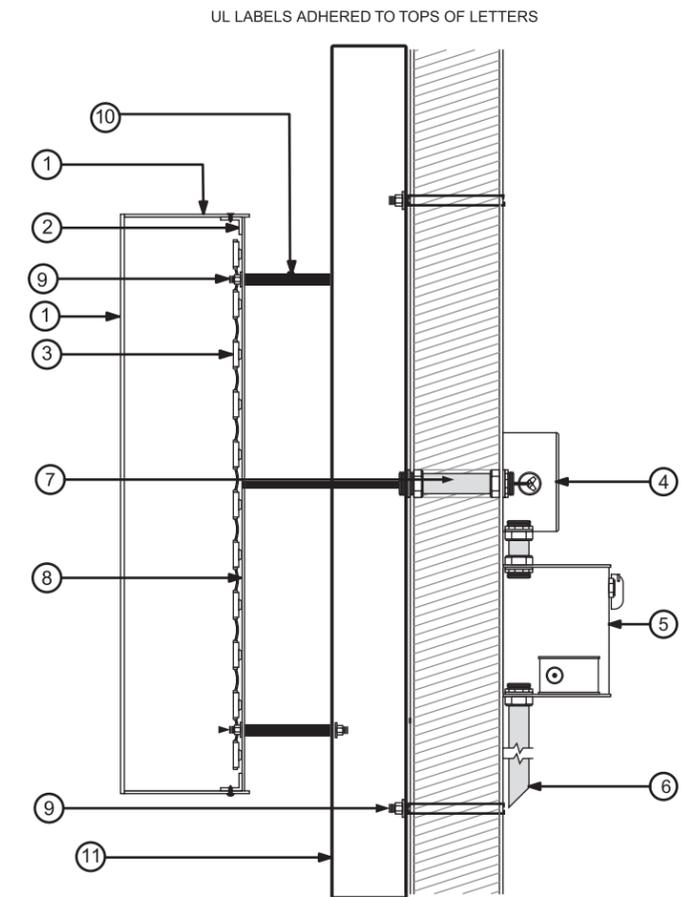


HALO LIT LETTERING AND BOARDER



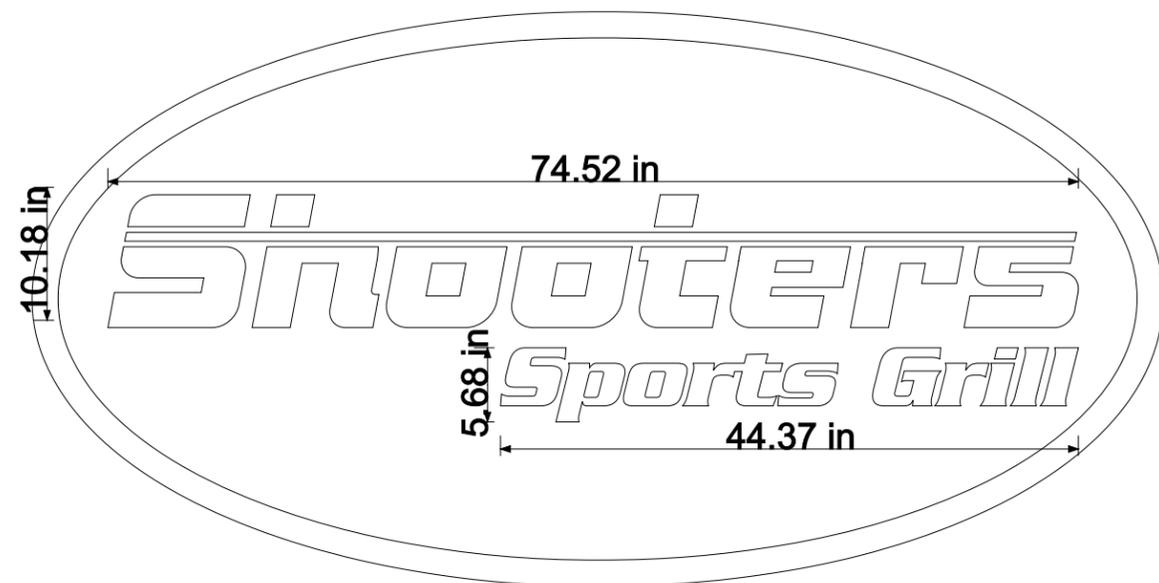
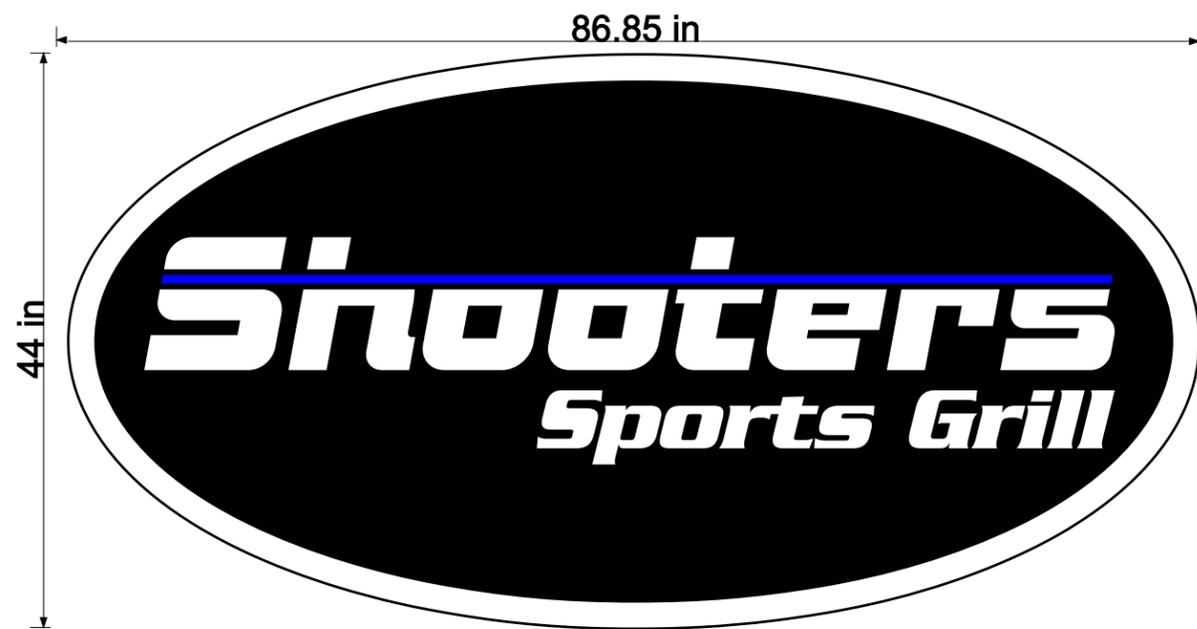
building front

| LETTERSET SPECIFICATIONS | |
|--------------------------|---|
| 1 | PAINTED ALUMINUM 3" RETURN AND FACE |
| 2 | BACKER MOUNTING CLIP: L- CLIP RIVETED TO BACKER |
| 3 | LED UNITS (WHITE) |
| 4 | UL LISTED HOUSING SECONDARY WIRING SPLICE POINT (WHEN NEEDED) |
| 5 | UL LISTED HOUSING CONTAINING POWERSUPPLY* DISCONNECT SWITCH FOR DEDICATED PRIMARY POWER CIRCUIT |
| 6 | PRIMARY POWER CIRCUIT (PROVIDED BY OTHERS) TO BE PLACED WITHING 3 FT OF SIGN |
| 7 | CONDUIT: SECONDARY ELECTRIC RUN |
| 8 | CLEAR BACKER: MODUALES MOUNTED DIRECT |
| 9 | MOUNTING HARDARE : VARIES ON FACADE TYPE AND SUPPORT STRUCTURE |
| 10 | 1-1/2" BLACK SPACERS |
| 11 | 2" METAL BACKER |



BP HALO LIT LETTER SECACTION
SCALE: N.T.S.

building front



HALO LIT LETTERING AND BOARDER

Townhouse 1 Light Wall Light Black

9788BK (Black)

Project Name: _____
 Location: _____
 Type: _____
 Qty: _____
 Comments: _____



Certifications/Qualifications

| | |
|-----------------|--|
| Location Rating | CSA UL Listed Wet |
| | www.kichler.com/warranty |

Dimensions

| | |
|---|-------------|
| Base Backplate | 4.50 X 5.25 |
| Extension | 6.50" |
| Weight | 2.15 LBS |
| Height from center of Wall opening (Spec Sheet) | 2.75" |
| Height | 11.75" |
| Width | 6.50" |

Mounting/Installation

| | |
|-------------------|------------|
| Interior/Exterior | Exterior |
| Mounting Style | Wall Mount |
| Mounting Weight | 2.15 LBS |

Primary Lamping

| | |
|------------------------|--------------|
| Lamp Included | Not Included |
| Lamp Type | A19 |
| Light Source | Incandescent |
| Max or Nominal Watt | 100W |
| # of Bulbs/LED Modules | 1 |
| Socket Type | Medium |
| Socket Wire | 150 |

Product/Ordering Information

| | |
|--------|--------------|
| SKU | 9788BK |
| Finish | Black |
| Style | Traditional |
| UPC | 783927165846 |

Specifications

| | |
|----------------------|---------------|
| Diffuser Description | Clear Beveled |
| Material | CAST ALUMINUM |

Additional Finishes



Black



Tannery Bronze

Kichler

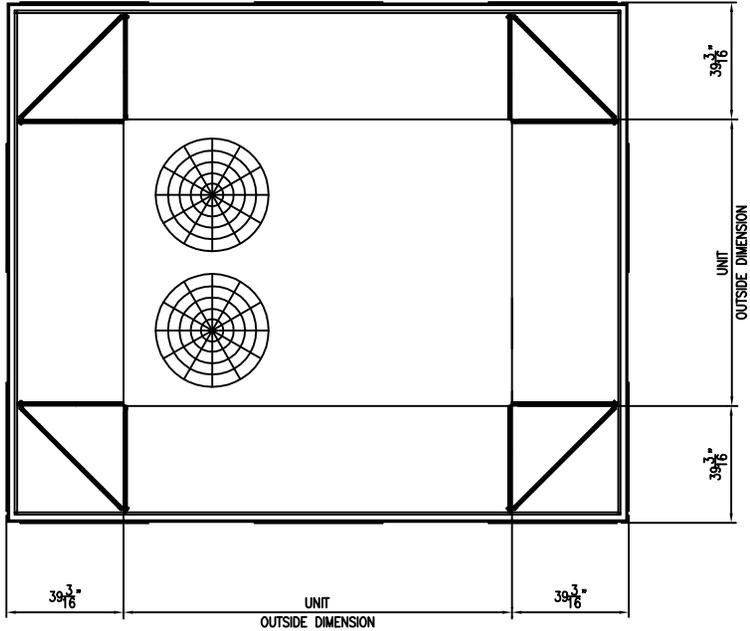
7711 East Pleasant Valley Road Cleveland, Ohio 44131-8010
 Toll free: 866.558.5706 or kichler.com

Notes:

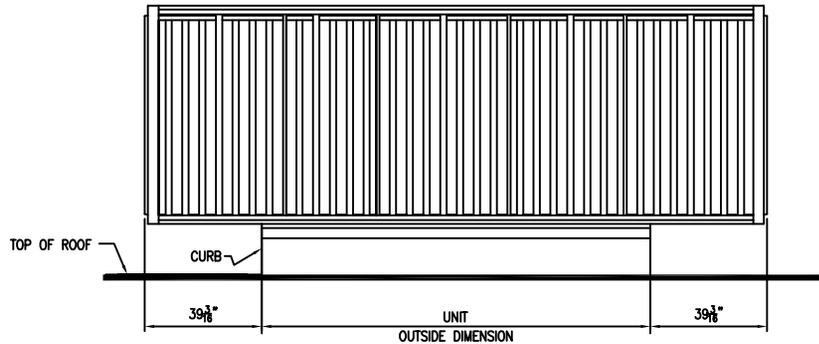
- 1) Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions.
- 2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

KICHLER®

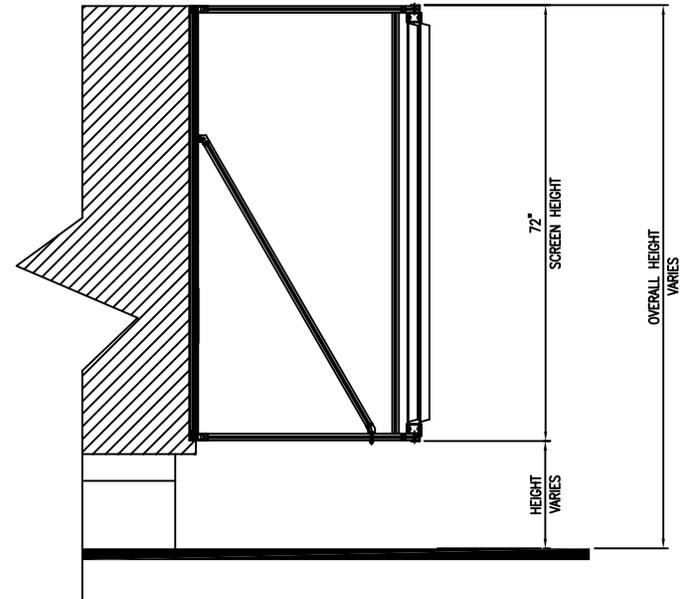
70" VERTICAL STYLE ENVISOR
FOOTPRINT



70" VERTICAL STYLE ENVISOR
ELEVATION



70" VERTICAL STYLE ENVISOR
SECTION



NOTE: The Screen System shown corresponds to a typical construction of the Envisor 70" Vertical Style using Flat Rib Panels. This drawing is intended to illustrate general dimensions of the Envisor System when installed on an average Roof Top Unit. Dimensions and specifications of the system can vary depending on the RTU's location to each other and performance characteristics.

cityscapes
architectural innovations

4200 LYMAN COURT
HILLIARD, OH (614) 850-2549

THIS IS AN ORIGINAL UNPUBLISHED DRAWING SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY CITYSCAPES INTERNATIONAL INCORPORATED IT IS NOT TO BE REPRODUCED, EXHIBITED, OR FABRICATED IN ANY FASHION WITHOUT PERMISSION FROM AN AUTHORIZED OFFICER OF THE COMPANY.

| | | | | |
|---|----------------|-------------------------|-----|-------------------------------|
| PROJECT DESCRIPTION ENVISOR 70" VERTICAL STYLE | | REVISION REF.# AND DATE | | SCALE 3/16" = 1' |
| PROJECT DESCRIPTION GENERAL SPECIFICATIONS | | PAS 02/05/04 | | SHEET 1 OF 1 |
| CLIENT | CONTACT PERSON | WORK ORDER # | | DRAWN BY PAS CHECKED BY |
| ADDRESS | CITY | STATE | ZIP | DATE FILE CREATED 02/05/04 |
| JOBSITE LOCATION | | | | DWG FILE # 100039 |
| ADDRESS | CITY | STATE | ZIP | |



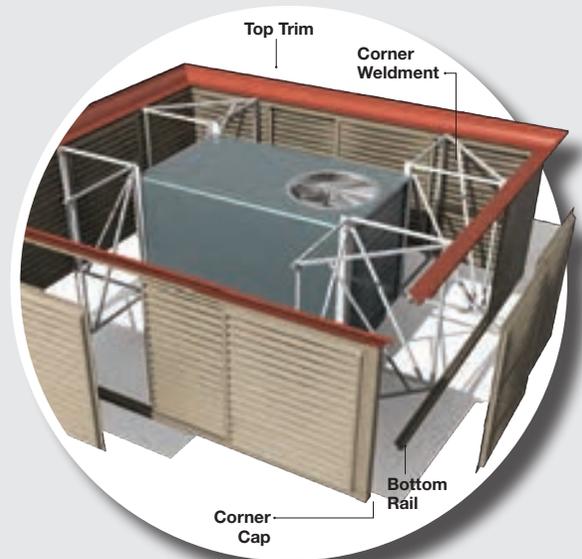
REGIONAL GROCERY CHAIN
• 52"/35" Stacked Louver & 52" Louver
• Color: Rancho Red

envisor[®]

Innovative Rooftop Screens

Attractive, code-compliant and long lasting, Envisor equipment screens offer affordable, elegant, customized screening solutions that blend into the overall design, all with no rooftop penetration. Our patented roof screen system provides practical solutions for municipal screening requirements of HVAC units, chillers, air handlers, power exhausts, roof stacks and communication equipment. You name it, we can screen it!

- **Zero Rooftop Penetration**
- **ABS or Metal**
- **Sliding Panels for Easy Service Access**



U.S. Patent No. 5,664,384
U.S. Patent No. 7,000,362
U.S. Patent No. 7,707,798

cityscapes[®]
architectural innovations



COMMERCIAL OFFICE SPACE
• 52" Louver panel with Band style top trim
• Color: Almond

**THE LEADING ROOF
SCREEN CHOICE OF
ARCHITECTS, BUILDING
OWNERS AND
CONTRACTORS FOR
MORE THAN 20 YEARS.**



CHURCH OFFICE
• 52" Louver panel with Cove top trim
• Color: Custom color match



NATIONAL RETAILER
• 70" Louver panel with Step 2 top trim
• Color: Alabaster

DESIGN OPTIONS

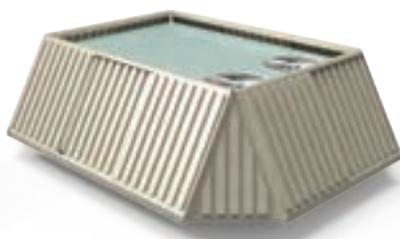
Envisor screens are the perfect alternative to parapet walls and they satisfy even the strictest screening code requirements. Both styles feature our patented attachment method, which secures our screens directly to the equipment with no rooftop penetration. Post mounted option is also available. Screen heights are available to shield virtually anything you desire.

VERTICAL



Available in ABS or metal

CANTED



Available in ABS only

POST MOUNT



Available in ABS or metal

PANEL STYLES

Panels are available in ten standard styles, allowing you to match or coordinate with the building design. The panels are constructed of thermoformed, high-impact ABS with a co-extruded UV protective layer on both sides or choose one of our metal series options in a variety of thicknesses and finishes. The panels are held firmly in place using a rust-free, double tracked aluminum rail system. This enables the panels to slide side-to-side for easy access to the unit during servicing and maintenance.

ACRYLICAP[®]



LOUVER



HORIZONTAL RIB



BRICK



PAN



FOREST



BATTEN



7.2 RIB



VERTICAL RIB

METAL



7.2 RIB



PAN



7.2 RIB VERTICAL

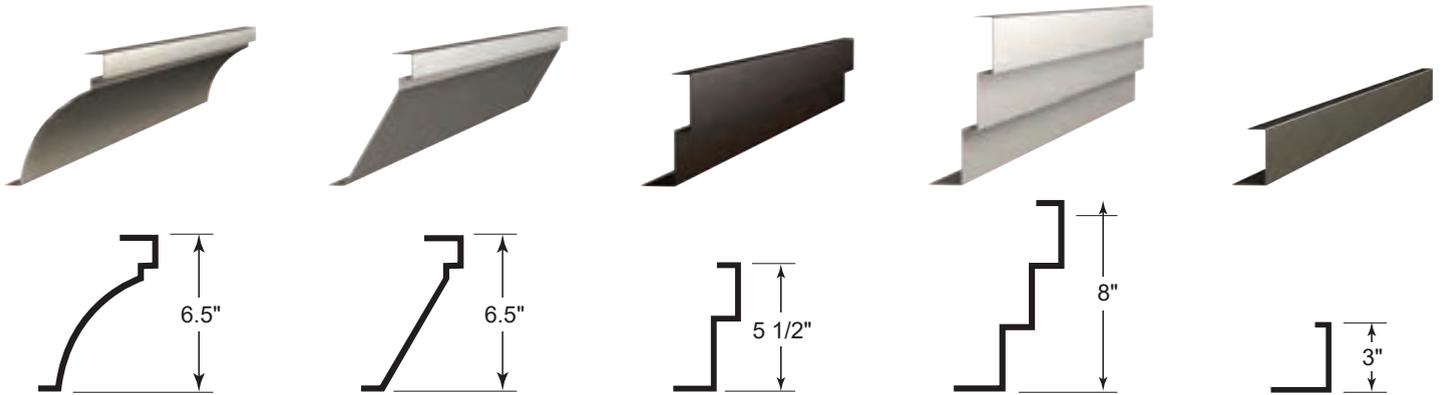


PERFORATED METAL

***Don't see a panel that fits your project?
Tell us and we'll make one that you design. (Mold fee may apply)***

TOP TRIM STYLES

OPTIONAL — Decorative top trim options offer the flexibility to further customize the elegant appearance of the screens by picking up building design elements and incorporating those details into the screen. Although optional, they offer one more way to make screens part of the design, not part of the problem. *Prices vary by style.*



COLORS

Our designer colors complement most architectural applications, but don't let standard colors limit your creativity. We have the ability to match any cross-referenced color specifications. Send us samples to match. We've even matched a color to a rock! Colors are approximations. Please call for actual samples.



Need a custom color? Provide a Sherwin Williams or PMS code and we can color match.

***Speak to a project manager about our Envisor accessories,
including lighting kits and more.***

ORDINANCE NO. 20-010

AN ORDINANCE TO AUTHORIZE THE MAYOR TO ACCEPT AN EASEMENT FOR GENERAL UTILITY PURPOSES FROM THE MOUNTAIN AGENCY, LLC.

WHEREAS, Council hereby finds and determines that it is in the best interest of the City of Canal Winchester to accept an easement for general utility purposes for future water and sanitary sewer services to properties located along US 33;

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, STATE OF OHIO:

Section 1. That the Mayor be and hereby is, authorized to accept on behalf of the City of Canal Winchester an easement for general utility purposes, as more fully described in the Easement for General Utility Purposes attached hereto as Exhibit A and incorporated herein by reference

Section 2. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

DATE PASSED _____

PRESIDENT OF COUNCIL

ATTEST _____

MAYOR

APPROVED AS TO FORM:

LEGAL COUNSEL

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by the Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.

Clerk of Council

Exhibit A

EASEMENT FOR GENERAL UTILITY PURPOSES

THE MOUNTAIN AGENCY, LLC, an Ohio limited liability company (hereinafter "Grantor"), in consideration of One Dollar (\$1.00) and other good and valuable considerations, paid by the CITY OF CANAL WINCHESTER, an Ohio municipal corporation (hereinafter "Grantee"), receipt of which is hereby acknowledged, does hereby, for itself, its heirs, successors and assigns, GRANT AND CONVEY to the CITY OF CANAL WINCHESTER, its successors and assigns forever, the right and easement to construct, install, operate, repair, replace, relocate, inspect and maintain utility lines, together with all appurtenances incidental thereto, including but not limited to hydrants and manholes (the "Utility Purposes"), and the right of ingress and egress at all reasonable times for the purposes aforesaid, on, over, through, under and across the property of the Grantor (the "Easement Area"), as described with more particularity in the legal description and accompanying survey plat attached hereto as Exhibits A and A-1 and incorporated herein by reference.

To have and to hold said easements and rights-of-way, with all of the privileges and appurtenances thereto belonging, to said Grantee, its successors and assigns forever.

The easement granted hereby includes the right to trim and/or remove any trees or shrubbery which may hereafter interfere with the construction, reconstruction, operation and maintenance of said line, within the limits of the easement.

The Grantee, its successors and assigns, shall have the right of ingress and egress from the site occupied by said line and appurtenances, and the right to do any and all things necessary, proper or incidental to the successful operation and maintenance thereof. The Grantor shall have the right to use the easement for purposes not inconsistent with the Grantee's, and its successors and assigns, full enjoyment of the rights herein granted. Specifically, Grantor shall have the right to install paving, lighting, landscaping, drainage, and other improvements within the Easement Area provided that such installations and activities related thereto do not adversely affect or impair Grantee's use of, or rights of ingress and egress at all reasonable times to, the Easement Area for the General Utility Purposes.

The consideration herein mentioned includes total compensation for grant of the easements and rights-of-way and for all damage caused by construction, installation, operation, repair,

replacement, relocation, inspection and maintenance within the easement, provided however, that the Grantee, its successors and assigns, shall restore all property, including fences, except buildings or other structures, within the Easement Area, to its original condition insofar as practicable, after entering upon said premises for any of the purposes herein set forth, including construction, repair, maintenance, replacement, relocation, operation, inspection and maintenance of all facilities and improvements of the Grantee, its successors and assigns, located within such Easement Area and rights-of-way; provided, however, that Grantee shall have no obligation to restore paving, lighting, landscaping, drainage, or other improvements installed in the Easement Area by Grantor subsequent to this grant of easement.

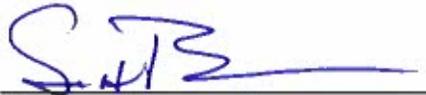
Grantor, for itself, its heirs, successors and assigns, covenants with the Grantee, its successors and assigns, that Grantor is lawfully seized of the premises and that Grantor will forever warrant and defend the same unto the Grantee, its successors and assigns, against all claims of all persons whomsoever.

The term "Grantor" shall include singular and plural, masculine and feminine, individuals, corporations, partnerships and associations, and the heirs, assigns, administrators, executors and successors of all of them.

Grantee, for itself, its successors, and assigns, acknowledges that this Easement for General Utility Purposes is subject to the channel change easement held by the State of Ohio and of record in the Office of the Franklin County Recorder, D.B. 2370, Page 183, and the easement for channel change purposes held by the State of Ohio and of record in the Office of the Franklin County Recorder, D.B. 2390, Page 592.

IN WITNESS WHEREOF, the Grantor has hereunto caused Grantor's name to be subscribed this 24th day of January, 2020.

THE MOUNTAIN AGENCY, LLC

By: 
Its: Vice-President

STATE OF OHIO
COUNTY OF FRANKLIN, SS:

Before me, a Notary Public, personally appeared Scott Bristow, an authorized representative of THE MOUNTAIN AGENCY, LLC, who acknowledged the signing of the foregoing instrument to be his and its voluntary act and deed for the uses and purposes therein mentioned.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed my official seal this 24th day of January, 2020.


Notary Public

This instrument prepared by:
Thaddeus M. Boggs, Esq.
Frost Brown Todd LLC
10 W. Broad Street, Ste. 2300, Columbus, Ohio 43215
Columbus, Ohio 43215

BRIAN E. McNAIR, Attorney at Law
Notary Public, State of Ohio
My Commission has no expiration date
Section 147.03 Q. R. C.

January 13, 2020

**DESCRIPTION OF A UTILITY EASEMENT
ALONG U.S. RTE. 33 AND EAST OF RAGER ROAD,
CITY OF CANAL WINCHESTER, FRANKLIN CO., OHIO**

Situated in the State of Ohio, County of Franklin, City of Canal Winchester, in the southwest quarter of Section 24, Township 11 North, Range 21 West, Congress Lands and being an easement, for utility purposes, through a portion of a 41.990 acre tract of land conveyed to The Mountain Agency, LLC, by deed of record in Instrument No. 201110030124958, said easement bounded and described as follows:

Beginning at a point in a west line of said 14.990 acre tract and in an east line of a 110.244 acre tract of land conveyed to _____, by deed of record in Instrument No.

_____, said point being N 04° 29' 47" E a distance of 42.11 feet from the most southwesterly corner of said 41.990 acre tract and from the southeast corner of said 110.244 acre tract;

thence N 04° 29' 47" E along a portion of a west line of said 41.990 acre tract and along a portion of an east line of said 110.244 acre tract a distance of 32.78 feet to a point;

thence crossing a portion of said 41.990 acre tract the following twelve (12) courses:

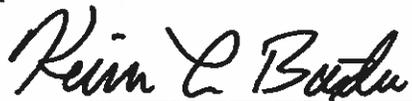
1. S 61° 44' 05" E a distance of 769.96 feet to a point;
2. S 38° 45' 01" E a distance of 108.33 feet to a point;
3. S 61° 37' 17" E a distance of 482.39 feet to a point;
4. N 89° 12' 26" E a distance of 160.85 feet to a point;
5. S 63° 19' 04" E a distance of 176.21 feet to a point;
6. S 81° 31' 29" E a distance of 52.15 feet to a point;
7. S 03° 41' 04" W a distance of 26.32 feet to a point in the southerly right-of-way line of U.S. Rte. 33 ~ Southeastern Expressway (FRA-33-(26.21-30.13));
8. N 79° 07' 31" W and along the southerly right-of-way line of U.S. Rte. 33 ~ Southeastern Expressway a distance of 366.86 feet to a point of curvature;
9. and with a curve to the right, data of which is: radius = 12,152.67 feet, and delta = 01° 25' 25", arc length = 301.98 feet, a chord distance of 301.97 feet bearing N 61° 57' 44" W to the point of tangency;
10. N 61° 15' 01" W and along the southerly right-of-way line of U.S. Rte. 33 ~ Southeastern Expressway a distance of 205.29 feet to a point;
11. N 38° 45' 01" W a distance of 116.91 feet to a point;
12. N 61° 44' 05" W a distance of 750.65 feet to the place of beginning;

containing 1.402 acres of land, more or less.

TOGETHER WITH: A temporary construction easement along, adjacent to and fifty (50) feet northerly of the entire northerly lines of said above described permanent easement;

containing 2.008 acres of land, more or less.

The above description was prepared by Kevin L. Baxter, Ohio Surveyor No. 7697, of Bird + Bull, Inc., Consulting Engineers & Surveyors, Columbus, Ohio from best available Court House research, in December, 2019. Basis of bearings is the centerline of U.S. Rte. 33 ~ Southeast Parkway (FRA-33-(26.21-30.13)), being N 61° 15' 01" W, between Franklin County Engineer's Monuments 10-693 and 9-693, Ohio State Plane Coordinate System (South Zone - NAD 83, 2011 Adjustment) and all other bearings are based upon these monuments.



Kevin L. Baxter ~ Ohio Surveyor #7697

01/13/2020



CITY OF CANAL WINCHESTER, OHIO

ORDINANCE NO. 20-011

AN ORDINANCE AUTHORIZING THE ISSUANCE OF A PROMISSORY NOTE NOT TO EXCEED \$2,400,000 FOR THE PURPOSE OF PAYING ALL OR A PART OF THE COST OF ACQUIRING, CONSTRUCTING, EQUIPPING AND IMPROVING THE CITY OF CANAL WINCHESTER'S CITY HALL AND DECLARING AN EMERGENCY.

WHEREAS, the City Council (the "Council") of the City of Canal Winchester, Ohio (the "City") has determined under its Charter and Chapter 133, including Section 133.15 of the Ohio Revised Code, that it is necessary to issue its \$2,400,000 City Hall Acquisition, Construction and Improvement Note, Series 2020 (Tax-Exempt) (the "Note") for the purpose of financing in part the acquisition, construction, equipping and improving of the City's City Hall and Municipal Complex, located on approximately 1.29 acres identified as Franklin County, Ohio Parcel Numbers 184-000019, 184-000020, 184-000021, 184-000360, 184-000321, 184-000251, and 184-003232 (the "Project"); and

WHEREAS, the Finance Director, as Fiscal Officer of the City, has estimated the life or period of usefulness of the improvements constituting the Project is at least thirty (30) years and has certified that the maximum maturity of the Note is ten (10) years;

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, STATE OF OHIO, THAT:

Section 1. It is hereby declared necessary to issue the Note in an amount not to exceed Two Million, Four Hundred Thousand Dollars (\$2,400,000) for the purpose of paying part of the cost of the Project, including "financing costs," as defined in Section 133.01 of the Ohio Revised Code, related to the issuance of the Note and other permissible costs under Chapter 133 of the Ohio Revised Code (the "Act"), under authority of and pursuant to the general laws of the State of Ohio, particularly the Act.

Section 2. The Note shall be designated "\$2,400,000 City Hall Acquisition, Construction and Improvement Note, Series 2020 (Tax-Exempt)."

Section 3. The Note shall be a special revenue obligation of the City, and non-tax revenues of the City are hereby pledged for the prompt payment of the debt service charges on the Note. "Non-Tax Revenues" is defined as government revenues not generated from taxes.

Section 4. The funds derived from the Non-Tax Revenues shall be placed in a separate and distinct fund, which shall be irrevocably pledged for the payment of the premium, if any, and interest on and principal of the Note when and as the same fall due.

Section 5. The Note shall be dated the date of issuance and shall bear interest at the rate of four percent (4.0%) per annum, shall be payable at such times set forth in the Note and shall mature as set forth in the Note. The Note shall be sold at private sale pursuant to the Real Estate Purchase Agreement executed on August 12, 2019 (the "Real Estate Agreement") between the City and Bob McDorman Real Estate, LLC (the "Purchaser") on such terms not inconsistent with this Ordinance, with consideration for purchase of the Note being the deed of the real property purchased pursuant to such Real Estate Agreement (the "Property") to the City.

Section 6. The Note shall be executed by the Finance Director and the Mayor, provided that either or both of such signatures may be a facsimile. The Note shall express upon its face the purpose for which it is issued and that it is issued pursuant to this Ordinance.

The principal of and interest on the Note shall be payable in lawful money of the United States of America without deduction for the services of the Note Registrar (as defined in Section 7 hereof). The principal of and interest on the Note shall be payable upon presentation and surrender of the Note at its maturity at the office of the Note Registrar. No Note shall be valid or become obligatory for any purpose or shall be entitled to any security or benefit under this Ordinance unless and until a certificate of authentication, as printed on the Note, is signed by the Note Registrar as authenticating agent. Authentication by the Note Registrar shall be conclusive evidence that the Note so authenticated has been duly issued and delivered under this Ordinance and is entitled to the security and benefit of this Ordinance. The certificate of authentication may be signed by any officer or officers of the Note Registrar or by such other person acting as an agent of the Note Registrar as shall be approved by the Finance Director on behalf of the City.

Section 7. The Finance Director is hereby authorized and directed to serve as authenticating agent, note registrar, transfer agent, and paying agent (collectively, the "Note Registrar") for the Note. If at any time the Note Registrar shall be unable or unwilling to serve as such, or the Finance Director in such officer's discretion shall determine that it would be in the best interest of the City for such functions to be performed by another party, the Finance Director may, and is hereby authorized and directed to, enter into an agreement with a national banking association or other appropriate institution experienced in providing such services, to perform the services required of the Note Registrar hereunder. Each such successor Note Registrar shall promptly advise the Noteholder of the change in identity and new address of the Note Registrar. So long as the Note remains outstanding, the City shall cause to be maintained and kept by the Note Registrar, at the office of the Note Registrar, all books and records necessary for the registration, exchange and transfer of the Note as provided in this section (the "Note Register"). Subject to the provisions of this Ordinance, the person in whose name the Note shall be registered on the Note Register shall be regarded as the absolute owner thereof for all purposes. Payment of or on account of the principal of and interest on the Note shall be made only to or upon the order of that person. Neither the City nor the Note Registrar shall be affected by any notice to the contrary, but the registration may be changed as herein provided. All payments shall be valid and effectual to satisfy and discharge the liability upon the Note, including the interest thereon, to the extent of the amount or amounts so paid.

Section 8. In all cases in which the Note is exchanged or transferred hereunder, the City shall cause to be executed, and the Note Registrar shall authenticate and deliver, the Note in accordance with the provisions of this Ordinance. The exchange or transfer shall be without charge to the owner; except that the Council and Note Registrar may make a charge sufficient to reimburse them for any tax or other governmental charge required to be paid with respect to the exchange or transfer. The Council or the Note Registrar may require that those charges, if any, be paid before it begins the procedure for the exchange or transfer of the Note. Any Note issued upon any transfer or exchange shall be the valid obligations of the City, evidencing the same debt, and entitled to the same benefits under this Ordinance, as the Note surrendered upon that transfer or exchange.

Section 9. That this Council, for and on behalf of the City, hereby covenants that it will restrict the use of the proceeds of the Note hereby authorized in such manner and to such extent, if any, and take such other actions as may be necessary, after taking into account reasonable expectations at the time the debt is incurred, so that they will not constitute obligations the interest on which is subject to federal income taxation or "arbitrage bonds" under Sections 103(b)(2) and 148 of the Internal Revenue Code of 1986, as amended (the "Code"), and the regulations prescribed thereunder. The Finance Director or any other officer having responsibility with respect to the issuance of the Note is authorized and directed to give

an appropriate certificate (if such certificate is required, based on the size of the issue, under current regulations) on behalf of the City, on the date of delivery of the Note for inclusion in the transcript of proceedings, setting forth the facts, estimates and circumstances and reasonable expectations pertaining to the use of the proceeds thereof and the provisions of said Sections 103(b)(2) and 148 and regulations thereunder.

The Finance Director shall keep and maintain adequate records pertaining to investment of all proceeds of the Note sufficient to permit, to the maximum extent possible and presently foreseeable, the City to comply with any federal law or regulation now or hereafter having applicability to the Note which limits the amount of Note proceeds which may be invested on an unrestricted yield or requires the City to rebate arbitrage profits (or penalties in lieu thereof) to the United States Department of the Treasury. The Finance Director of the City is hereby authorized and directed to file such reports with, and rebate arbitrage profits (or penalties in lieu thereof) to, the United States Department of the Treasury, to the extent that any federal law or regulation having applicability to the Note requires any such reports or rebates. Monies necessary to make such rebate payments (or to pay such penalties) are hereby appropriated for such purpose.

The Note is hereby designated a “qualified tax-exempt obligation” for the purposes set forth in Section 265(b)(3) of the Internal Revenue Code of 1986, as amended. The Council does not anticipate issuing more than \$10,000,000 of tax-exempt obligations (other than (i) private activity bonds which are not qualified 501(c)(3) bonds, and (ii) current refunding bonds) during the current calendar year.

Section 10. The law firm of Frost Brown Todd LLC is hereby appointed to serve as bond counsel to the City in connection with the issuance of the Note. The fees to be paid to such firm shall be subject to review and approval of the Mayor and shall not exceed the fees customarily charged for such services.

Section 11. The Mayor and the Finance Director are each hereby authorized to execute and deliver the Mortgage from the City to the Purchaser in the form on file with the Clerk of Council, with such changes as are approved by the persons executing it on behalf of the City and by the Law Director. Additionally, the Mayor and the Finance Director are each hereby authorized and directed, acting individually or together, to take such action and to execute and deliver, on behalf of this Council, such additional instruments, agreements, certificates, and other documents as may be in their discretion necessary or appropriate in order to carry out the intent of this Ordinance. Such documents shall be in the form not substantially inconsistent with the terms of this Ordinance and the Real Estate Agreement, as they in their direction shall deem necessary or appropriate.

Section 12. The Finance Director and any other officers of the Council are each hereby authorized and directed to prepare and certify a true transcript of proceedings pertaining to the Note and to furnish a copy of such transcript to the Purchaser. Such transcript shall include certified copies of all proceedings and records of the Council relating to the power and authority of the City to issue the Note and certificates as to matters within their knowledge or as shown by the books and records under their custody and control, including without limitation a general certificate of the Finance Director and a no-litigation certificate of the Mayor and the Finance Director, and such certified copies and certificates shall be deemed representations of the City as to the facts stated therein.

Section 13. It is hereby found and determined that all acts, conditions and things necessary to be done precedent to and in the issuing of the Note in order to make it a legal, valid and binding obligations of the City have happened, been done and been performed in regular and due form as required by law; and that no limitation of indebtedness or taxation, either statutory or constitutional, has been exceeded in issuing the Note.

Section 14. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were passed in an open meeting of this Council, and that all deliberations of this Council and of any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements, including Ohio Revised Code Section 121.22.

Section 15. This Ordinance is hereby declared to be an emergency measure necessary for the preservation of the public peace, health and safety of the City and its inhabitants for the reason that the immediate effectiveness of this ordinance is necessary (i) to assure that the Project is acquired, constructed and financed in a timely manner, and (ii) so that the City, its citizens and taxpayers may receive the benefits of the Project as soon as possible; wherefore, in accordance with Section 4.07 and 5.05 of the Charter of the City, this Ordinance shall take effect and be in force from and immediately after its passage and approval by the Mayor, or ten (10) days after passage if the Mayor neither approves nor vetoes this Ordinance.

Section 16. The Finance Director is hereby directed to forward a certified copy of this Ordinance to the County Auditor of Franklin County, Ohio and to the County Auditor of Fairfield County, Ohio.

[Signature Page to Follow]

Signed:

President of Council

Adopted: February 18, 2020

Effective: February 18, 2020

Clerk of Council

Approved:

Mayor

Approved as to Form:

Law Director

CERTIFICATE

The undersigned Finance Director hereby certifies that the foregoing is a true copy of Ordinance No. 20-011 duly adopted by the Council of the City of Canal Winchester, Ohio on February 18, 2020 and that a true copy thereof was certified to the County Auditor of Franklin County, Ohio and to the County Auditor of Fairfield County, Ohio.

Finance Director
City of Canal Winchester, Ohio

ORDINANCE NO. 20-012

AN ORDINANCE AUTHORIZING THE LAW DIRECTOR TO ENTER INTO AN AGREED JUDGMENT ENTRY ON SETTLEMENT BETWEEN THE CITY OF CANAL WINCHESTER AND PANDA EXPERS, INC., AND DECLARING AN EMERGENCY.

WHEREAS, Panda Express, Inc. and Waterloo Crossing Ltd. (together, "Panda Express") submitted conditional use and variance applications to the City in April, 2019 to construct a Panda Express restaurant with drive-thru service on a lot within the Waterloo Crossing Shopping Center, located on the south side of Winchester Boulevard, Franklin County parcel no. 184003208 (the "Property"), as well as approval of Panda Express' site development plan; and

WHEREAS, following denial of the conditional use permit and variance by Planning and Zoning Commission (which denial was affirmed by City Council), Panda Express initiated litigation in Common Pleas Court appealing the denials; and

WHEREAS, the parties desire to resolve this dispute in the most beneficial and cost-effective manner possible; and

WHEREAS, the City and Panda Express have negotiated an agreement to resolve all pending claims in the administrative appeal, and the agreement in embodied in an Agreed Judgment Entry on Settlement for the Court's approval and issuance;

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, OHIO, THAT:

SECTION 1. The Law Director is hereby authorized to enter into an Agreed Judgment Entry on Settlement with Panda Express in a form substantially similar to the entry attached hereto as Exhibit "A" and incorporated herein by reference.

SECTION 2. This Ordinance is hereby declared to be an emergency measure, necessary for the preservation of the public health, safety and welfare, such emergency arising from the need to resolve pending litigation in the most beneficial and cost-effective manner possible; WHEREFORE, this Ordinance shall take effect and be in force from and after its passage.

DATE PASSED _____

PRESIDENT OF COUNCIL

ATTEST _____
CLERK OF COUNCIL

MAYOR

APPROVED AS TO FORM:

DATE APPROVED

LEGAL COUNSEL

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by the Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.

CLERK OF COUNCIL

**BEFORE THE CITY COUNCIL
FOR CANAL WINCHESTER, OHIO
APPEAL TO
THE COMMON PLEAS COURT OF FRANKLIN COUNTY, OHIO**

| | | | |
|--|---|----------------------------|----------------------------|
| PANDA EXPRESS, INC., <i>et al.</i>, | : | IN RE: | App. Nos. CU-19-001 |
| | : | | VA-19-005 |
| | : | | |
| v. | : | | |
| | : | Case No. 19 CV 7547 | |
| CITY COUNCIL FOR THE CITY OF CANAL WINCHESTER, OHIO, <i>et al.</i>, | : | | |
| | : | Judge Kim J. Brown | |
| | : | | |
| | : | | |

AGREED JUDGMENT ENTRY ON SETTLEMENT

This matter is before the Court on the application of the parties, Appellants Panda Express, Inc. and Waterloo Crossing Ltd. (together, “Panda Express”) and Appellees City Council for the City of Canal Winchester, Ohio and City of Canal Winchester, Ohio (together, the “City”) (collectively, the “Parties”), each of which advises through counsel that they have reached a full and complete agreement to resolve all pending claims in this action. It is therefore ORDERED, ADJUDGED, and DECREED as follows:

1. The Court has jurisdiction over the Parties and the subject matter of this action. Venue is proper in this Court.
2. The provisions of this Agreed Judgment Entry on Settlement shall apply and be binding upon the Parties, their agents, officers, employees, assigns, successors in interest, and any person acting in concert or in participation with them.
3. On April 25, 2019, Panda Express filed conditional use and variance applications (collectively, “Application”) with the City to construct a Panda Express restaurant with drive-thru

service on a lot within the Waterloo Crossing Shopping Center, located on the south side of Winchester Boulevard, Franklin County parcel no. 184003208 (the “Property”). Specifically, Panda Express sought permission to operate a drive-thru on the Property as a conditional use pursuant to Section 1167.03(a) of the Canal Winchester Zoning Code (“Zoning Code”) (filed as Application No. CU-19-001), and sought a variance from Section 1199.04 of the Zoning Code to allow the proposed building to exceed the front build-to-line set at 25 feet (filed as Application No. VA-19-005, the “Variance”). Panda Express also filed Application Nos. VA-19-006 and SDP-19-003. Application No. VA-19-006 sought a variance from Section 1199.03(d) of the Zoning code to reduce the minimum percentage of window glass required on the front elevation. Application No. SDP-19-003 sought approval of Panda Express’ Site Development Plan

4. On June 10, 2019, the City’s Planning and Zoning Commission held a public hearing on Panda Express’ Application and voted to deny the conditional use permit and request for the Variance, which is memorialized in a July 8, 2019 Findings of Fact and Conclusions of Law. Application No. VA-19-006 was approved and Application No. SDP-19-003 was tabled by the Planning and Zoning Commission.

5. Panda Express filed an appeal of the denial of the conditional use permit and request for the Variance to City Council on June 18, 2019.

6. On August 5, 2019, City Council held a hearing on Panda Express’ appeal of the Planning and Zoning Commission’s denial of Panda Express’ conditional use permit and variance request.

7. On August 19, 2019, City Council issued Findings of Fact and Conclusions of Law affirming the denial of Panda Express’ conditional use permit and variance request.

8. On September 17, 2019, Panda Express filed an Amended Notice of Appeal of City Council's denial with the Franklin County Court of Common Pleas pursuant to the provisions of R.C. 2505.01 *et seq.* and 2506.01 *et seq.* (the "Administrative Appeal").

9. The Parties have reached a full and complete agreement to resolve all pending claims in the Administrative Appeal.

10. The City agrees to and hereby does grant Panda Express the following permits, variances, and approvals:

- a. A conditional use permit (approval of Application No. CU-19-001) so that Panda Express can operate a drive-thru on the Property;
- b. A variance (approval of Application No. VA-19-005) from the requirement in Section 1199.04(a) of the Zoning Code that requires a 30-foot built-to-line (25 feet plus 5 feet variation for a one-story building);
- c. Approval of Panda Express' site plan, attached hereto as Exhibit A (as modified from Application No. SDP-19-0030), including approval of the lighting design under Section 1199.06 of the Zoning Code.

The grant of the aforementioned permits, variances, and approvals, as well as the restatement of variance approval stated in Paragraph 11 hereto, shall not be construed to waive requirements for any other applicable permit application, review, or approval, not specifically mentioned in this Agreed Judgment Entry.

11. The City hereby restates its approval of Application No. VA-19-006, granting Panda Express a variance from Section 1199.03(d) of the Zoning code to reduce the minimum percentage of window glass required on the front elevation.

12. The permits, variances, and approvals set forth above shall expire twelve months from the date this Agreed Judgment Entry is signed by the Court unless building permits have been obtained for construction in accordance therewith. A single extension, not to exceed six months, may be given by the Canal Winchester Planning and Zoning Commission upon written request by Panda Express.

13. In exchange for the permits, variances, and approvals set forth above, Panda Express shall dismiss this Administrative Appeal with prejudice.

14. The Parties acknowledge that this Agreed Judgment Entry on Settlement represents the compromise of disputed contentions and claims between the Parties concerning the above-captioned action and shall not be construed as an admission of the truth or falsity of any contentions or claims heretofore asserted. The execution of this Agreed Judgment Entry represents a complete settlement of any dispute between the Parties with respect to the subject matter of this Agreed Judgment Entry, and each Party hereby waives and releases any claim or cause of action against the other with respect to the subject matter of this Agreed Judgment Entry.

15. The Parties acknowledge that this Agreed Judgment Entry on Settlement constitutes the entire agreement among the Parties with respect hereto. There are no other agreements, oral or written, express or implied, among the Parties, except this Agreed Judgment Entry on Settlement with respect to the matters set forth herein.

16. No course of dealing among the Parties, no waiver by any or all of the Parties hereto, and no refusal or neglect of any of the Parties hereto, in exercising any rights hereunder or in enforcing compliance with the terms of this Agreed Judgment Entry on Settlement, shall constitute a waiver of any provision herein unless such power is expressed in writing by the waiving party.

17. The Parties represent and warrant that they have been represented by counsel in all matters concerning this Agreed Judgment Entry on Settlement, and that they have been fully advised by their attorney(s) of their rights and obligations in the execution hereof, and that, further, they have read and understood the provisions hereof.

IT IS SO ORDERED.

Judge Kim J. Brown

AGREED:

VORYS, SATER, SEYMOUR AND PEASE LLP

FROST BROWN TODD LLC

/s/ Kara M. Mundy

/s/

Joseph R. Miller (0068463)
Christopher L. Ingram (0086325)
Kara M. Mundy (0091146)
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P.O. Box 1008
Columbus, Ohio 43216-1008
Phone: (614) 464-6400
Fax: (614) 719-4630
jrmiller@vorys.com
clingram@vorys.com
kmmundy@vorys.com

Eugene L. Hollins (0040355)
Law Director, City of Canal Winchester
10 W Broad St #2300,
Columbus, OH 43215
Phone: (614) 559-7243
ghollins@fbtlaw.com

Counsel for Appellees

Counsel for Appellants

0128850.0725776 4812-3477-4452v2

LEGAL DESCRIPTION

SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF CANAL WINCHESTER, BEING IN SECTION 25, TOWNSHIP 11 NORTH, RANGE 21 WEST, CONGRESS LANDS, AND BEING A 0.722 ACRE PARCEL OF LAND OUT OF A PORTION OF A 6.164 ACRE TRACT OF LAND AND A PORTION OF A 6.733 ACRE TRACT OF LAND, AND SAID TRACTS BEING AS CONVEYED TO WATERLOO CROSSING LIMITED IN INSTRUMENT NUMBER 20070306038524, WITH ALL RECORD REFERENCES CITED HEREIN BEING OF THE FRANKLIN COUNTY RECORDER'S OFFICE, COLUMBUS, OHIO, AND SAID 0.722 ACRE PARCEL BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING FOR REFERENCE AT FRANKLIN COUNTY GEODETIC SURVEY MONUMENT NUMBER 2270 (RESET) FOUND AT THE INTERSECTION OF THE CENTERLINE OF GENDER ROAD (VARIABLE RIGHT-OF-WAY WIDTH) AND THE NORTH LINE OF SAID SECTION 25, AND SAID MONUMENT BEING REFERENCED BY FOUND FRANKLIN COUNTY GEODETIC SURVEY MONUMENT NUMBER 4452, BEARING S 04° 44' 36" W AT A DISTANCE OF 2708.16 FEET;

THENCE S 04° 44' 36" W, ALONG SAID CENTERLINE OF GENDER ROAD, A DISTANCE OF 70.72 FEET TO A MAG NAIL SET AT THE INTERSECTION OF THE CENTERLINE OF WINCHESTER BOULEVARD (VARIABLE RIGHT-OF-WAY WIDTH);

THENCE S 85° 15' 44" E, LEAVING SAID CENTERLINE OF GENDER ROAD, AND ALONG THE CENTERLINE OF SAID WINCHESTER BOULEVARD, PASSING THE WESTERLY RIGHT-OF-WAY LINE OF SAID WINCHESTER BOULEVARD AS DELINEATED ON THE PLAT OF "WINCHESTER BOULEVARD, WATERLOO STREET, AND CANAL STREET DEDICATION AND EASEMENTS", AND AS RECORDED IN PLAT BOOK 102, PAGES 38-40 AT A DISTANCE OF 95.01 FEET, A TOTAL DISTANCE OF 103.24 FEET TO A MAG NAIL SET AT A POINT OF CURVATURE OF SAID CENTERLINE OF WINCHESTER BOULEVARD;

THENCE CONTINUING ALONG THE CENTERLINE OF WINCHESTER BOULEVARD AS SHOWN ON SAID PLAT, WITH A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 31° 20' 43", A RADIUS OF 680.00 FEET, AN ARC LENGTH OF 355.60 FEET, A CHORD BEARING OF N 78° 03' 54" E AND A CHORD DISTANCE OF 351.18 FEET TO A MAG NAIL SET;

THENCE S 27° 36' 28" E, LEAVING SAID CENTERLINE OF WINCHESTER BOULEVARD, A DISTANCE OF 50.00 FEET TO AN IRON PIN SET ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID WINCHESTER BOULEVARD, AS INDICATED ON SAID PLAT, AND ON THE NORTHERLY LINE OF SAID 6.164 ACRE TRACT, AND AT THE TRUE POINT OF BEGINNING OF THE PARCEL, HEREIN DESCRIBED;

THENCE S 27° 07' 02" E, LEAVING SAID SOUTHERLY RIGHT-OF-WAY LINE OF WINCHESTER BOULEVARD AND SAID NORTHERLY LINE OF THE 6.164 ACRE TRACT, AND CROSSING A PORTION OF SAID 6.164 ACRE TRACT ALONG A DIVISION LINE, A DISTANCE OF 78.40 FEET TO AN IRON PIN SET;

THENCE S 04° 45' 19" W, CONTINUING ACROSS A PORTION OF SAID 6.164 ACRE TRACT, AND CROSSING A PORTION OF SAID 6.733 ACRE TRACT, ALONG A DIVISION LINE, PASSING A SOUTHERLY LINE OF SAID 6.164 ACRE TRACT AND A NORTHERLY LINE OF SAID 6.733 ACRE TRACT AT A DISTANCE OF 123.08 FEET, A TOTAL DISTANCE OF 191.55 FEET TO AN IRON PIN SET;

THENCE N 85° 18' 12" W, CONTINUING ACROSS A PORTION OF SAID 6.733 ACRE TRACT, A DISTANCE OF 135.47 FEET TO AN IRON PIN SET;

THENCE N 04° 20' 00" E, CONTINUING ACROSS A PORTION OF SAID 6.733 ACRE TRACT, AND CROSSING A PORTION OF SAID 6.164 ACRE TRACT, ALONG A DIVISION LINE, PASSING SAID NORTHERLY LINE OF THE 6.733 ACRE TRACT AND SAID SOUTHERLY LINE OF THE 6.164 ACRE TRACT AT A DISTANCE OF 68.58 FEET, A TOTAL DISTANCE OF 119.89 FEET TO AN IRON PIN SET AT A POINT OF CURVATURE;

THENCE CONTINUING ACROSS A PORTION OF SAID 6.164 ACRE TRACT ALONG A DIVISION LINE, WITH A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 07° 20' 10", A RADIUS OF 408.00 FEET, AN ARC LENGTH OF 52.24 FEET, A CHORD BEARING OF N 00° 39' 56" E AND A CHORD DISTANCE OF 52.20 FEET TO AN IRON PIN SET;

THENCE N 02° 22' 27" E, CONTINUING ACROSS A PORTION OF SAID 6.164 ACRE TRACT ALONG A DIVISION LINE, A DISTANCE OF 14.98 FEET TO AN IRON PIN SET AT A POINT OF CURVATURE;

THENCE CONTINUING ACROSS A PORTION OF SAID 6.164 ACRE TRACT ALONG A DIVISION LINE, WITH A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 19° 07' 06", A RADIUS OF 61.20 FEET, AN ARC LENGTH OF 20.42 FEET, A CHORD BEARING OF N 11° 56' 03" E AND A CHORD DISTANCE OF 20.33 FEET TO AN IRON PIN SET ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF WINCHESTER BOULEVARD AND SAID NORTHERLY LINE OF THE 6.164 ACRE TRACT;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF WINCHESTER BOULEVARD AND SAID NORTHERLY LINE OF THE 6.164 ACRE TRACT, WITH A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 08° 58' 06", A RADIUS OF 700.00 FEET, AN ARC LENGTH OF 109.57 FEET, A CHORD BEARING OF N 68° 52' 39" E AND A CHORD DISTANCE OF 109.46 FEET TO THE TRUE POINT OF BEGINNING OF THE PARCEL, HEREIN DESCRIBED, CONTAINING 0.722 ACRE, MORE OR LESS, WITH 0.508 ACRE IN AUDITOR'S PARCEL NUMBER 184-003208 AND 0.214 ACRE IN AUDITOR'S PARCEL NUMBER 184-002897, AND SUBJECT TO ALL CONDITIONS, COVENANTS, EASEMENTS, RESTRICTIONS AND RIGHTS-OF-WAYS OF PREVIOUS RECORD.

THE BASIS OF BEARINGS FOR THIS DESCRIPTION IS THE CENTERLINE OF GENDER ROAD, BEING S 04° 44' 36" W, AS DEPICTED AND DELINEATED ON THE SAID PLAT OF WINCHESTER BOULEVARD, WATERLOO STREET, AND CANAL STREET DEDICATION AND EASEMENTS, AND OF RECORD IN PLAT BOOK 102, PAGES 38-40, FRANKLIN COUNTY RECORDER'S OFFICE, COLUMBUS, OHIO.

THE "IRON PINS SET" ARE THREE-QUARTER (3/4) INCH INSIDE DIAMETER, THIRTY (30) INCHES LONG, HOLLOW IRON PIPES WITH YELLOW PLASTIC CAPS STAMPED "PRIME C M & S". THE "MAG NAILS SET" ARE ONE AND ONE-HALF (1 1/2) INCHES LONG CHROME PLATED NAILS WITH HEAD STAMPED "MAG".

THIS DESCRIPTION WAS PREPARED IN MAY OF 2019 BY DWIGHT A. TILLIS, OHIO REGISTERED PROFESSIONAL SURVEYOR NUMBER 7807, OF PRIME CONSTRUCTION MANAGEMENT & SURVEY, INC. (FORMERLY KNOWN AS P & L SYSTEMS, INC.), AND IS BASED UPON AVAILABLE RECORD INFORMATION AND AN ACTUAL FIELD SURVEY OF THE PROPERTY CONDUCTED IN SEPTEMBER AND OCTOBER OF 2017, AND MAY OF 2019.

NOTES

- 1.) OCCUPATION IN GENERAL FITS SURVEY WITH NO APPARENT ENCROACHMENTS.
- 2.) SOURCE DOCUMENTS AS NOTED.
- 3.) ALL MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE NOTED.
- 4.) BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, OHIO SOUTH ZONE (NAD83-NSRS2007), AS DETERMINED BY A GPS SURVEY UTILIZING CORS STATION "COLB". THE PROJECT COORDINATES ARE BASED ON STATE PLANE COORDINATES AND HAVE BEEN SCALED TO GROUND BY USING A PROJECT ADJUSTMENT FACTOR OF 1.0000816097 APPLIED AT BASE POINT N 675,250.00 E 1,878,750.00. GRID AND GROUND COORDINATES ARE IDENTICAL AT THE BASE POINT.
- 5.) VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAV88), BASED ON SOURCE BENCHMARK CORS STATION "COLB".
- 6.) UTILITIES SHOWN ARE BASED ON PHYSICAL MARKINGS, PLAN INFORMATION PROVIDED BY UTILITY OWNERS, AND LOCATIONS OF ABOVE-GROUND APPURTENANCES. THE OHIO UTILITY PROTECTION SERVICE (OUPS) WAS CONTACTED ON FEBRUARY 27, 2019, OUPS TICKET NUMBERS A905-603-239, A905-603-242, A905-603-324 & A905-603-325.
- 7.) THE SUBJECTS PROPERTY IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DETERMINED BY GRAPHIC INTERPRETATION OF THE FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 39049C0452K EFFECTIVE JUNE 17, 2008.
- 8.) THE SUBJECT PROPERTY IS ZONED GC (GENERAL COMMERCIAL). MIN LOT SIZE=NA, MIN LOT WIDTH=FRONTAGE AND DEPTH=NA, MAX BUILDING HEIGHT=40', FRONT SETBACK=50', SIDE SETBACK=20', REAR SETBACK=25'. INFORMATION LISTED FOUND IN CITY OF CANAL WINCHESTER ZONING CODE. NO ZONING REPORT WAS PROVIDED.
- 9.) NO DIVISION OR PARTY WALLS BETWEEN THE SUBJECT PROPERTY AND ADJOINING PROPERTIES OBSERVED.
- 10.) THERE IS NO OTHER EVIDENCE OF CURRENT OR RECENT EARTHWORK, SITE DEMOLITION AND/OR STREET OR SIDEWALK CONSTRUCTION OR REPAIR AT THE TIME OF SURVEY.
- 11.) THERE IS NO OBSERVED EVIDENCE OF SUBSTANTIAL REFUSE ON THE SUBJECT PROPERTY.
- 12.) THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES.
- 13.) NO EVIDENCE OBSERVED OF A FIELD DELINEATION OF WETLANDS CONDUCTED BY A QUALIFIED SPECIALIST. NO WETLANDS INDICATED PER US FISH AND WILDLIFE MAPS FOR THE SUBJECT PROPERTY.
- 14.) NO EVIDENCE OBSERVED OF CEMETERIES, GRAVESITES OR BURIAL GROUNDS.
- 15.) THERE ARE NO BUILDINGS ON THE SUBJECT PROPERTY.
- 16.) THERE ARE 11 REGULAR PARKING SPACES, 3 PARTIAL REGULAR PARKING SPACES AND 0 HANDICAP PARKING SPACES WITHIN THE SUBJECT PROPERTY.
- 17.) THIS DRAWING IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THE KLEINGERS GROUP IN MARCH, 2019 AND AUGUST, 2019.

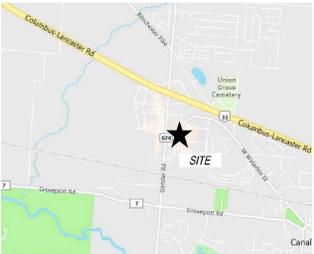
STEWART TITLE GUARANTY COMPANY
 COMMITMENT FOR TITLE INSURANCE
 FILE NO.: 01032-38539
 EFFECTIVE DATE: JULY 12, 2019 AT 8:00 A.M.
 SCHEDULE B, PART II EXCEPTIONS

NOTE: THIS SURVEY IS LIMITED TO A 0.722 ACRE TRACT, A PORTION OF THE 6.164 AND 6.733 ACRE PARCELS COVERED BY THIS TITLE COMMITMENT. THE FOLLOWING STATEMENTS REGARDING THE "SUBJECT PROPERTY" REFER ONLY TO THE 0.722 ACRES SURVEYED, AND NOT THE REMAINDER PORTIONS OF THE PARENT PARCELS.

1. - 10. **ITEMS ARE BLANKET IN NATURE OR ARE NOT SURVEY RELATED.**
11. Reservations, restrictions, covenants, limitations, easements, and/or other conditions as shown on recorded plat, Plat Book 102 Page 38, of the county records. **EASEMENTS ARE LOCATED WITHIN THE SUBJECT PROPERTY AS SHOWN.**
12. Easement granted to the Village of Canal Winchester, of record in Instrument No. 200307110212138. **ITEM IS SHOWN, BUT IT IS NOT LOCATED WITHIN THE SUBJECT PROPERTY.**
13. Easement granted to the Village of Canal Winchester, of record in Instrument No. 200307110212141. **ITEM IS SHOWN, BUT IT IS NOT LOCATED WITHIN THE SUBJECT PROPERTY.**
14. Easement granted to the Village of Canal Winchester, of record in Instrument No. 200307110212142. **ITEM IS LOCATED WITHIN THE SUBJECT PROPERTY AS SHOWN.**
15. Easement granted to South Central Power Company, of record in Instrument No. 200307110212145. **THE NORTHEAST CORNER OF THE SUBJECT PROPERTY EXTENDS INTO ELECTRIC EASEMENT #2 DESCRIBED IN DOCUMENT.**
16. Easement granted to Columbia Gas of Ohio, Inc., of record in Instrument No. 200307110212160. **ITEM IS LOCATED WITHIN THE SUBJECT PROPERTY AS SHOWN.**
17. Right of Way Easement granted to Columbia Gas Transmission Corp., of record in Deed Book 3314 Page 155, as partially released of record in Official Record 12470H17. **ITEM IS BLANKET IN NATURE, AND LOCATION OF EASEMENT CANNOT BE DETERMINED FROM DOCUMENTS.**
18. Easement granted to The Ohio Fuel Gas Company, of record in Deed Book 1455 Page 348. **ITEM IS BLANKET IN NATURE, AND LOCATION OF EASEMENT CANNOT BE DETERMINED FROM DOCUMENTS.**
19. Easement granted to Columbia Gas of Ohio, Inc., of record in Instrument No. 200511150241568 and re-recorded of record in Instrument No. 201110070127877. **ITEM IS NOT LOCATED WITHIN THE SUBJECT PROPERTY.**
20. Easement granted to The Ohio Bell Telephone Company, of record in Instrument No. 200511230247427. **ITEM IS NOT LOCATED WITHIN THE SUBJECT PROPERTY.**
21. Right of Way Easement granted to South Central Power Company, of record in Instrument No. 200711190198953. **ITEM IS NOT LOCATED WITHIN THE SUBJECT PROPERTY.**
22. Easement granted to the Village of Canal Winchester, of record in Instrument No. 200712110212390. **ITEM IS NOT LOCATED WITHIN THE SUBJECT PROPERTY.**
23. Access Easement Agreement by and between Waterloo Crossing Limited and Halle Properties, L.L.C. of record in Instrument No. 201011080149542. **ITEM REFERS TO USE OF CANAL STREET (PRIVATE DRIVEWAY) THAT ABUTTS THE WESTERLY LINE OF THE SUBJECT PROPERTY.**
24. Right of Way Easement granted to South Central Power Company, of record in Instrument No. 200603140047835. **ITEM IS NOT LOCATED WITHIN THE SUBJECT PROPERTY.**
25. Memorandum of Lease by and between Waterloo Crossing Limited, as Landlord and Burger King Corporation, as Tenant, of record in Instrument No. 200804010048982. (NOTE: Leasehold interest not examined.) **ITEM IS NOT SURVEY RELATED.**
26. Access Easement Agreement by and between Waterloo Crossing Limited and 6400 Gender Road, LLC of record in Instrument No. 201208160119982. **ITEM REFERS TO USE OF CANAL STREET (PRIVATE DRIVEWAY) THAT ABUTTS THE WESTERLY LINE OF THE SUBJECT PROPERTY.**
27. Easement and CAM Contribution Agreement by and between Waterloo Crossing Limited and ORI Outparcels LLC, of record in Instrument No. 201412190168609. **EASEMENTS CONTAINED WITHIN THE DOCUMENT ARE BLANKET IN NATURE AND CANNOT BE GRAPHICALLY SHOWN.**
28. Easements with Covenants and Restrictions Affecting Land between Wal-Mart Real Estate Business Trust and Trine Street Investors, Ltd. of record in Instrument No. 200307110212183; First Amendment of record in Instrument No. 200403110053140; Second Amendment of record in Instrument No. 200412200287033; Third Amendment of record in Instrument No. 201011160153861; Fourth Amendment of record in Instrument No. 201708110111209; Fifth Amendment of record in Instrument No. 201807130093081; Sixth Amendment of record in Instrument No. 201807130093082. **ITEMS ARE GENERALLY NOT SURVEY RELATED. AN EASEMENT CONTAINED IN SECOND AMENDMENT IS SHOWN BUT IS NOT LOCATED WITHIN THE SUBJECT PROPERTY.**
29. Notice of Commencement filed for record November 17, 2016, in Instrument No. 201611170158771, of the county records. **ITEM IS NOT SURVEY RELATED.**
30. Memorandum of Lease by and between Waterloo Crossing Limited, as Landlord and Staples the Office Superstore East, Inc., as Tenant of record in Instrument No. 201206280092767. (NOTE: Leasehold interest not examined.) As subordinated of record in Instrument No. 201505210068937. **ITEM IS NOT SURVEY RELATED.**
31. Terms and Conditions of unrecorded Lease by and between L.A.S. Canal Winchester, LLC, as Tenant and Waterloo Crossing Limited, as Landlord as evidenced by that Subordination, Non-Disturbance and Attornment Agreement of record in Instrument No. 201208160119997. NOTE: Satisfaction of Subordination, Non-Disturbance and Attornment Agreement of record in Instrument No. 201502120017819. **ITEM IS NOT SURVEY RELATED.**
32. Terms and Conditions of unrecorded Lease in favor of Shoe Dept., Maurices, Sally Beauty, Gamestop, Irelands Spa, ET Nails, First Choice Haircutters, Verizon Wireless, Golden China Buffet, Jack's Aquarium, Jimmy Johns and Pizza Hut, Lessees, all subordinated by unrecorded SNDAs by and between Landlord and Lessees.
33. Terms and conditions of unrecorded leases in favor of Dale Cleaners and Massey's Pizza, all subordinated by the subordination language contained within the lease. **ITEM IS NOT SURVEY RELATED.**
34. Notice of Furnishing from Kessler Heating and Cooling, Inc. of record in Instrument No. 201712080112176. (As to Parcel II) **ITEM IS NOT SURVEY RELATED.**
35. Minerals of whatsoever kind, subsurface and surface substances, including but not limited to coal, lignite, oil, gas, uranium, clay, rock, sand and gravel in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not appearing in the Public Records or listed in Schedule B. The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed. **ITEM IS NOT SURVEY RELATED.**



NOTE: UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 1-800-362-3764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



VICINITY MAP

LEGEND

| | | | |
|----|--------------------------|----------------|---------------------------|
| ● | 5/8" CAPPED IRON PIN SET | ○ | MANHOLE |
| ○ | 5/8" IRON PIN FOUND | ○ | CLEAN OUT |
| ⊗ | 1" IRON PIPE FOUND | --- | SANITARY SEWER |
| ▲ | NAIL SET | - - - - - | STORM SEWER |
| △ | NAIL FOUND | □ | CATCH BASIN |
| ▲ | RR SPIKE SET | ▭ | INLET |
| ⊕ | BENCHMARK | ⊙ | YARD DRAIN |
| ⊕ | UTILITY POLE | DS | DOWN SPOUT |
| ← | GUY WIRE | TR | TRAFFIC CONTROL CABINET |
| ← | UNDERGROUND ELECTRIC | TR | TRAFFIC SIGNAL POLE |
| ← | OVERHEAD ELECTRIC | TR | SIGN |
| ⊕ | HVAC UNIT | GP | GUARD POST (PIPE BOLLARD) |
| TR | TRANSFORMER | FP | FLAG POLE |
| ⊕ | GROUND LIGHT | X | FENCE |
| ⊕ | ELECTRIC BOX | ⊙ | HARDWOOD TREE |
| ⊕ | LIGHT POLE | 801 | CONTOUR LINES |
| UT | UNDERGROUND TELEPHONE | 805 | |
| T | OVERHEAD TELEPHONE | | |
| ⊕ | TELEPHONE MANHOLE | | |
| ⊕ | TELEPHONE PEDESTAL | | |
| G | GAS MAIN | | |
| ⊕ | GAS VALVE | | |
| UC | UNDERGROUND CABLE TV | | |
| W | WATER MAIN | | |
| ⊕ | FIRE HYDRANT | | |
| ⊕ | WATER VALVE | | |
| ⊕ | WATER METER | | |
| ⊕ | IRRIGATION CONTROL VALVE | | |
| | | CONCRETE | |
| | | GRAVEL | |
| | | ASPHALT | |
| | | LANDSCAPE AREA | |
| | | BRICK / PAVER | |

THE KLEINGERS GROUP

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

www.kleingers.com
 350 Worthington Rd
 Suite B
 Westerville, OH 43082
 614.882.4311

| NO. | DATE | DESCRIPTION |
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| SEAL: | | |
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SURVEY PREPARED FOR PANDA EXPRESS

SEC 25, TWP 11, R. 21
VILLAGE OF CANAL WINCHESTER
FRANKLIN COUNTY, Ohio

| | |
|-------------|------------|
| PROJECT NO: | 190145,000 |
| DATE: | 8/06/19 |

| | |
|-------------|------------------------------------|
| SHEET NAME: | ALTA/NSPS LAND TITLE SURVEY |
|-------------|------------------------------------|

1 OF 2

| | |
|-----------|---------|
| SHEET NO. | 8/06/19 |
| DATE | |

To CFT NV Developments, LLC, Waterloo Crossing Limited, and Stewart Title Guaranty Company:

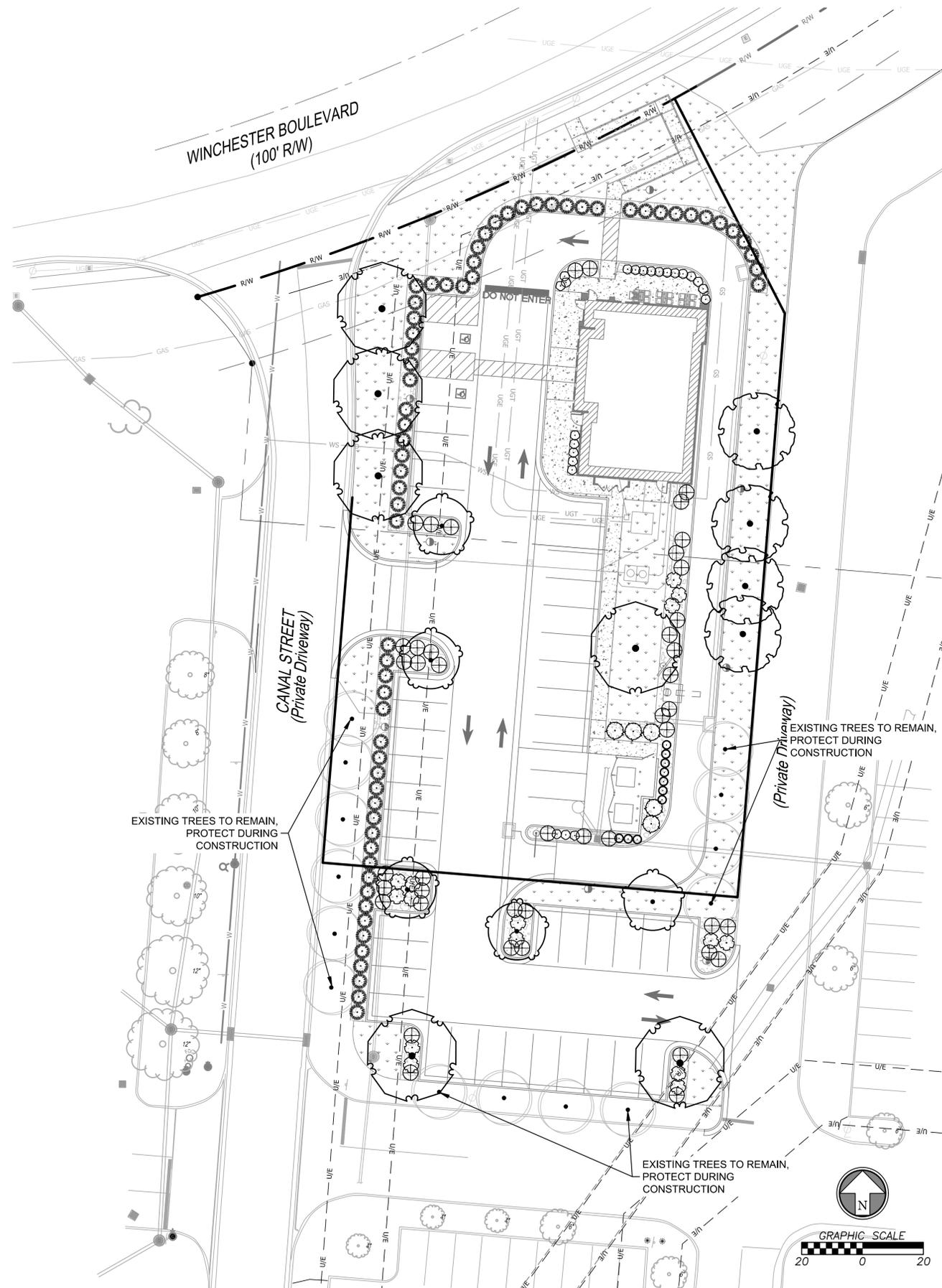
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 8, 9, 11, 13, 16, 17, 18 and 19 of Table A thereof. The field work was completed on August 6, 2019.



Michael L. Keller
 MICHAEL L. KELLER
 OHIO PROFESSIONAL SURVEYOR NO. 7978

8/06/19
 DATE

Jun_16_2020 4:20pm Plotted By: kurt.toddler
 V:\026600-05-Canal Winchester, OH\04-DWG\Ena Sheet\Plan\026600-05-SHTS-LANDSCAPE.dwg Layout: LANDSCAPE PLAN



GENERAL LANDSCAPE NOTES

- The Contractor shall verify and coordinate all final grades with the Landscape Architect and or design team prior to completion.
- Location and placement of all plant material shall be coordinated with the Landscape Architect prior to installation.
- Location of all utilities are approximate, the Contractor shall field verify locations prior to commencement of construction operations.
- Refer to Civil Drawings for all grading and berming, erosion control, storm drainage, utilities and site layout.
- Plant quantities are for information only, drawing shall prevail if conflict occurs. Contractor is responsible for calculating own quantities and bid accordingly.
- The Contractor is to notify Landscape Architect after staking is complete and before plant pits are excavated.
- Tree locations in areas adjacent to drives, walks, walls and light fixtures may be field adjusted as approved by Landscape Architect.
- The Contractor shall report subsurface soil or drainage problems to the Landscape Architect.
- The plan is subject to changes based on plant size and material availability. All changes or substitutions must be approved by the City of Canal, Winchester, Ohio and the Landscape Architect.
- Aluminum landscape edging to be used on all landscape beds adjoining turf areas as noted on landscape plans.
- Landscape Contractor shall be responsible for watering all plant material until the time that a permanent water source is ready.
- The Contractor shall show proof of procurement, sources, quantities, and varieties for all shrubs, perennials, ornamental grasses, and annuals within 21 days following the award of the contract.
- Contractor shall provide full maintenance for newly landscaped areas for a period of 30 days after the date of final acceptance. At the end of the maintenance period, a healthy, well-rooted, even-colored, viable turf and landscaped area must be established. The landscaped areas shall be free of weeds, open joints, bare areas, and surface irregularities.
- Landscape Contractor shall provide rock mulch sample to owner for approval.

SITE DATA

| | Quantity | Required | Existing | Provided | Total |
|--|----------|----------|----------|----------|--------|
| Building Area | 2,223.39 | | | | |
| Open Space Req | | | | | |
| min 200 SF of landscaping in the front and side yards | | 200 | N/A | Y | |
| 1 tree/1,000 SF of bldg | | 2.22 | N/A | 3 | 3 |
| 30 SF/1,000 SF of bldg | | 66.70 | N/A | 913.72 | 913.72 |
| Building Planting | | | | | |
| 50% of the parking landscape to be located on the principle side of the building | | Y | | Y | |
| Street Tree | | | | | |
| Winchester Blvd (N) | | | 0 | 0 | 0 |
| Private Drive (E) | | | 4 | 4 | 8 |
| Private Drive (S) | | | 4 | 0 | 4 |
| Canal Street (W) | | | 6 | 3 | 9 |
| Perimeter Parking Landscape | | | | | |
| 15' buffer along ROW | | Y | | Y | |
| Continuous screen of 4' shrubs | | Y | | Y | |
| Island/Interior Landscape | | | | | |
| Parking provided | 45 | | | | |
| 1 tree/6 spaces | | 7.5 | 0 | 8 | |
| 1 tree/island | | Y | N/A | Y | |
| 50 SF of planting/island | | Y | N/A | Y | |

GENERAL IRRIGATION NOTES

- Irrigation plan to not interfere with any proposed improvements shown.
- Irrigation system design to be based on available psi. Minimum operating pressure for spray heads shall be 30 psi and minimum operating pressure for drip zones shall be 40 psi.
- The contractor shall be responsible for providing uninterrupted, 110 v electrical service to the controller and for all hook-ups. All exposed low voltage wire shall be enclosed in a conduit.
- Place valve boxes 12" minimum from and parallel to curbs and walks, grouped valves to be equally spaced.
- Install all mainlines to 1% minimum slope to drain valves located at low points of main system.
- Irrigation controller and rain sensor shall be located in owner approved locations.



PANDA EXPRESS, INC.
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 Rosemead, California
 91770
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 Facsimile: 626.372.8288

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DRAWN BY:

PANDA PROJECT #: S8-20-D6790
 ARCH PROJECT #: 18044.035



ARCHITECT:

hckloverarchitect
 10955 LOWELL AVENUE, SUITE 700
 OVERLAND PARK, KS 66210
 ph: 913.649.8181 • fx: 913.649.1275

PANDA EXPRESS
 TRUE WARM & WELCOME 2300 R1
 CANAL ST. & WINCHESTER BLVD
 CANAL-WINCHESTER, OH 43110

LANDSCAPE PLAN

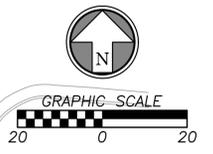
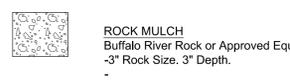
PLANT SCHEDULE

| TREES | QTY | BOTANICAL / COMMON NAME | CONT | CAL |
|-----------------|----------|--|-------|-------------|
| | 5 | Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L1.2 | B & B | 2.5" cal |
| | 6 | Tilia americana 'Redmond' / Redmond American Linden FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L1.2 | B & B | 2.5" cal |
| | 4 | Zelkova serrata 'Musashino' / Sawleaf Zelkova FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L1.2 | B & B | 2.5" cal |
| SHRUBS | QTY | BOTANICAL / COMMON NAME | CONT. | HEIGHT |
| | 15 | Euonymus alatus 'Rudy Haag' / Rudy Haag Burning Bush FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L1.2 | 5 gal | 2' Ht. |
| | 23 | Viburnum opulus 'Nanum' / Dwarf European Viburnum FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L1.2 | 5 gal | 2' Ht. |
| EVERGREEN SHRUB | QTY | BOTANICAL / COMMON NAME | CONT. | HEIGHT |
| | 44 | Juniperus horizontalis 'Blue Rug' / Blue Rug Juniper FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L1.2 | 5 gal | 1.5" height |
| | 5 | Juniperus scopulorum 'Blue Haven' / Blue Haven Juniper FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L1.2 | B & B | 7' |
| | 10 | Juniperus virginiana 'Skyrocket' / Skyrocket Juniper FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L1.2 | 5 gal | 7' |
| | 66 | Taxus x media 'Fairview' / Fairview Yew FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L1.2 | 5 gal | 2' Ht. |
| GROUND COVERS | QTY | BOTANICAL / COMMON NAME | CONT | |
| | 9,859 sf | Festuca arundinacea 'Watersaver Blend' / Watersaving Blend of Tall Fescue PLACE LANDSCAPE EDGING WHERE GRASS ADJOINS PLANTING BEDS, SEE DETAIL 805 SHEET L1.2 | sod | |

EXISTING TREE LEGEND

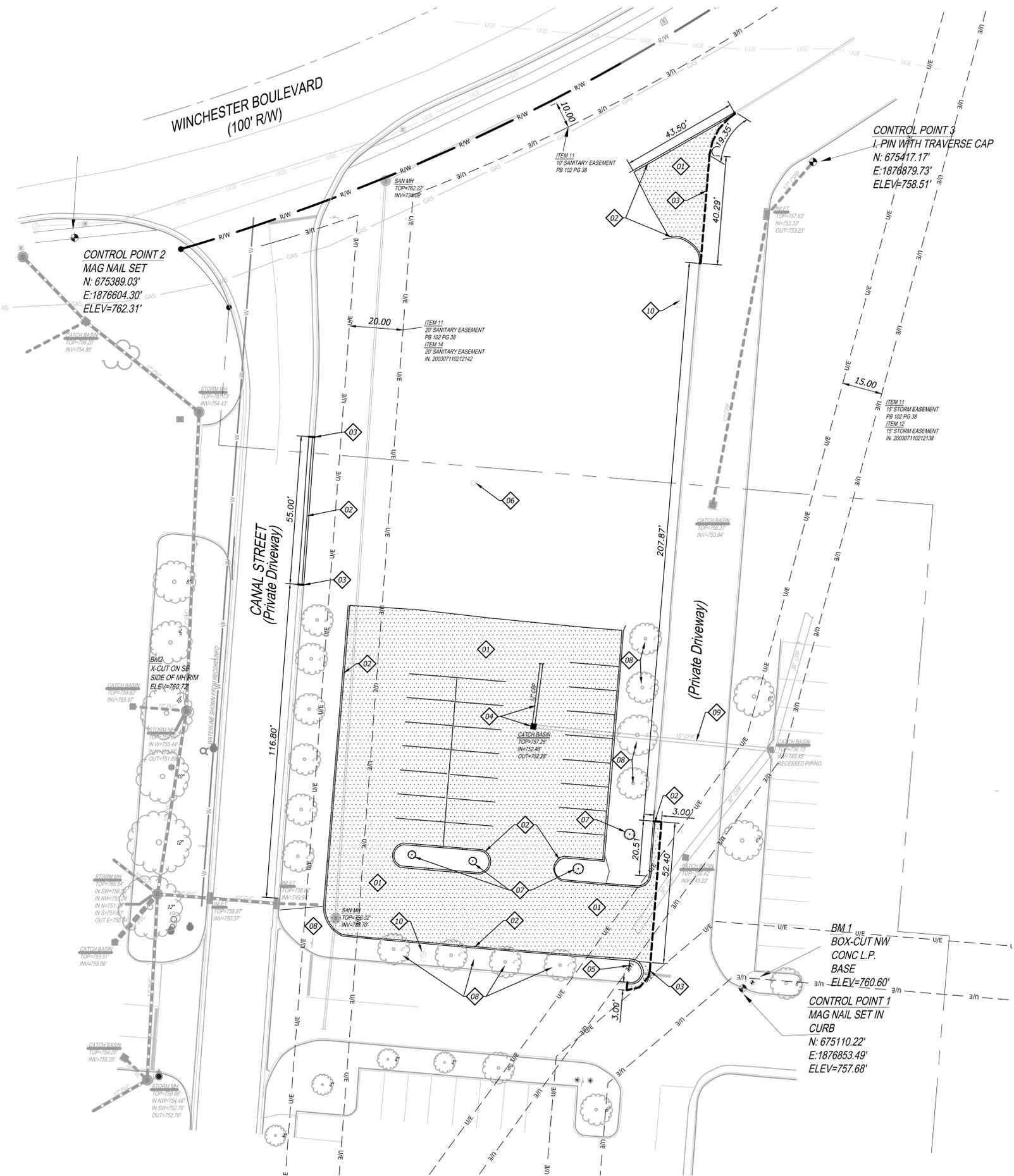


MULCH SCHEDULE



BHC RHODES
 Civil Engineering • Surveying • Utilities
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 Overland Park, Kansas 66210
 p. (913) 663-1900 f. (913) 663-1633
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Jun 16, 2020 3:25pm Plotted By: kurt.toddor V:\026600-Parade Express - Master_2018\026600-05-Canal Winchester, OH\04-DWG\Enr Sheet\Plan\026600-05-SHITS-DEM0.dwg Layout: Demo_Plan



GENERAL NOTES

- All materials shall be removed and disposed of off-site. It is the contractor's responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
- All protection fencing shall be installed prior to demolition/construction activity.
- Contractor shall verify location of all utilities prior to any excavation or construction activity.
- The contractor shall remove any and all existing debris which is encountered from the existing site. This shall include, but shall not be limited to, footings, concrete slabs, conduits, granular subgrade, utility services, and/or unsuitable structural fill material as determined by the owner's engineer. The cost for these removals shall be considered incidental to the project. Said debris shall become property of the contractor and it shall be the responsibility of the contractor to dispose of properly off-site.
- It is the contractor's responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
- The contractor shall be responsible for obtaining and payment of any permits for demolition that pertain to this project.
- Existing storm sewer pipe and structures shall be excavated and removed.

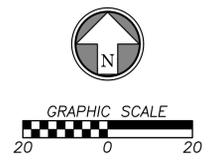
DEMOLITION NOTES

- REMOVE & DISPOSE OF EXISTING ASPHALT.
- REMOVE & DISPOSE OF EXISTING CURB.
- SAW CUT EXISTING PAVEMENT TO FULL DEPTH & CLEAN EDGE.
- REMOVE EXISTING STRUCTURE & PIPE. CAP EXISTING LINE AT CONNECTION POINT TO PRESERVE CONNECTION POINT FOR FUTURE USE.
- REMOVE & STORE EXISTING SIGN ON SITE FOR REINSTALLATION. SEE SITE PLAN FOR LOCATION.
- REMOVE ELECTRIC STRUCTURES & ASSOCIATED UNDERGROUND SERVICE CONDUITS/LINES. CONTRACTOR TO COORDINATE WITH POWER COMPANY TO MAINTAIN CIRCUIT.
- REMOVE & DISPOSE OF EXISTING TREES. SEE LANDSCAPE PLAN FOR TREE REPLACEMENT IN ISLANDS.
- EXISTING TREES, SHRUBS & MULCH TO REMAIN.
- EXISTING STORM SEWER TO REMAIN.
- EXISTING LIGHT POLE TO REMAIN.

DEMOLITION LEGEND

- SAW CUT LINE
- ASPHALT PAVEMENT TO BE REMOVED (13,670 sf)
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING GAS MAIN
- EXISTING WATERMAIN
- EXISTING STORM PIPE
- EXISTING UTILITY EASEMENT
- PIPE CONTINUES-OUTLET OR SOURCE NOT FOUND OR NOT SURVEYED
- SINGLE POLE SIGN

NOTE:
 UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2784 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



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REVISIONS:

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DRAWN BY:

PANDA PROJECT #: S8-20-D6790
 ARCH PROJECT #: 18044.035



ARCHITECT:

hckloverarchitect
 10955 LOWELL AVENUE, SUITE 700
 OVERLAND PARK, KS 66210
 ph: 913.649.8181 • fx: 913.649.1275

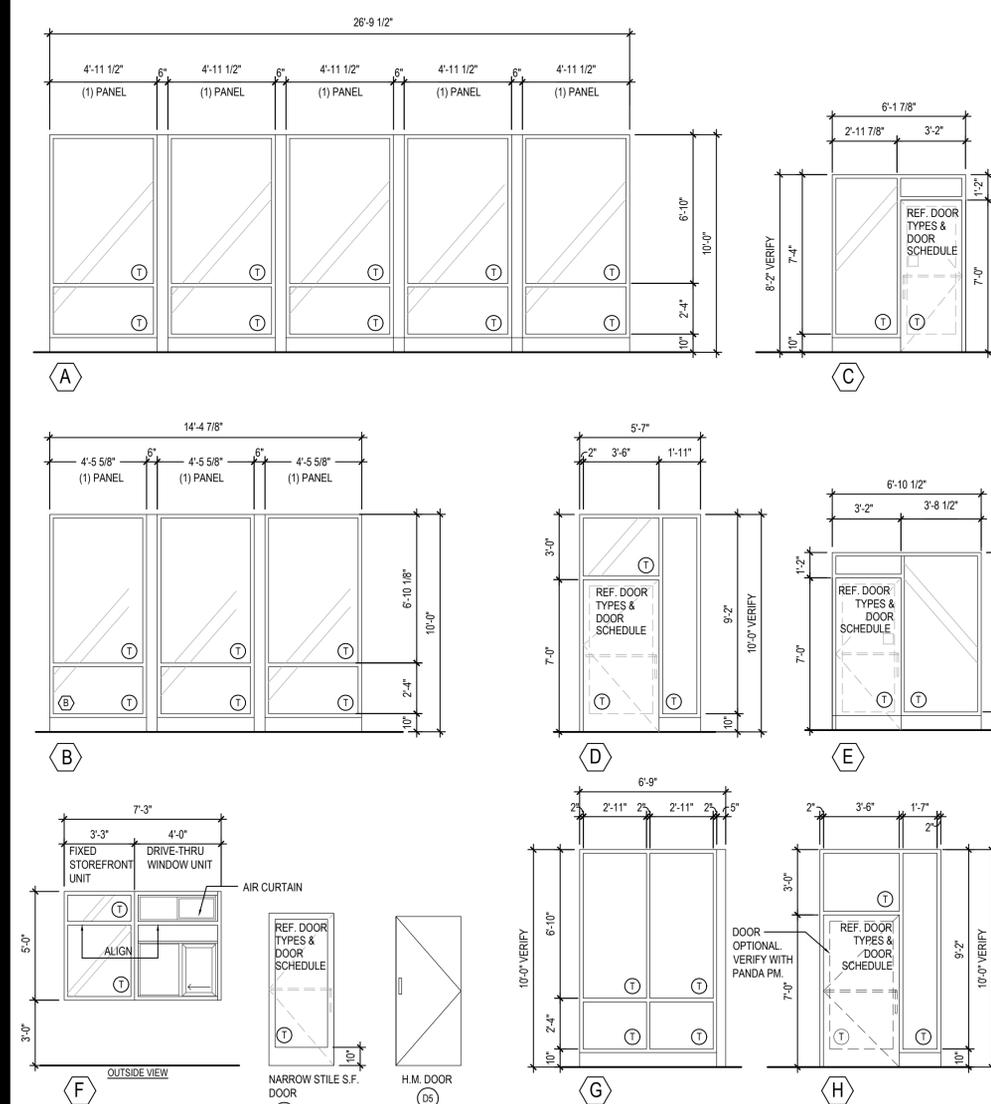
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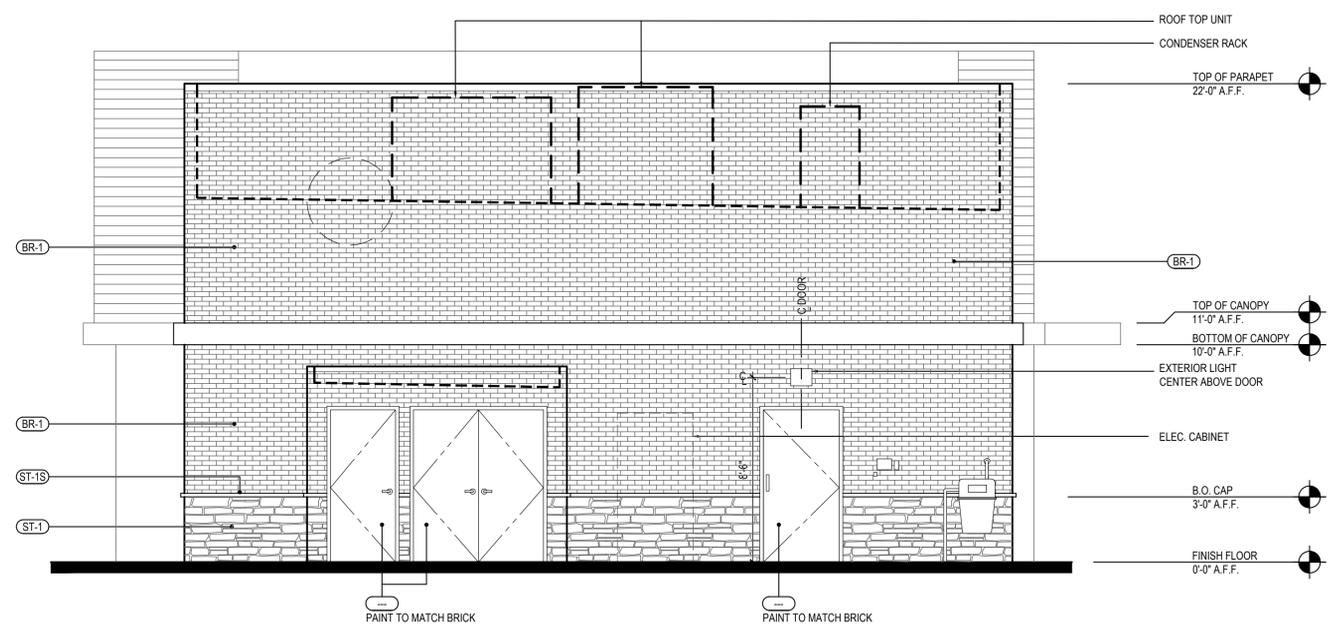
EXISTING SITE CONDITIONS

| NO | MANUFACTURER | MFG# | COLOR | FINISH | NOTES |
|----------|-------------------------|-------------------------|--------------------------|--------|--|
| (BR-1) | GLEN-GERY | EXTRUDED BRICK | RAVENNA | - | BUILDING BODY |
| (EIFS-2) | STO | STOTHERM ESSENCE SYSTEM | SW 7067 CITYSCAPE | FINE | BUILDING BODY |
| (ST-1S) | CORONADO STONE PRODUCTS | 900 SERIES | #2 GREY | - | STONE CAP (3/8" VERTICAL JOINT - MORTAR TO MATCH STONE CAP) |
| (ST-1) | CORONADO STONE PRODUCTS | INDUSTRIAL LEDGE | SHALE GREY | - | ENTRY PORTAL & WAINSCOT CONTACT: LISA KILGORE: 864-962-1221 PROVIDE 3/8" MORTAR JOINTS. COLOR TO MATCH STONE |
| (CD-1) | FIBERON | HORIZON | GRAPHITE | - | COMPOSITE DECKING - CONTACT: BILL ROSS @ 704-756-1980 EMAIL: Bill@fiberondecking.com |
| (MTL-1) | EXCEPTIONAL METALS | - | "PANDA EXPRESS IRON ORE" | - | CAP FLASHING |

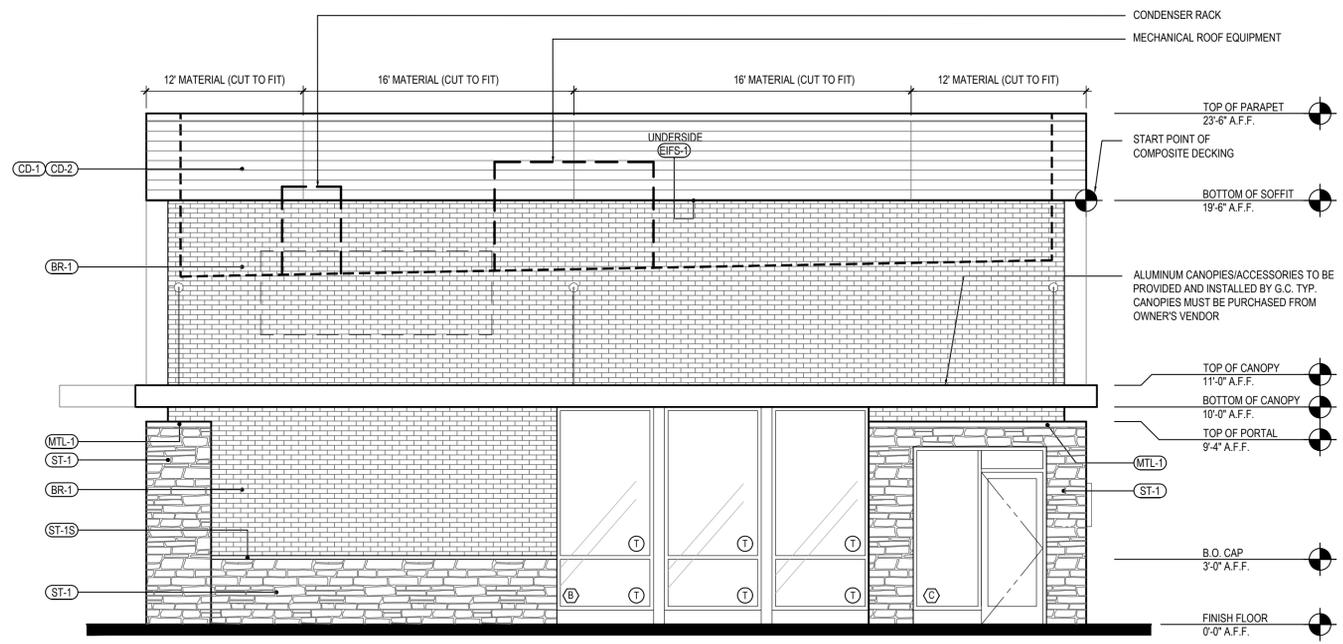
| SYM | WIDTH | HEIGHT | GLASS | FRAME | REMARKS | NOTES |
|-----|------------|--------|--------------------|---------------------------------|--|--|
| (A) | 20'-8" | 10'-0" | 1" INSULATED GLASS | DARK BRONZE ALUMINUM STOREFRONT | 1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME | 1. INSULATING GLASS VITRO ARCHITECTURAL GLAZING SOLARBAN 60 LOW E. WINTER U=0.25 SHGC: 0.39 VIS TRANS: 83% UV ENERGY: 46% 2. DARKS: FULL GLAZED DOORS W/10" KICK BASE, ANODIZED ALUM. FINISH. REFER HARDWARE SCHEDULE. 3. WINDOW DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. G.C. TO VERIFY ACTUAL WINDOW DIMENSIONS PRIOR TO FABRICATION INSTALLATION. 4. GLASS FACADE AND ENTRY DOORS TO BE DESIGNED, DETAILED, FACTORY FABRICATED AND SITE ASSEMBLED AND ERECTED. 5. MANUFACTURER: QUIK-SERV, MODEL SST-4860E WITH THRU-BEAM PHOTO-ELECTRIC BAR. REGIONAL APPLICATION WITH CF-25 NON HEATED AIR CURTAIN OR CHF-25 HEATED AIR CURTAIN. TYPE OF AIR CURTAIN LISTED ON WINDOW SCHEDULE. 6. WINDOW SYSTEM SHALL COMPLY WITH APPLICABLE SECTION AND CHAPTER OF BUILDING CODE. ① TEMPERED GLASS |
| (B) | 26'-9 1/2" | 10'-0" | 1" INSULATED GLASS | DARK BRONZE ALUMINUM STOREFRONT | 1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME | |
| (C) | 7'-0" | 8'-2" | 1" INSULATED GLASS | DARK BRONZE ALUMINUM STOREFRONT | 1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME | |
| (D) | 5'-7" | 10'-0" | 1" INSULATED GLASS | DARK BRONZE ALUMINUM STOREFRONT | 1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME | |
| (E) | 7'-3" | 59'-5" | TEMPERED GLASS | DARK BRONZE ANODIZED ALUMINUM | QUIK-SERV (UN-HEATED AIR CURTAIN), ROUGH OPENING 87" X 60" SEE ADDITIONAL NOTE # 5. CONTACT: WADE ARNOLD, 800-388-5307 | |
| (F) | 6'-9" | 10'-0" | SINGLE PANE GLASS | DARK BRONZE ANODIZED ALUMINUM | SINGLE PANE VESTIBULE GLAZING | |
| (G) | 7'-3" | 10'-0" | SINGLE PANE GLASS | DARK BRONZE ANODIZED ALUMINUM | SINGLE PANE VESTIBULE GLAZING | |



WINDOW AND DOOR ELEVATIONS 3
 Scale = NTS A-200



SOUTH ELEVATION 2
 Scale = 1/4" = 1'-0" A-200



NORTH ELEVATION 1
 Scale = 1/4" = 1'-0" A-200

| MATERIAL | ELEV. SQFT. | BRICK | STONE | FIBERON | METAL | % NATURAL |
|-------------|-------------|--------|--------|---------|-------|-----------|
| SOUTH ELEV. | 842.55 | 615.38 | 78.43 | - | 52 | 88.5 |
| NORTH ELEV. | 806.99 | 467.65 | 117.91 | 173.68 | 47.37 | 94.08 |
| WEST ELEV. | 1,022.65 | 618.99 | 105.7 | 224.04 | 67.73 | 92.77 |
| EAST ELEV. | 1,343.95 | 885.52 | 243.6 | 124 | 80.82 | 93.99 |

| GLAZING BETWEEN 2'-0" & 10'-0" | | | |
|--------------------------------|----------------|-------------|------------|
| | 2 TO 10' SQFT. | GLASS SQFT. | PERCENTAGE |
| NORTH ELEV. | 346.02 | 124.88 | 36.1% |
| WEST ELEV. | 481.69 | 246.88 | 71.4% |



PANDA EXPRESS, INC.
 1683 Walnut Grove Ave.
 Rosemead, California 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8288

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| NO. | DESCRIPTION | DATE |
|-----|----------------|----------|
| 1st | PERMIT/BID SET | 01-13-20 |

ISSUE DATE:

| NO. | DESCRIPTION | DATE |
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| 1st | PERMIT/BID SET | 01-13-20 |

DRAWN BY:

PANDA PROJECT #: S8-20-D6790
 ARCH PROJECT #: 18044.035

hckloverarchitect
 8813 Penrose Lane, Suite 400,
 Lenexa, KS 66219
 ph: 913.649.8181 • fx: 913.649.1275

PANDA EXPRESS
 TRUE WARM & WELCOME 2300
 CANAL ST. & WINCHESTER BLVD
 CANAL-WINCHESTER, OH 43110

A-200

EXTERIOR ELEVATIONS



NORTHWEST PERSPECTIVE 2
Scale= NTS A-201.1



SOUTHWEST PERSPECTIVE 1
Scale= NTS A-201.1



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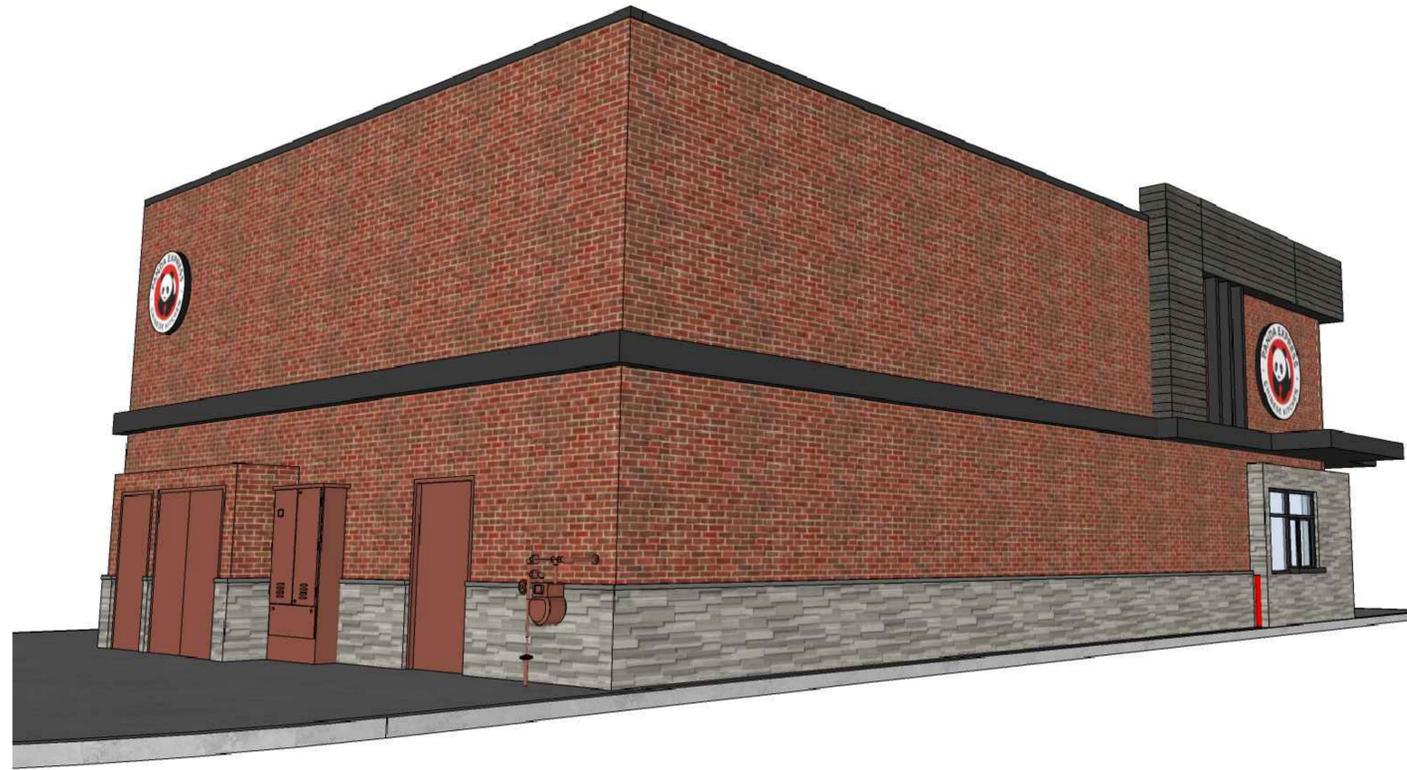
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TRUE WARM & WELCOME 2300
CANAL ST. & WINCHESTER BLVD
CANAL-WINCHESTER, OH 43110

A-201.1

EXTERIOR
PERSPECTIVE

TRUE WARM & WELCOME 2300 R1

01-13-20
PERMIT/BID SET



SOUTHEAST PERSPECTIVE 2

Scale= NTS A-201.2



EAST ELEVATION 1

Scale= NTS A-201.2



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ISSUE DATE:

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ARCH PROJECT #: 18044.035

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PANDA EXPRESS

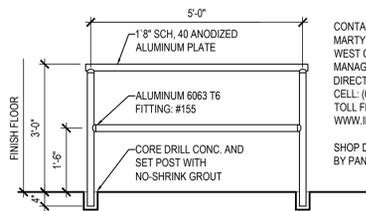
TRUE WARM & WELCOME 2300
CANAL ST. & WINCHESTER BLVD
CANAL-WINCHESTER, OH 43110

A-201.2

EXTERIOR
PERSPECTIVE

OUTDOOR FURNITURE & ARCH. ELEMENTS

| | | | | |
|-----|-----------------------------------|---|--------------|---|
| OC1 | OUTDOOR CHAIR | | PANDA VENDOR | 22-7/8" x 22-1/2" x 35-3/8" / (17-3/8") |
| OT1 | 4 TOP OUTDOOR TABLE | | PANDA VENDOR | 48" x 24" x 30" |
| OT2 | 4 TOP OUTDOOR TABLE (ADA) | | PANDA VENDOR | 48" x 24" x 30" |
| OT3 | 2 TOP OUTDOOR TABLE | | PANDA VENDOR | 24" x 24" x 30" |
| OW1 | OUTDOOR WASTE BIN | | PANDA VENDOR | 23" x 23-1/4" x 44-5/8" |
| OW2 | OUTDOOR WASTE BIN | ALUMINUM | PANDA VENDOR | 22-1/2" x 22-1/2" x 45" |
| F5a | UMBRELLA & BASE (6) | TOP: SUNBrella, CANVAS JOCKEY RED POLE: ALUM. MARINE SATIN ANODIZED BASE: 24" DIA. 75LB GALV. STEEL BASE | TUUCI | 6" SQ. x 96" H |
| F5b | SINGLE POST PYRAMID UMBRELLA (12) | TOP: FABRIC TOP: PVC 502 FERRARI PRECONTRAIT POLE: 6" DIA. 50 GA. HDG. TUBING BASE: 6" SQ. PLATE ON CONC. FOOTING. SEE DETAIL | USA SHADE | 12' SQ. x 10' 5-12"/H |



CONTACT:
MARTY VENEGAS
WEST COAST DISTRIBUTION
MANAGER
DIRECT: (480) 380-2100
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TOLL FREE: (800) 731-1722
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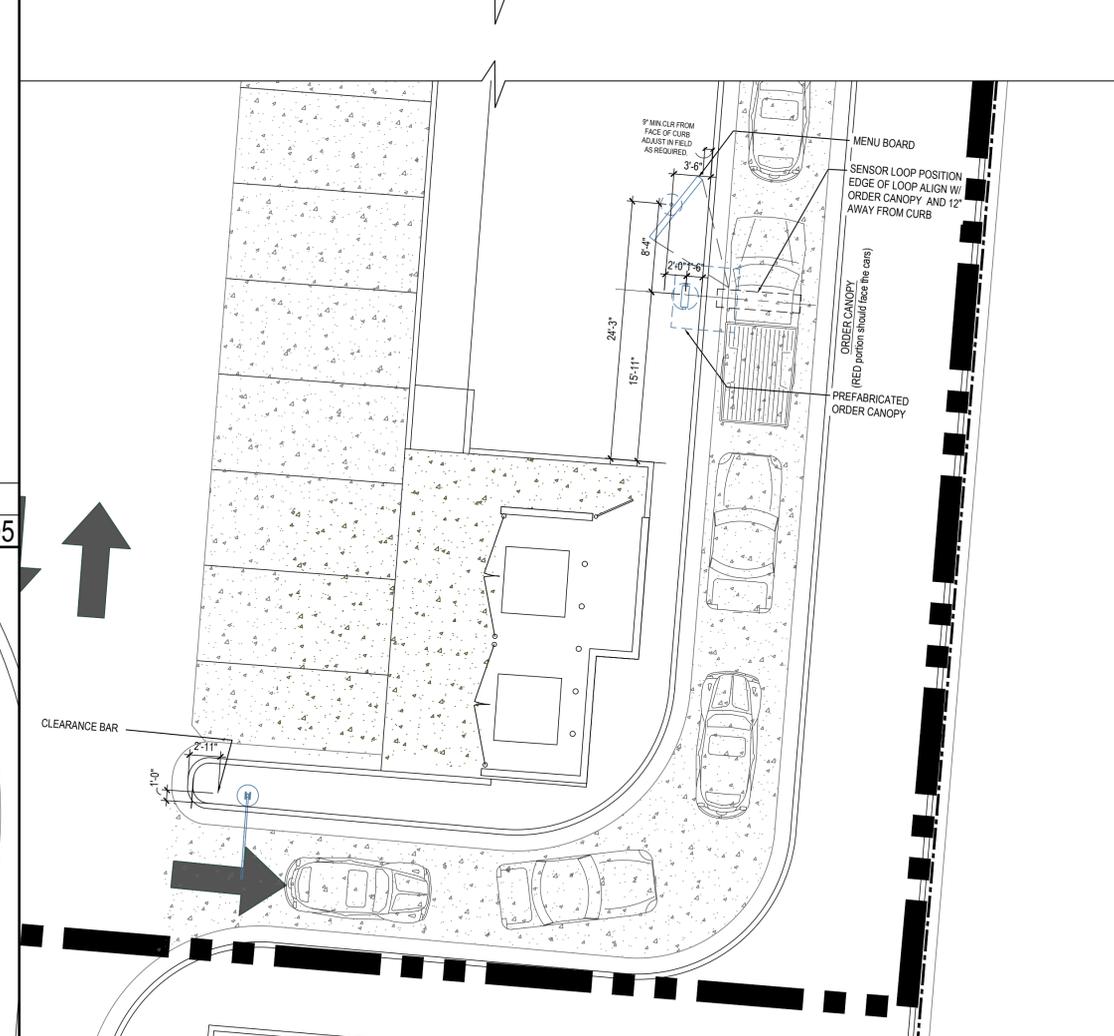
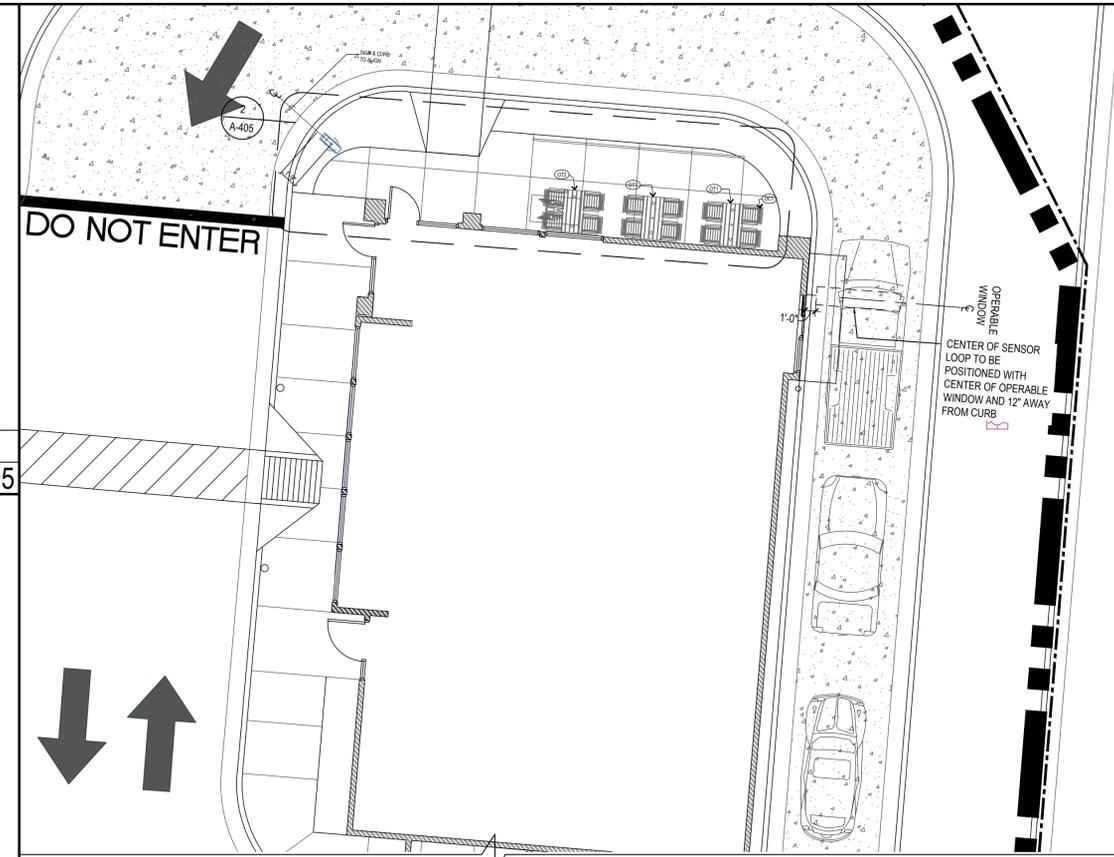
SHOP DRAWINGS TO BE REVIEWED
BY PANDA DESIGNER

APPLICABLE RAILING AREAS:

1. PATIO IS ADJACENT TO DRIVE AISLE OR DRIVE THRU LANE WITHOUT ANY LANDSCAPE BUFFER.
2. PATIO AREA AND ADJACENT GRADES ARE MORE THAN 6" DIFFERENCE IN HEIGHT.
3. PROJECT THAT REQUIRES ADA ACCESSIBLE RAMP AND RAILING.

RAILING ELEVATION DETAIL 4

Scale= 1/2" = 1'-0" A-405



PATIO FURNITURE 2

Scale= 1/4" = 1'-0" A-405

DRIVE - THRU MENU BOARD LOCATION 1

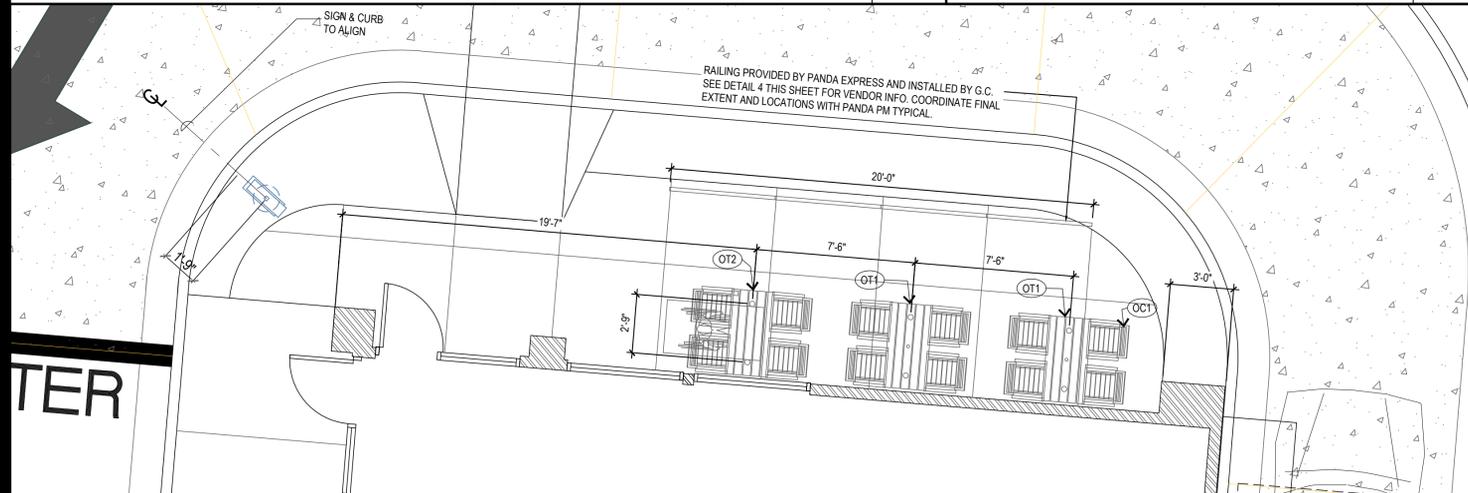
Scale= 1/8" = 1'-0" A-405

NOT USED 5

Scale= 1/8" = 1'-0" A-405

NOT USED 3

Scale= NTS A-405



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ISSUE DATE:

1st PERMIT/BID SET 01-13-20

DRAWN BY:

PANDA PROJECT #: S8-20-D6790
ARCH PROJECT #: 18044.035



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A-405

ARCHITECTURAL DETAILS
DRIVE THRU

01-13-20 PERMIT/BID SET



PERSPECTIVE VIEW

PANDA EXPRESS

Panda Express
Canal St/Winchester Blvd,
Canal Winchester, OH
May, 2019

300 12/11/19



Project Information

PANDA PROJECT ID#
D#

Date / Description

09/19/18 Issue Date

12/11/19 ³⁰⁰ - updated site plan
- completed package

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Code Summary

WATERLOO CROSSING SIGN CRITERIA

WALL SIGNS:

Only one (1) building fascia shall be identified by a sign.
 Individual building sign locations are to be approved by landlord.
 All building fascia signs shall be individually lettered and internally illuminated.
 No-back-illuminated signs.
 No signs of box or cabinet type employing transparent, translucent, or luminous plast background panels.
 Max letter height 24"
 Must be within the limitations of the sign fascia area.
 Letters shall be mounted at least one inch (1") off sign band fascia to permit drainage at the rear.

PYLON / MONUMENT

1 per outparcel
 Max SF: 50SF
 Max Height: 6'-0"
 Must have a 30" high brick base utilizing the brick used for the retail center.
 Shall reflect uniform shape and shall be set in a frame of dark brown, black, or bronze color.
 A maximum of three (3) finish materials shall be used.
 All ground signs shall have a minimum landscaped area of one hundred SF (100 SF). Landscaping shall be complimentary to the signage and may include evergreen shrubs, flowers, mulch, and/or seasonal ground covers.

DIRECTIONAL SIGNS:

Max copy area typeface shall be 4 SF
 Max OAH 3 ft
 Each outparcel building site shall provide appropriate directional signage at ingress/egress access points.

MENU BOARD:

Not Covered by the Sign Criteria

| SIGNS | LOCATION | HEIGHT | WIDTH | AGGRAGATE | PROPOSED | BALANCE |
|-------|--|-------------|------------|-----------|----------|---------|
| A | SHORT FRONT - 2'-6" STACKED WHITE LETTER SET | 3'-11 33/8" | 13'-5 1/2" | 175 SF | 53.13 | 121.87 |
| B | LONG FRONT ELEVATION 6'-0" LOCKUP | 6'-0" | 6'-0" | 121.87 | 36.00 | 85.87 |
| C | DRIVE THRU ELEVATION 6'-0" LOCKUP | 6'-0" | 6'-0" | 85.87 | 36.00 | 49.87 |
| D | REAR 4'-0" LOCKUP | 4'-0" | 4'-0" | 49.87 | 16.00 | 33.87 |
| S1 | TENANT PANELS ON EXISTING WATERLOO CROSSING SIGN | TBD | TBD | | | |



Client Review Status
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 Approved Approved as Noted Revise & Resubmit
 Name _____
 Title _____ Date _____

Notes

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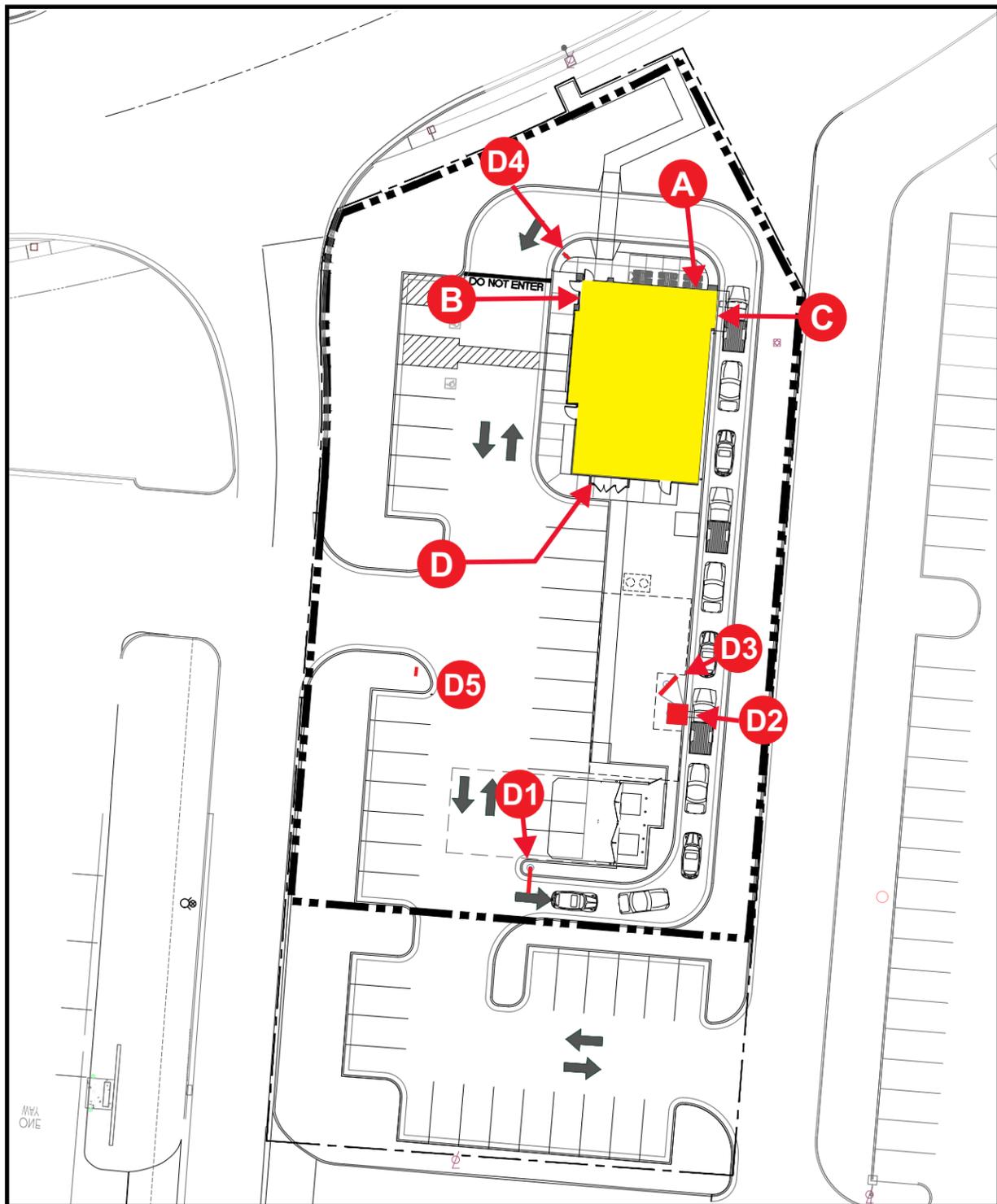
Project Information

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| Client | Panda Express |
| | Canal St/Winchester Blvd, |
| | Canal Winchester, OH - D6790 |
| File | Canal Winchester, OH OP009958 300 |
| Sales | CB Design DE/BH/ED PM GT |

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PANDA EXPRESS



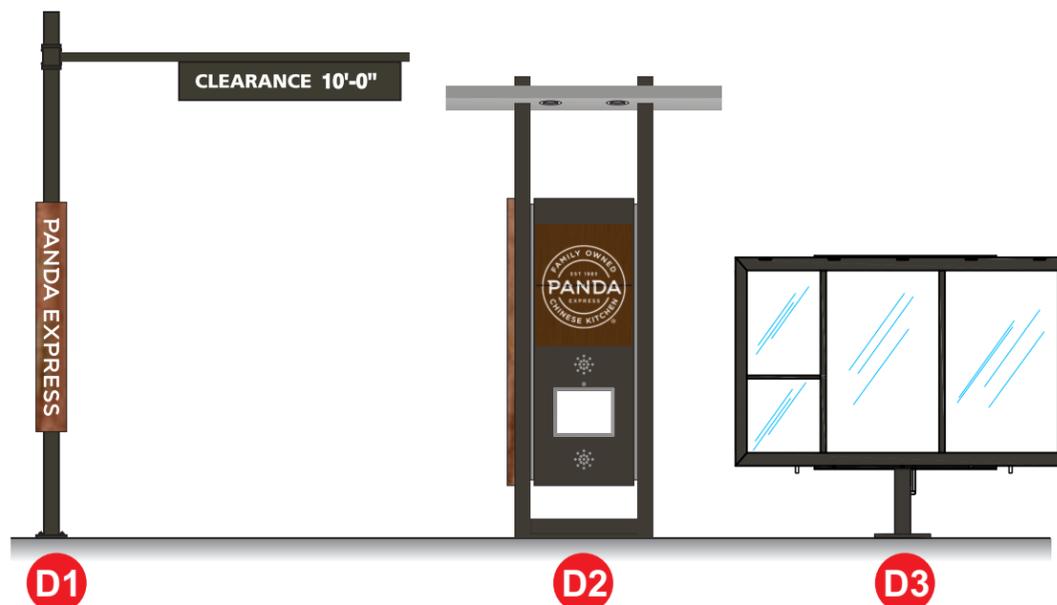
A 2'-6" WHITE STACKED LETTERSET

B 6'-0" LOCKUP

D 4'-0" LOCKUP

C FLUSH MOUNT
PUSH THRU GRAPHICS

FLUSH MOUNT
PUSH THRU GRAPHICS



*Flat face w/
3/4" push thru copy
and red disc logo



PANDA EXPRESS

| Client Review Status | | Notes |
|---|------|-------|
| <input type="checkbox"/> Approved <input type="checkbox"/> Approved as Noted <input type="checkbox"/> Revise & Resubmit | | |
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| Date / Description |
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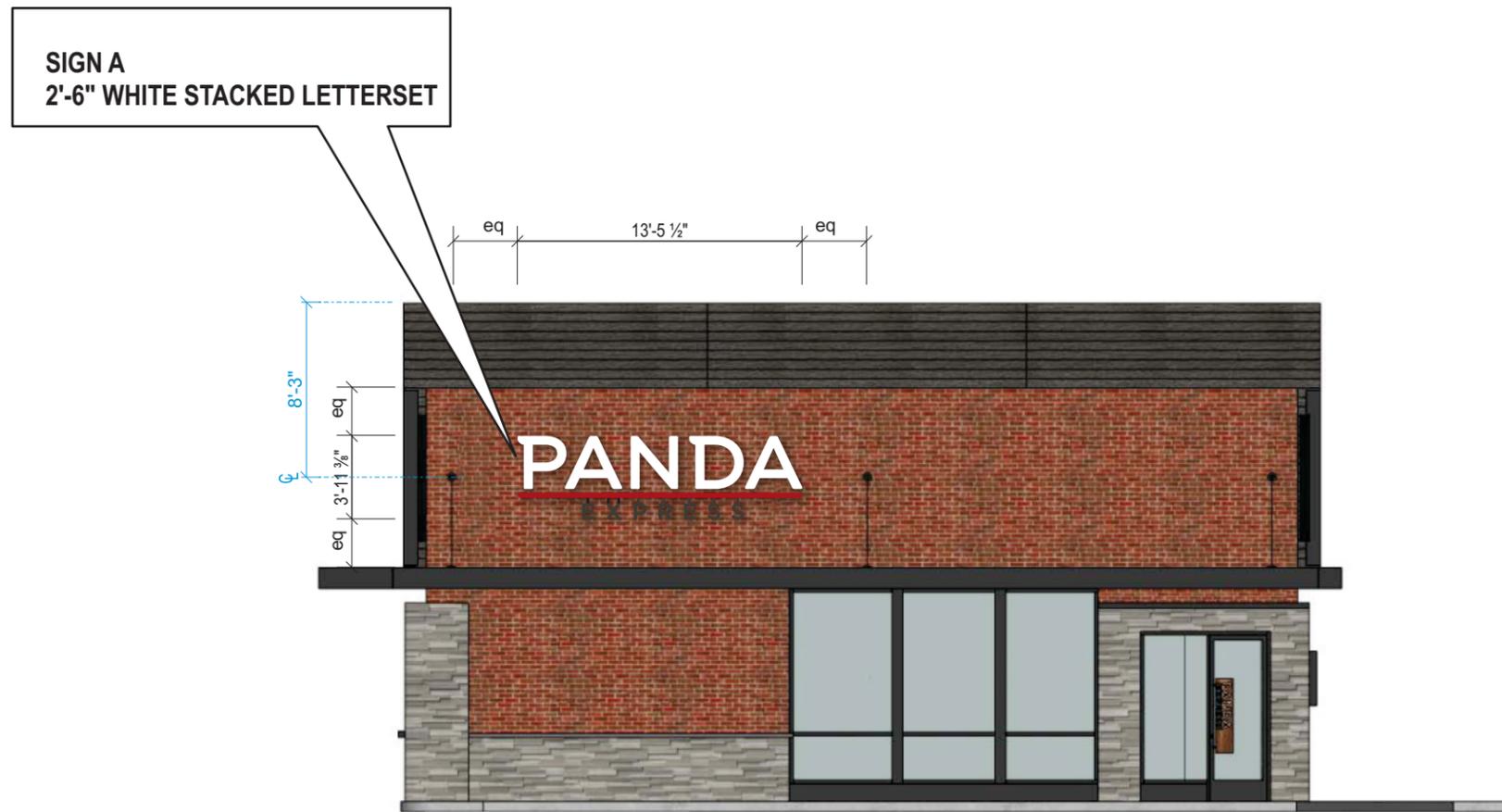
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|---------------------|---|
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300 12/11/19

| SIGNS | LOCATION | HEIGHT | WIDTH | AGGRAGATE | PROPOSED | BALANCE |
|-------|--|-------------|------------|-----------|----------|---------|
| A | SHORT FRONT - 2'-6" STACKED WHITE LETTER SET | 3'-11 33/8" | 13'-5 1/2" | 175 SF | 53.13 | 121.87 |



SHORT FRONT ELEVATION
Scale: 1/8" = 1'-0"



| Client Review Status | Notes | Date / Description | Project Information |
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| SIGNS | LOCATION | HEIGHT | WIDTH | AGGRAGATE | PROPOSED | BALANCE |
|-------|--------------------------------------|--------|-------|-----------|----------|---------|
| B | LONG FRONT ELEVATION 6'-0" LOCKUP | 6'-0" | 6'-0" | 121.87 | 36.00 | 85.87 |



LONG FRONT ELEVATION
Scale: 1/8" = 1'-0"



| Client Review Status | Notes | Date / Description | Project Information |
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| SIGNS | LOCATION | HEIGHT | WIDTH | AGGRAGATE | PROPOSED | BALANCE |
|-------|--------------------------------------|--------|-------|-----------|----------|---------|
| C | DRIVE THRU ELEVATION 6'-0" LOCKUP | 6'-0" | 6'-0" | 85.87 | 36.00 | 49.87 |



DRIVE THRU ELEVATION

Scale: 1/8"= 1'-0"

Scales are approximated based off nominal 7'-0" entry door OAH



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 Title _____

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Project Information

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| Client | Panda Express |
| | Canal St/Winchester Blvd, |
| | Canal Winchester, OH - D6790 |
| File | Canal Winchester, OH OP009958 300 |
| Sales | CB Design DE/BH/ED PM GT |

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| SIGNS | LOCATION | HEIGHT | WIDTH | AGGRAGATE | PROPOSED | BALANCE |
|-------|-------------------|--------|-------|-----------|----------|---------|
| D | REAR 4'-0" LOCKUP | 4'-0" | 4'-0" | 49.87 | 16.00 | 33.87 |



REAR ELEVATION
Scale: 1/8"= 1'-0"



| Client Review Status | Notes | Date / Description | Project Information |
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| <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved as Noted <input type="checkbox"/> Revise & Resubmit | - | 09/19/18 Issue Date | Client Panda Express |
| Name _____ | _____ | - | Canal St/Winchester Blvd, |
| Title _____ | _____ | - | Canal Winchester, OH - D6790 |
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LETTERSET FRONT VIEW

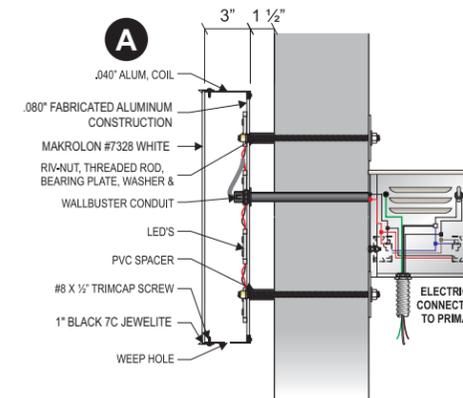
SCALE: 3/8"= 1'-0"

OA SQ FT: 53.13



SIDE VIEW

SCALE: 3/8"= 1'-0"

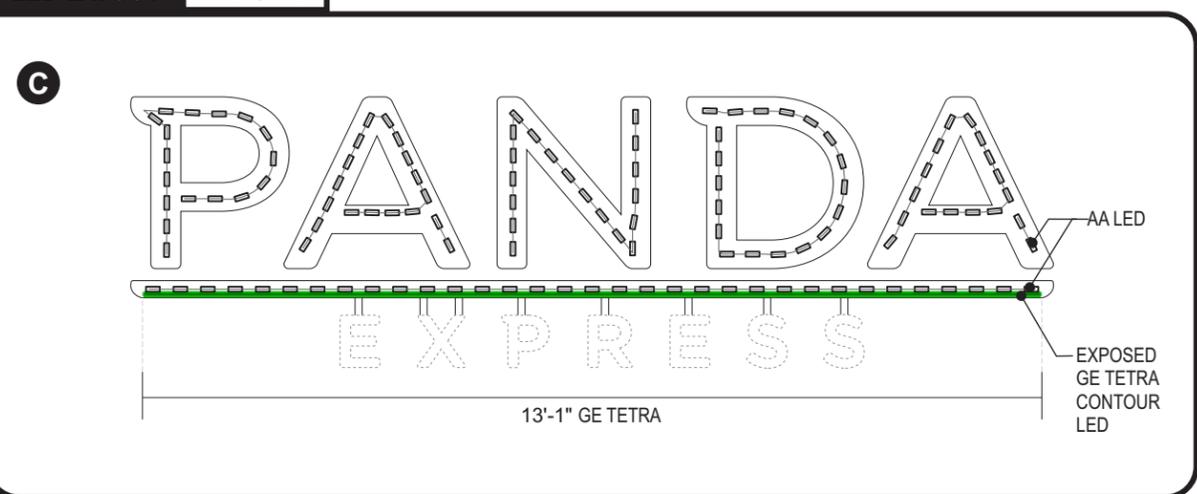


**SECTION VIEW
DUAL LIT LETTERS**

SCALE: 1"= 1'-0"

300 12/11/19

LED LAYOUT AMPS: XX



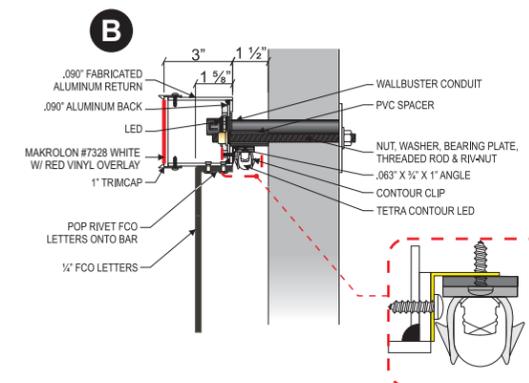
- MAKROLON #7328 WHITE/ WHITE
- PAINT: PMS BLACK 7C SATIN FINISH
- PAINT: AKZO PANDA RED (AKZO SIGN 3762) SATIN FINISH

STANDARD PANDA FACE, RETURNS AND TRIM CAP COLOR SPECS

- VINYL: 3M #3635-70 DIFFUSER FILM
- VINYL: 3M #3630-22 BLACK (STRIPS)
- VINYL: 3M #3630-33 RED VINYL

VINYL SPECS

NOTES:
1.) Bar electrical and support may need to be bridged from main sign.



**SECTION VIEW
BAR W/ FCO LETTERS**

SCALE: 1 1/2"= 1'-0"

A

FACE-LIT LETTERS:

FACE: 150" BAYER MAKROLON #7328
TRIMCAP: 1" BLACK PMS7C JEWELITE
RETURN: .040" X 3" BLACK/WHITE COIL PAINTED TO MATCH BLACK 7C SATIN FINISH
BACKER: .080" FABRICATED ALUM. CONSTRUCTION, ULTRA WHITE GLOSS FINISH. MIN 85 BRIGHTNESS

B

BAR W/ FCO LETTERS

FACE: .150" BAYER MAKROLON #7328
1ST SURFACE 3M #3630-33 RED
TRIMCAP: 1" RED TRIMCAP
RETURN: .090" X 3" FABRICATED RETURN PAINTED TO MATCH AKZO PANDA RED (AKZO SIGN 3762) SATIN FINISH
BACKER: .90" ALUMINUM BACK, INTERIOR PAINTED WHITE

C

LED ILLUMINATION

PANDA LETTERS:
MANUFACTURER: AALED
ITEM#: LS-MZ0612
COLOR: (123) EXO LED COLD WHITE
POWER SUPPLY: 4-60W (12V)

BAR W/ FCO LETTERS
MANUFACTURER: GE
ITEM#: TETRA CONTOUR
LENGTH: 13'-4" OPEN FACE ILLUM. 79.57 W / 1.1 AMPS

D

ATTACHMENT

MECHANICAL FASTENERS AS REQUIRED PER WALL CONSTRUCTION. IF INSTALLED OVER PANEL SYSTEM OR EIFS SYSTEM SPACERS REQUIRED

Allen Industries MET E212503 FILE NUMBER: E212503

Listed Electric Sign Complies with UL48 CSA C22.2 No.207 AI1 017510

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

GROUNDING ELECTRICAL CONNECTIONS

PANDA
EXPRESS

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| <input type="checkbox"/> Revise & Resubmit | |
| Name _____ | Date _____ |
| Title _____ | |

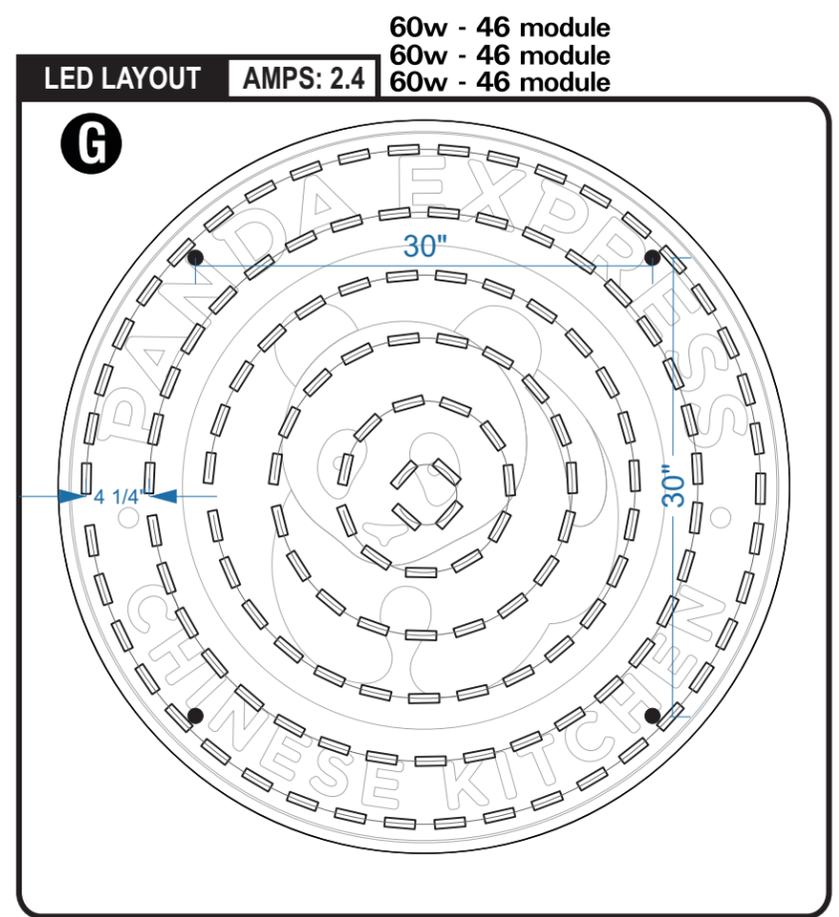
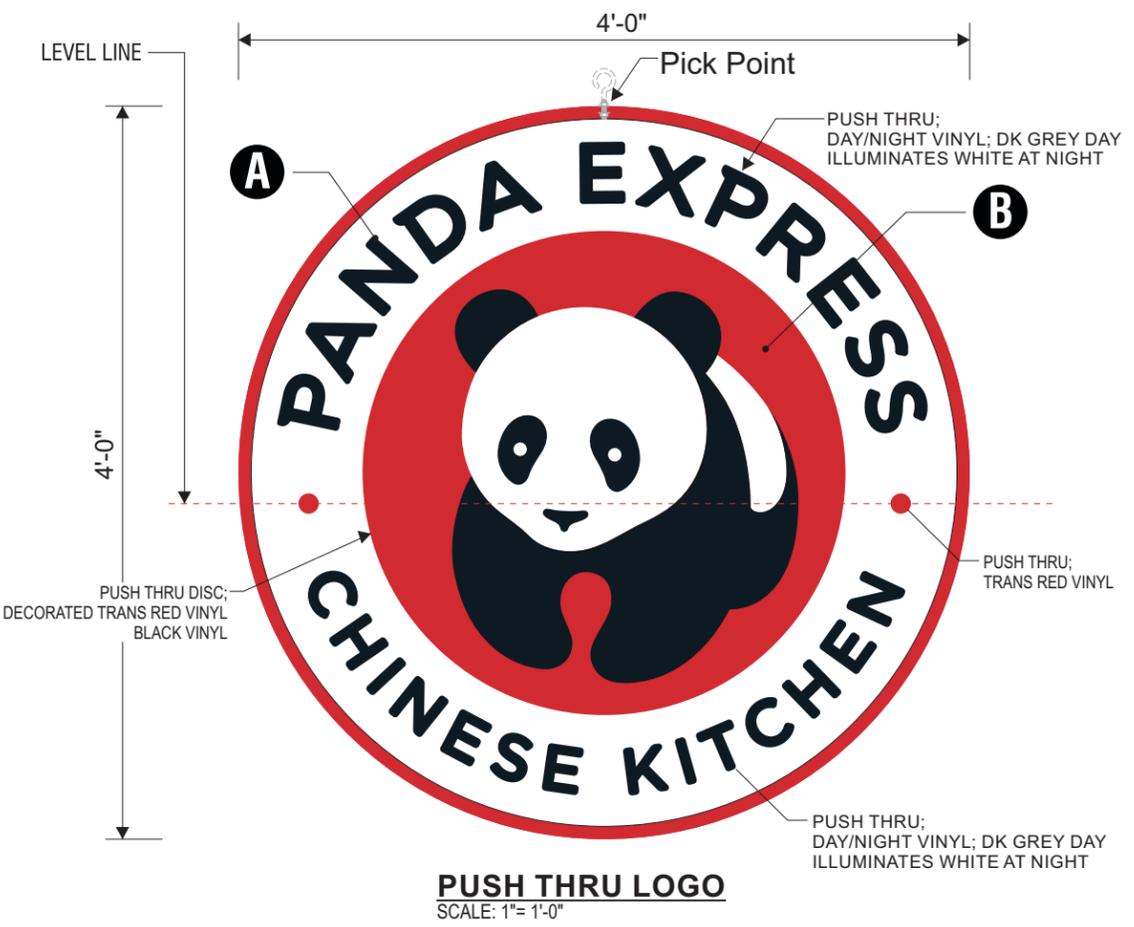
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| Date / Description |
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| 09/19/18 Issue Date |
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| Project Information |
|---|
| Client Panda Express |
| Canal St/Winchester Blvd, Canal Winchester, OH - D6790 |
| File Canal Winchester, OH OP009958 300 |
| Sales CB Design DE/BH/ED PM GT |

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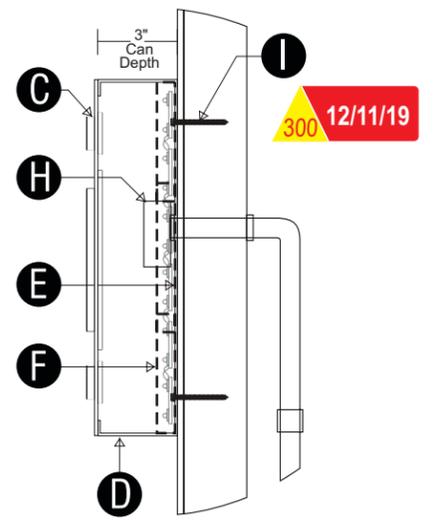
NOTES:
1.) bumpers as per needed to be placed behind back vinyl to prevent shadows
2.) remote power

- BLACK
- PMS BLACK 7C (SATIN FINISH)
- CLEAR ACRYLIC BACKED W/ WHITE DIFFUSER

STANDARD PANDA FACE, RETURNS AND TRIM CAP COLOR SPECS

- 3M 3630-0171 DAY/NIGHT
- 3M 180C-22 BLACK
- PMS 711C RED
3M-SCOTCHCAL RED 3630-33

STANDARD PANDA VINYL COLOR SPECS



Allen Industries MET FILE NUMBER: E212503

Listed Electric Sign Complies with UL48 CSA C22.2 No. 207 A11 017510 E212503

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

GROUNDING ELECTRICAL CONNECTIONS

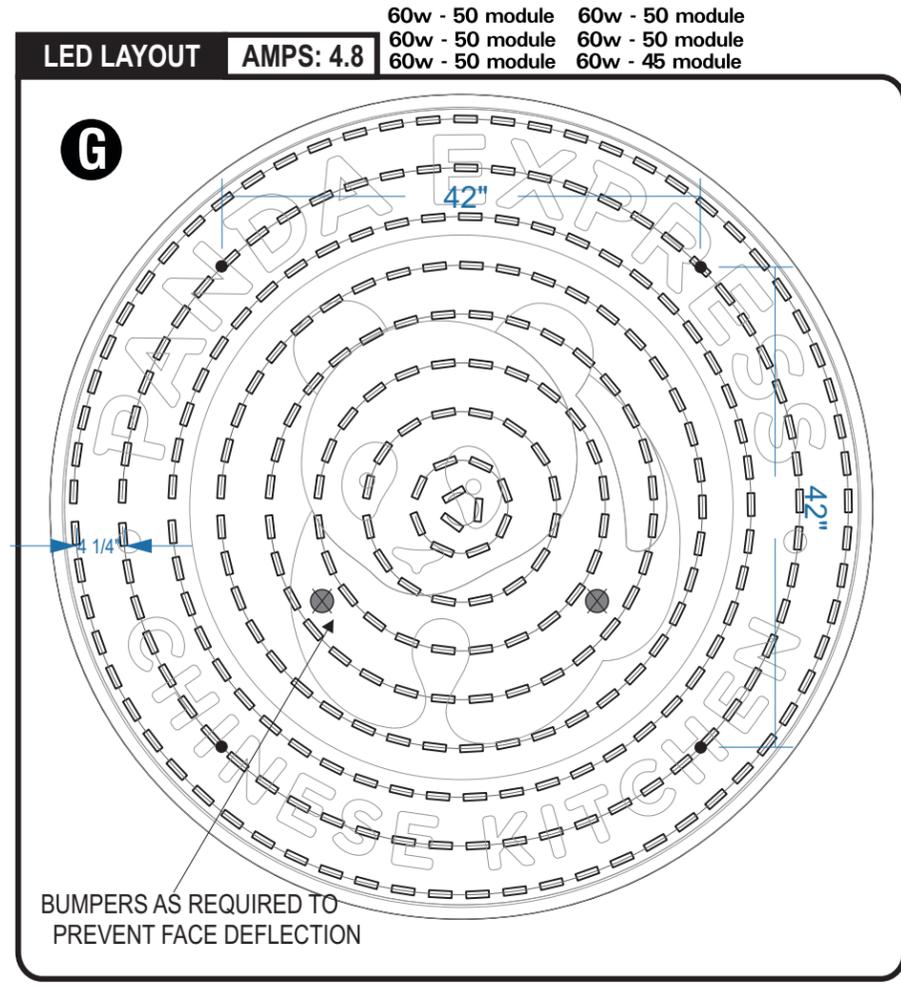
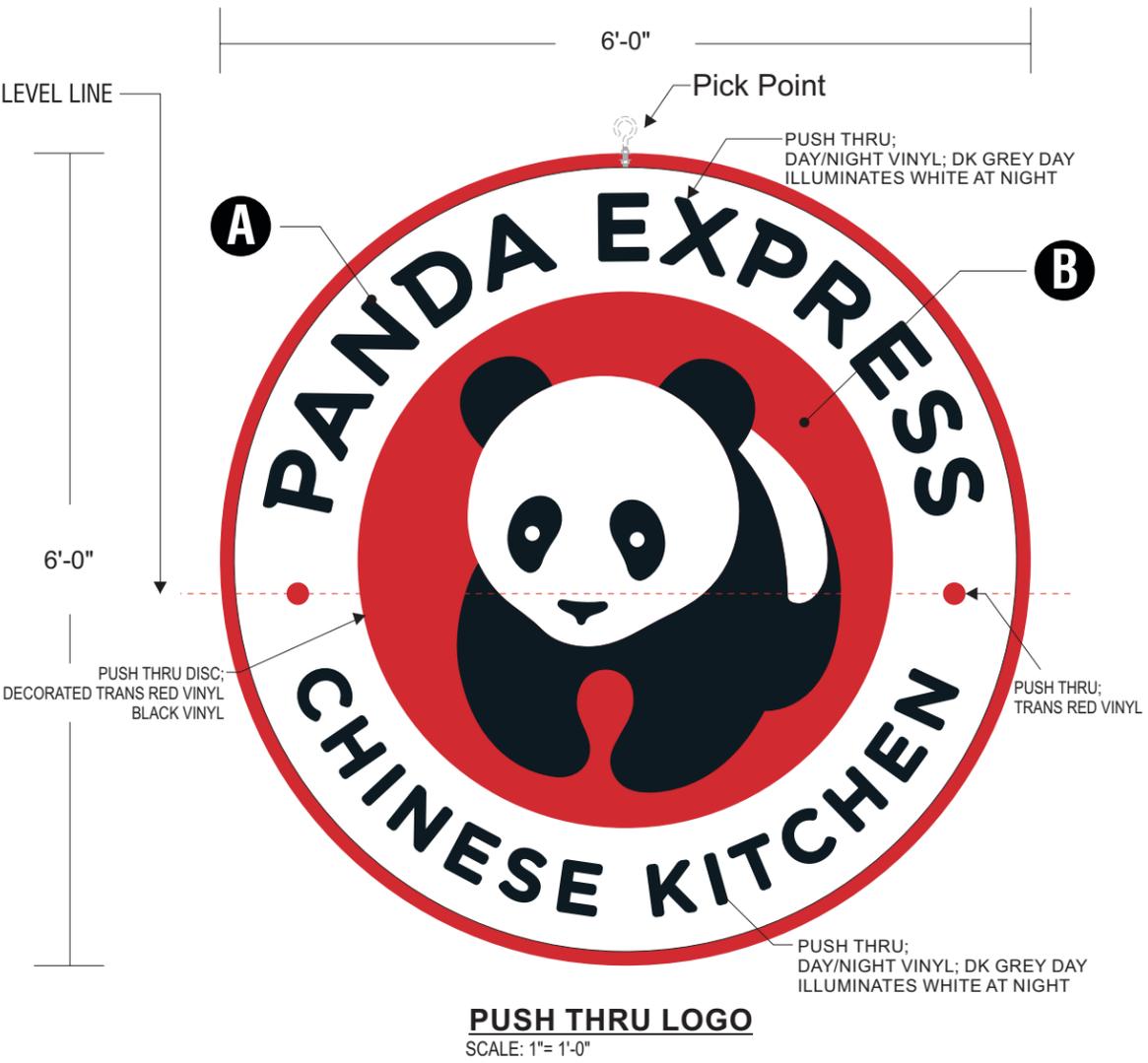
| A | B | C | D | E | F | G | H | I |
|---|---|---|---|--|--|--|---|---|
| <p>FACE MATERIAL</p> <p>MANUFACTURER: ALUMINUM SIZE/THICKNESS: .090" COLOR: WHITE FINISH: AKZO NOBLE BAKED ENAMEL SATIN FINISH</p> | <p>VINYL MATERIAL SPEC</p> <p>MANUFACTURER: 3M VINYL TYPE: CAST - SEE PRODUCT COLOR SPEC</p> | <p>PUSH THRU MATERIAL</p> <p>MATERIAL: ACRYLIC SIZE/THICKNESS: 3/4" SHOULDER CUT COLOR: CLEAR FINISH: GLOSS NOTES: METAL REINFORCED INSERT</p> | <p>RETURN MATERIAL</p> <p>FABRICATED ALUMINUM CONSTRUCTION SIZE/THICKNESS: 4'-0" AND OVER: 3 1/2" X .063" 3'-6" AND UNDER: 3" X .063" COLOR: PAINTED PMS BLACK 7C FINISH: GLOSS NOTES: INTERIOR PAINTED ULTRA WHITE (MIN 85 BRIGHTNESS); BAFFLED DRAIN HOLES</p> | <p>BACKING MATERIAL</p> <p>FABRICATED ALUMINUM CONSTRUCTION SIZE/THICKNESS: .080" COLOR: ULTRA WHITE FINISH: GLOSS NOTES: MIN 85 BRIGHTNESS</p> | <p>FRAMING MATERIAL</p> <p>MATERIAL: ALUMINUM SIZE/THICKNESS: 1" x 1" x .125" COLOR: NONE FINISH: NONE NOTES: WELD TO RETURNS</p> | <p>ILLUMINATION MATERIAL SPEC</p> <p>MANUFACTURER: AA LED MODEL: ITEM#: LS-MZ0612 COLOR: EXO LED WHITE LENGTH: 138 MODULES NOTES: VERSION 2; 4 YEARS PARTS & LABOR WARRANTY WITH UL APPROVED DRIVER •ELEC OUT TO BE CENTERED ON SIGN, 6" FROM BASE.</p> | <p>POWER SUPPLY SPEC</p> <p>MANUFACTURER: AA LED OR SIMIL UL APPROVED LED DRIVER MODEL: 60W 12V NOTES: TOTAL NO. TRANSFORMERS: (3) 60W</p> | <p>ATTACHMENT</p> <p>FLUSH MOUNT: 3/8" LIBERTY ("T" STYLE) TOGGLES OR EQUIVALENT</p> |

| Client Review Status | Notes | Date / Description | Project Information |
|---|----------|--|--|
| <p>Allen Industries, Inc. requires that an " <input type="checkbox"/> Approved" drawing be obtained from the client prior to any production release or production release revision.</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Approved as Noted <input type="checkbox"/> Revise & Resubmit</p> <p>Name _____ Title _____ Date _____</p> | <p>-</p> | <p>09/19/18 Issue Date</p> <p>- <input type="checkbox"/> -</p> <p>- <input type="checkbox"/> -</p> <p>- <input type="checkbox"/> -</p> | <p>Client Panda Express Canal St/Winchester Blvd, Canal Winchester, OH - D6790 File Canal Winchester, OH OP009958 300 Sales CB Design DE/BH/ED PM GT</p> |



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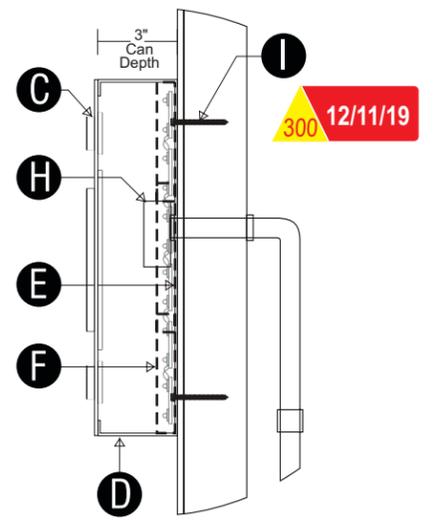
NOTES:
1.) bumpers as per needed to be placed behind back vinyl to prevent shadows
2.) remote power

- BLACK
- PMS BLACK 7C (SATIN FINISH)
- CLEAR ACRYLIC BACKED W/ WHITE DIFFUSER

STANDARD PANDA FACE, RETURNS AND TRIM CAP COLOR SPECS

- 3M 3630-0171 DAY/NIGHT
- 3M 180C-22 BLACK
- PMS 711C RED
3M-SCOTCHCAL RED 3630-33

STANDARD PANDA VINYL COLOR SPECS



ILLUM NIGHT VIEW

Allen Industries
MET FILE NUMBER: E212503

Listed Electric Sign Complies with UL48
CSA C22.2 No. 207
A11 017510

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OA SQ FT: 36
TOTAL SQ FT: 28.28

A

FACE MATERIAL
MANUFACTURER: ALUMINUM
SIZE/THICKNESS: .090"
COLOR: WHITE
FINISH: AKZO NOBLE BAKED ENAMEL SATIN FINISH

B

VINYL MATERIAL SPEC
MANUFACTURER: 3M
VINYL TYPE: CAST
- SEE PRODUCT COLOR SPEC

C

PUSH THRU MATERIAL
MATERIAL: ACRYLIC
SIZE/THICKNESS: 3/4" SHOULDER CUT
COLOR: CLEAR
FINISH: GLOSS
NOTES: METAL REINFORCED INSERT

D

RETURN MATERIAL
FABRICATED ALUMINUM CONSTRUCTION
SIZE/THICKNESS: .080"
4'-0" AND OVER: 3 1/2" X .063"
3'-6" AND UNDER: 3" X .063"
COLOR: PAINTED PMS BLACK 7C
FINISH: GLOSS
NOTES: INTERIOR PAINTED ULTRA WHITE (MIN 85 BRIGHTNESS); BAFFLED DRAIN HOLES

E

BACKING MATERIAL
FABRICATED ALUMINUM CONSTRUCTION
SIZE/THICKNESS: .080"
COLOR: ULTRA WHITE
FINISH: GLOSS
NOTES: MIN 85 BRIGHTNESS

F

FRAMING MATERIAL
MATERIAL: ALUMINUM
SIZE/THICKNESS: 1" x 1" x .125"
COLOR: NONE
FINISH: NONE
NOTES: WELD TO RETURNS

G

ILLUMINATION MATERIAL SPEC
MANUFACTURER: AA LED
MODEL: ITEM#: LS-MZ0612
COLOR: EXO LED WHITE
LENGTH: 295 MODULES
NOTES: VERSION 2; 4 YEARS PARTS & LABOR WARRANTY WITH UL APPROVED DRIVER
•ELEC OUT TO BE CENTERED ON SIGN, 6" FROM BASE.

H

POWER SUPPLY SPEC
MANUFACTURER: AA LED OR SIMIL
UL APPROVED LED DRIVER
MODEL: 60W 12V
NOTES: TOTAL NO. TRANSFORMERS: (6) 60W

I

ATTACHMENT
FLUSH MOUNT:
3/8" LIBERTY ("T" STYLE)
TOGGLES OR EQUIVALENT



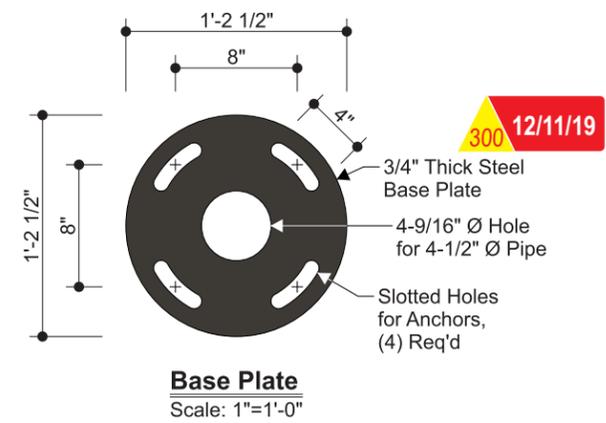
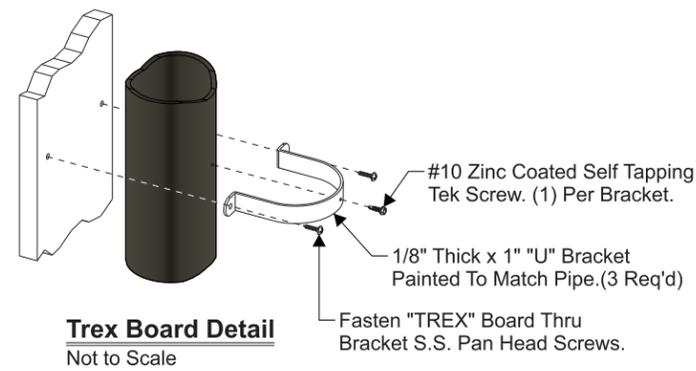
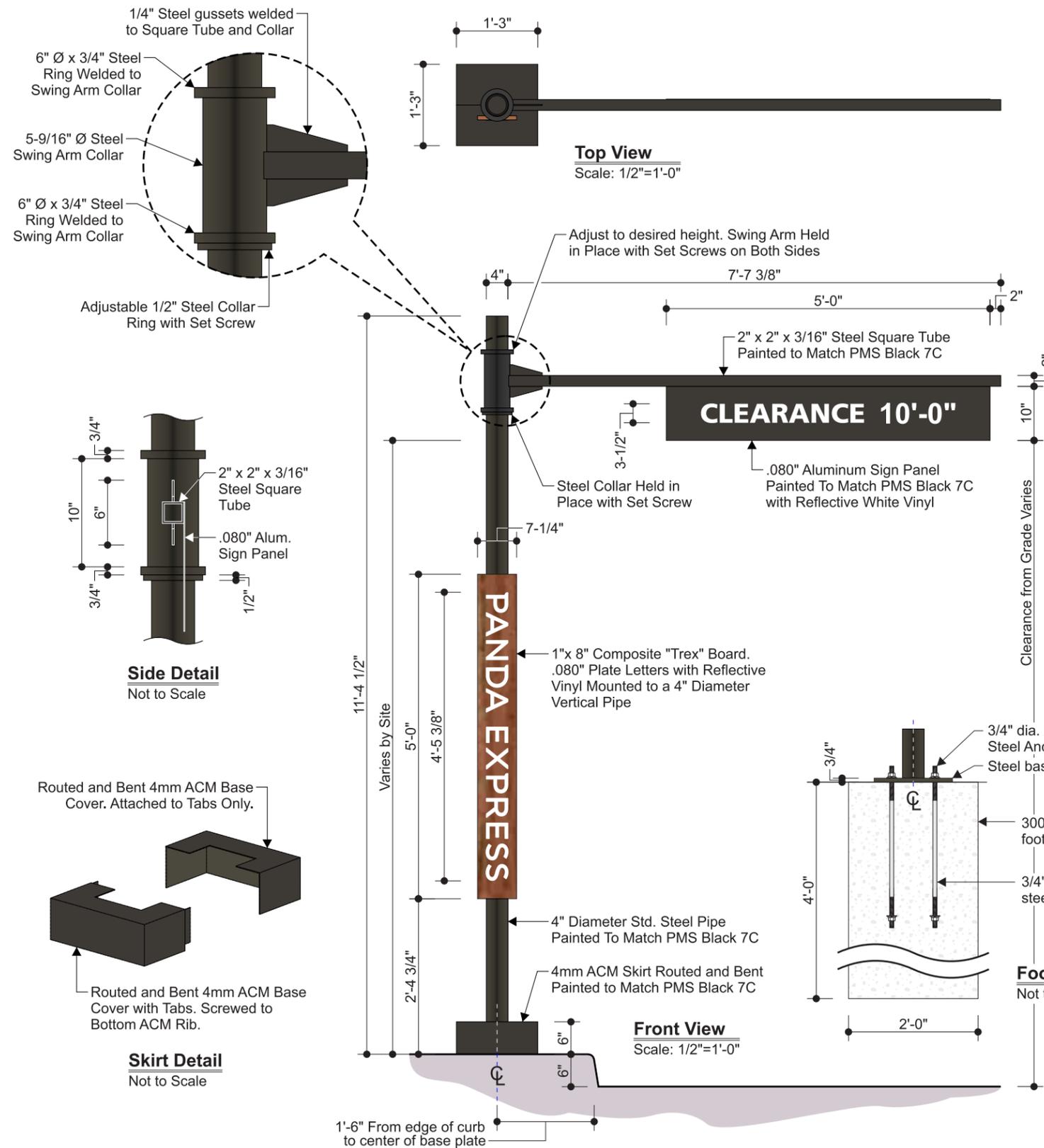
| Client Review Status | Notes | Date / Description | Project Information |
|---|--|---------------------|---|
| <input type="checkbox"/> Approved <input type="checkbox"/> Approved as Noted <input type="checkbox"/> Revise & Resubmit | Allen Industries, Inc. requires that an "Approved" drawing be obtained from the client prior to any production release or production release revision. | 09/19/18 Issue Date | Client Panda Express Canal St/Winchester Blvd, Canal Winchester, OH - D6790 File Canal Winchester, OH OP009958 300 Sales CB Design DE/BH/ED PM GT |

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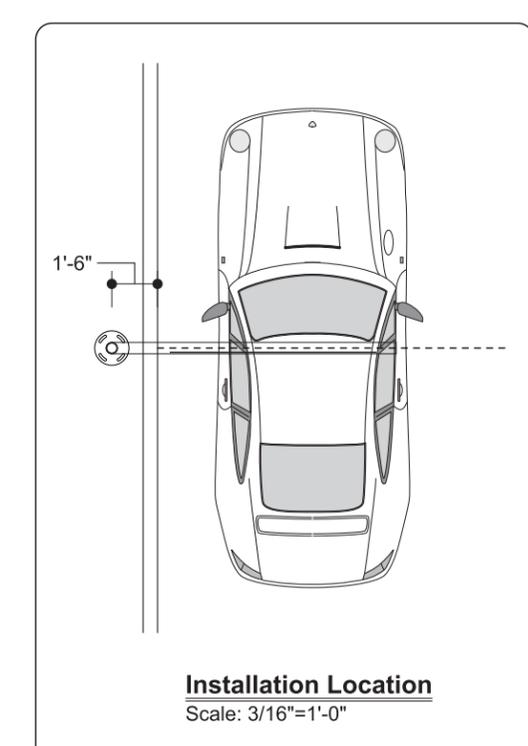
Panda Express Clearance Bar

Drive Thru Elements



Color Specifications

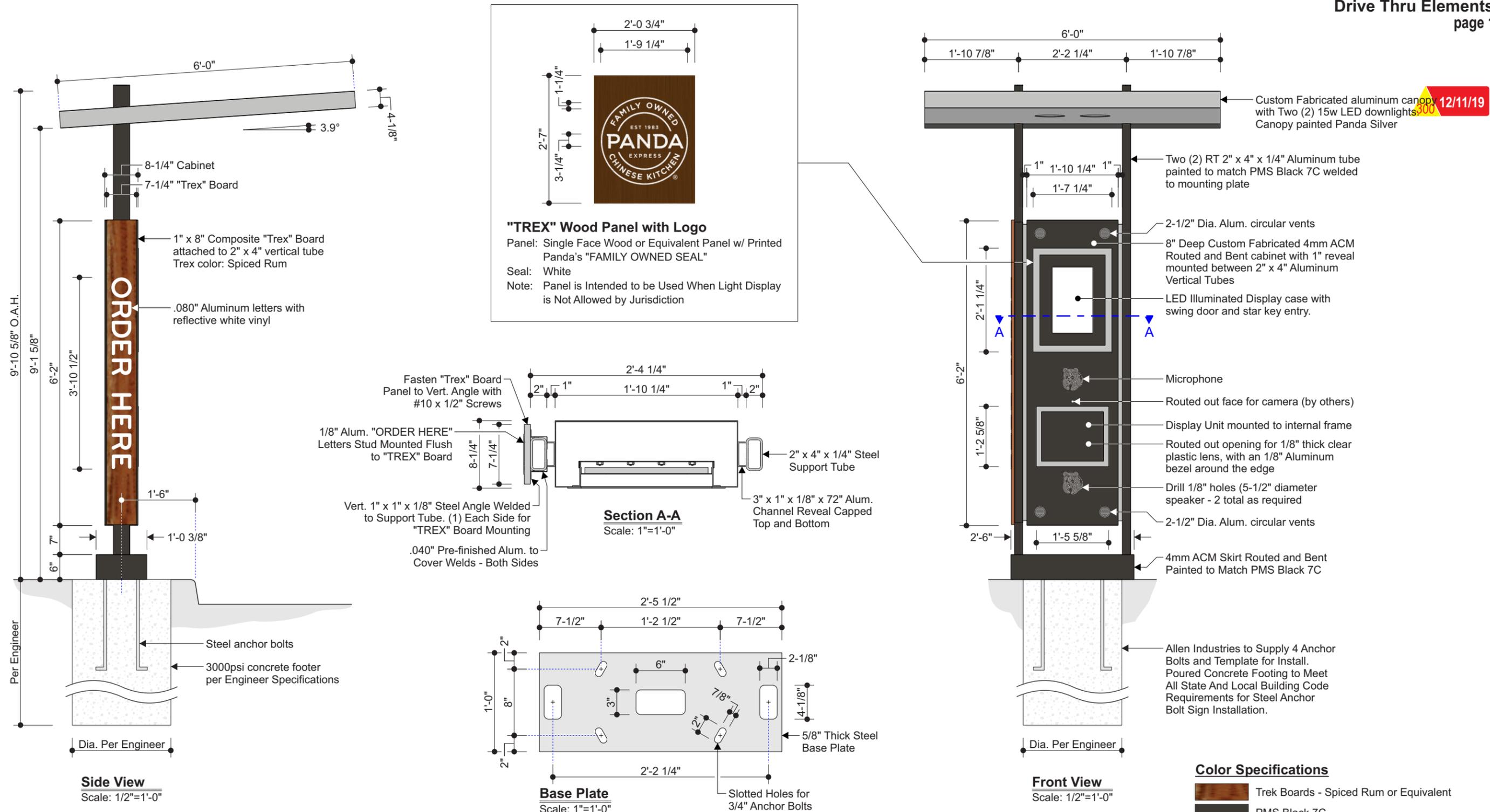
- Trek Boards - Spiced Rum or Equivalent
- PMS Black 7C



| Client Review Status | Notes | Date / Description | Project Information |
|--|--|---------------------|---|
| <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved as Noted <input type="checkbox"/> Revise & Resubmit | Allen Industries, Inc. requires that an "Approved" drawing be obtained from the client prior to any production release or production release revision. | 09/19/18 Issue Date | Client Panda Express Canal St/Winchester Blvd, Canal Winchester, OH - D6790 |
| Name _____ Title _____ Date _____ | | | File Canal Winchester, OH OP009958 300 Sales CB Design DE/BH/ED PM GT |

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12/11/19



Listed Electric Sign Complies with UL48 CSA C22.2 No.207 A11 017510

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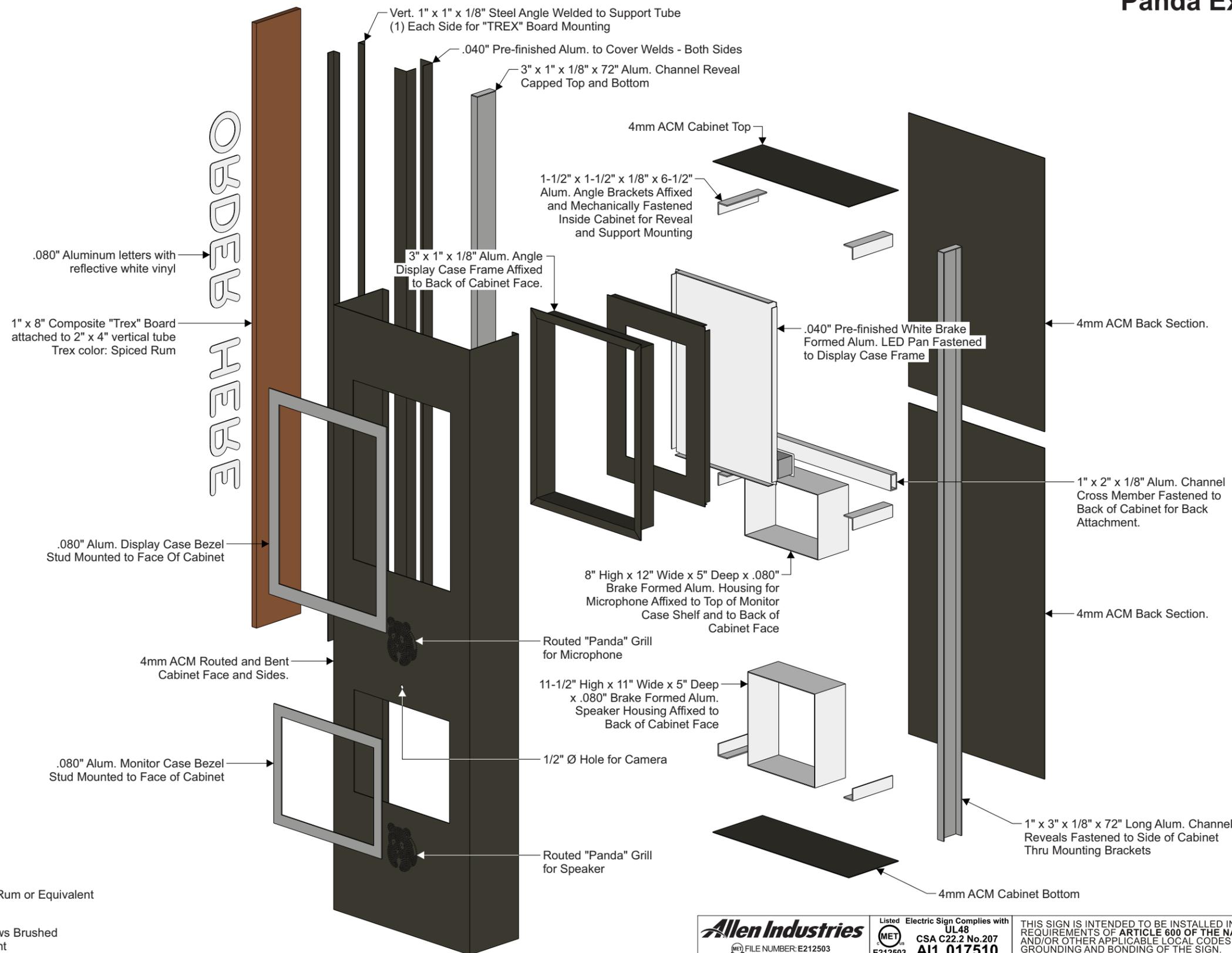
| Client Review Status | Notes | Date / Description | Project Information |
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| <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved as Noted <input type="checkbox"/> Revise & Resubmit | Allen Industries, Inc. requires that an "Approved" drawing be obtained from the client prior to any production release or production release revision. | 09/19/18 Issue Date | Client Panda Express Canal St/Winchester Blvd, Canal Winchester, OH - D6790 File Canal Winchester, OH OP009958 300 Sales CB Design DE/BH/ED PM GT |
| Name _____ | | | |
| Title _____ | | | |



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300 12/11/19



Color Specifications

- Trek Boards - Spiced Rum or Equivalent
- PMS Black 7C
- Panda Silver - Matthews Brushed Aluminum or Equivalent

Allen Industries
 MET FILE NUMBER: E212503

Listed Electric Sign Complies with
 UL48
 CSA C22.2 No.207
 A11 017510

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Client Review Status

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 Approved Approved as Noted Revise & Resubmit
 Name _____
 Title _____ Date _____

Notes

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Date / Description

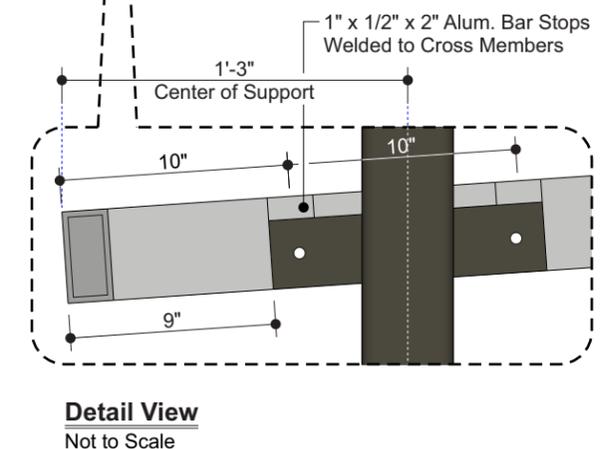
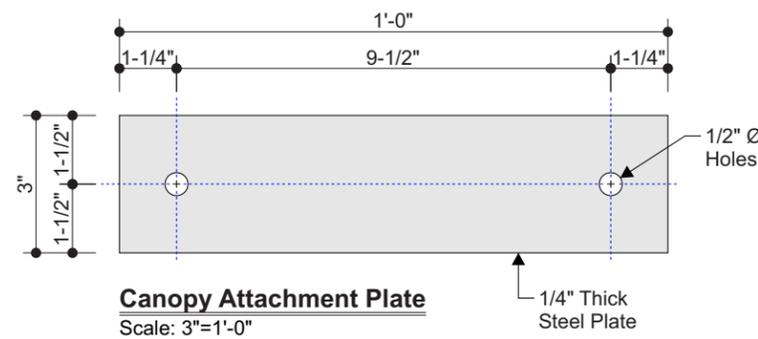
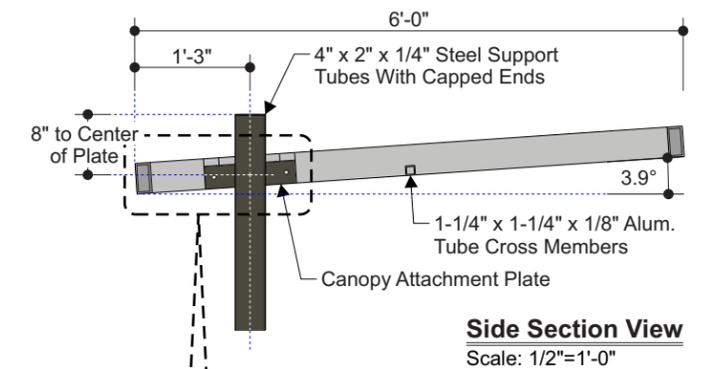
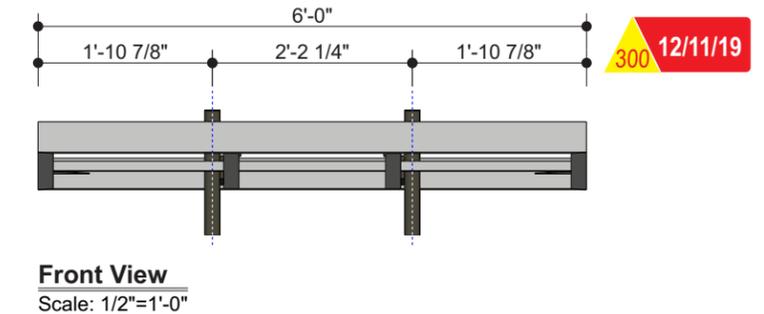
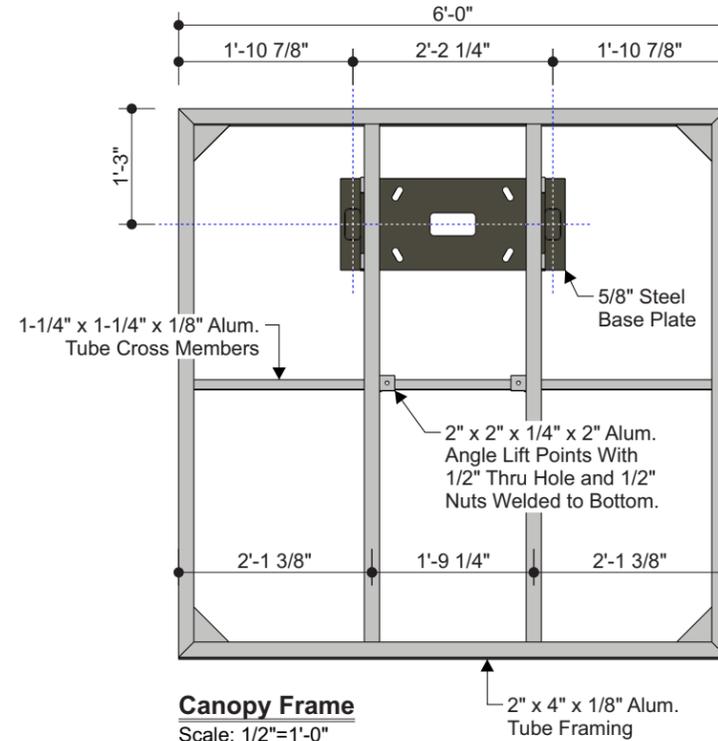
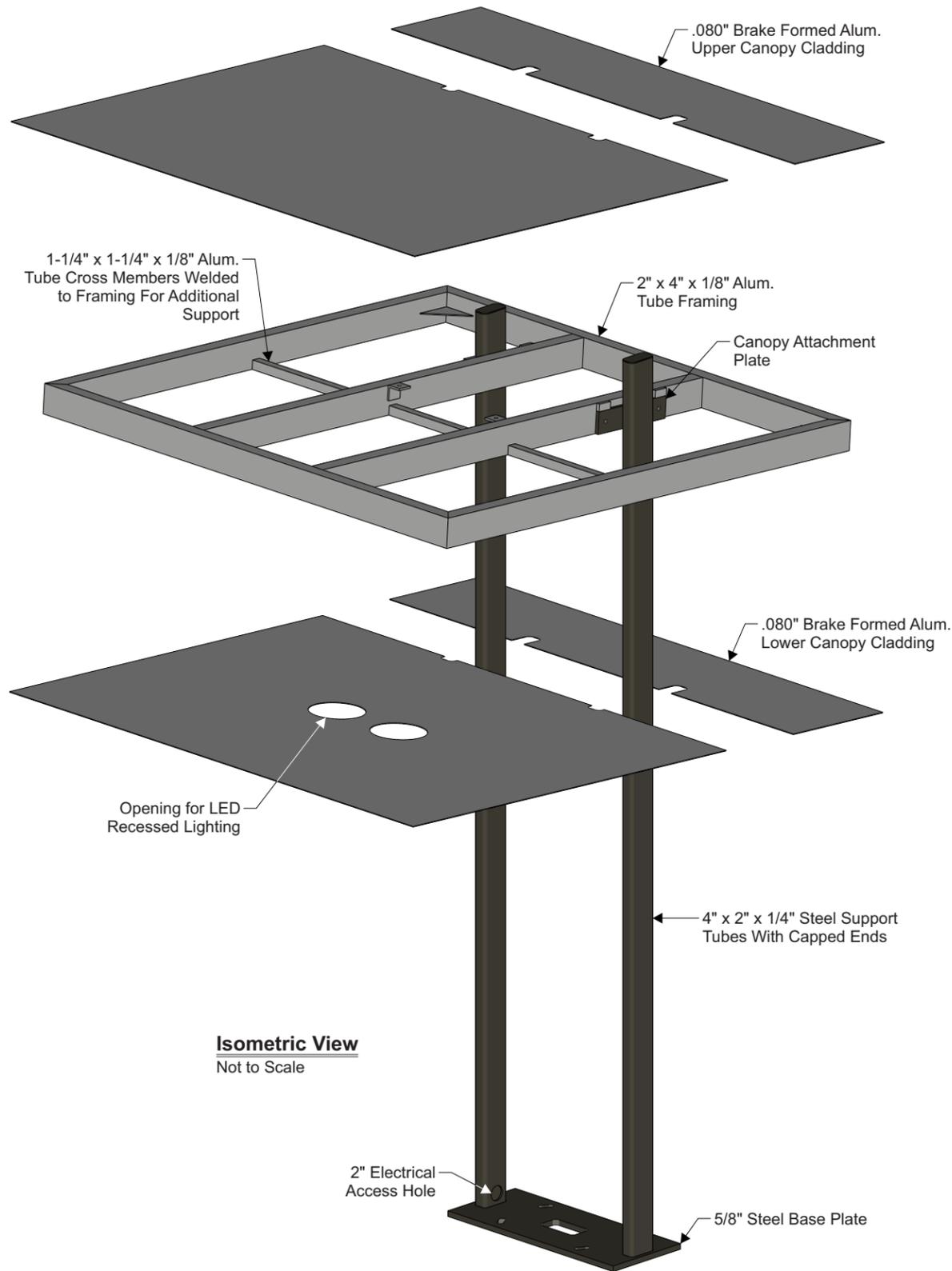
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| 09/19/18 | Issue Date |
| - | 1 |
| - | 2 |
| - | 3 |
| - | 4 |

Project Information

| | |
|--------|---|
| Client | Panda Express |
| | Canal St/Winchester Blvd, Canal Winchester, OH - D6790 |
| File | Canal Winchester, OH OP009958 300 |
| Sales | CB Design DE/BH/ED PM GT |

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Color Specifications

- PMS Black 7C
- Panda Silver - Matthews Brushed Aluminum or Equivalent



Listed Electric Sign Complies with
UL48
CSA C22.2 No.207
A11 017510

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| Client Review Status | |
|--|--|
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| <input type="checkbox"/> Approved | <input type="checkbox"/> Approved as Noted |
| <input type="checkbox"/> Revise & Resubmit | |
| Name | Date |
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| Notes | |
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| Date / Description | |
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| 09/19/18 | Issue Date |
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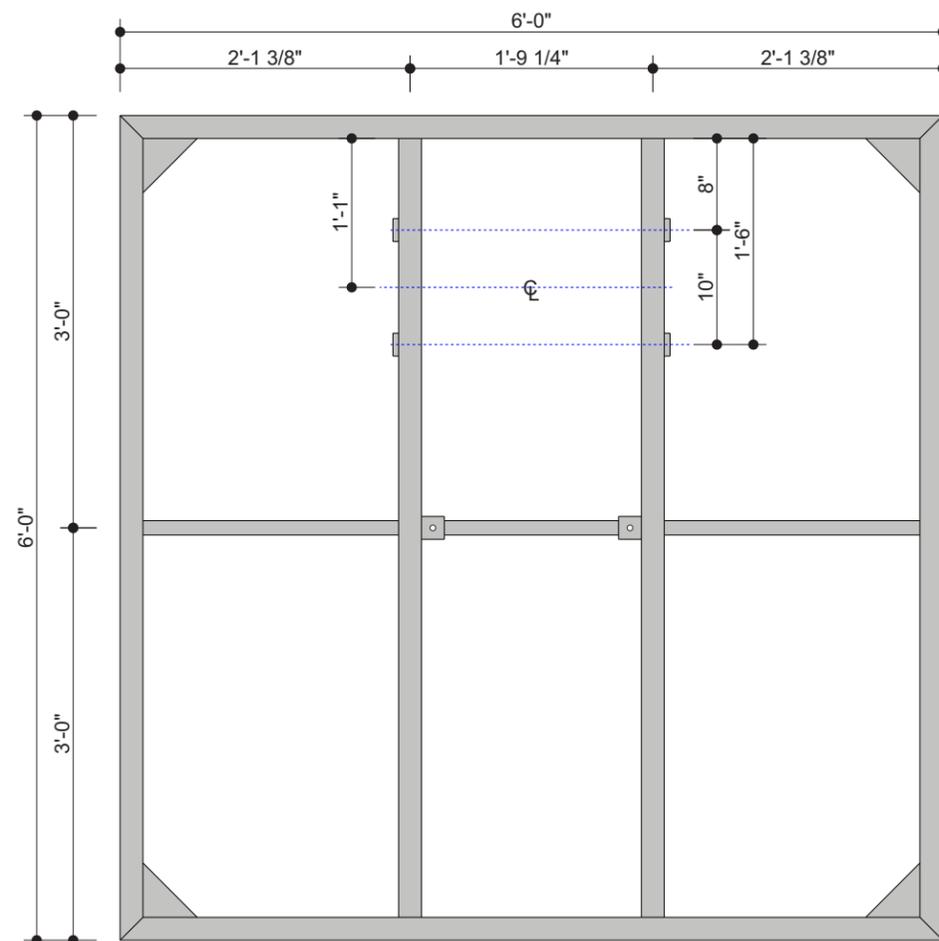
| Project Information | |
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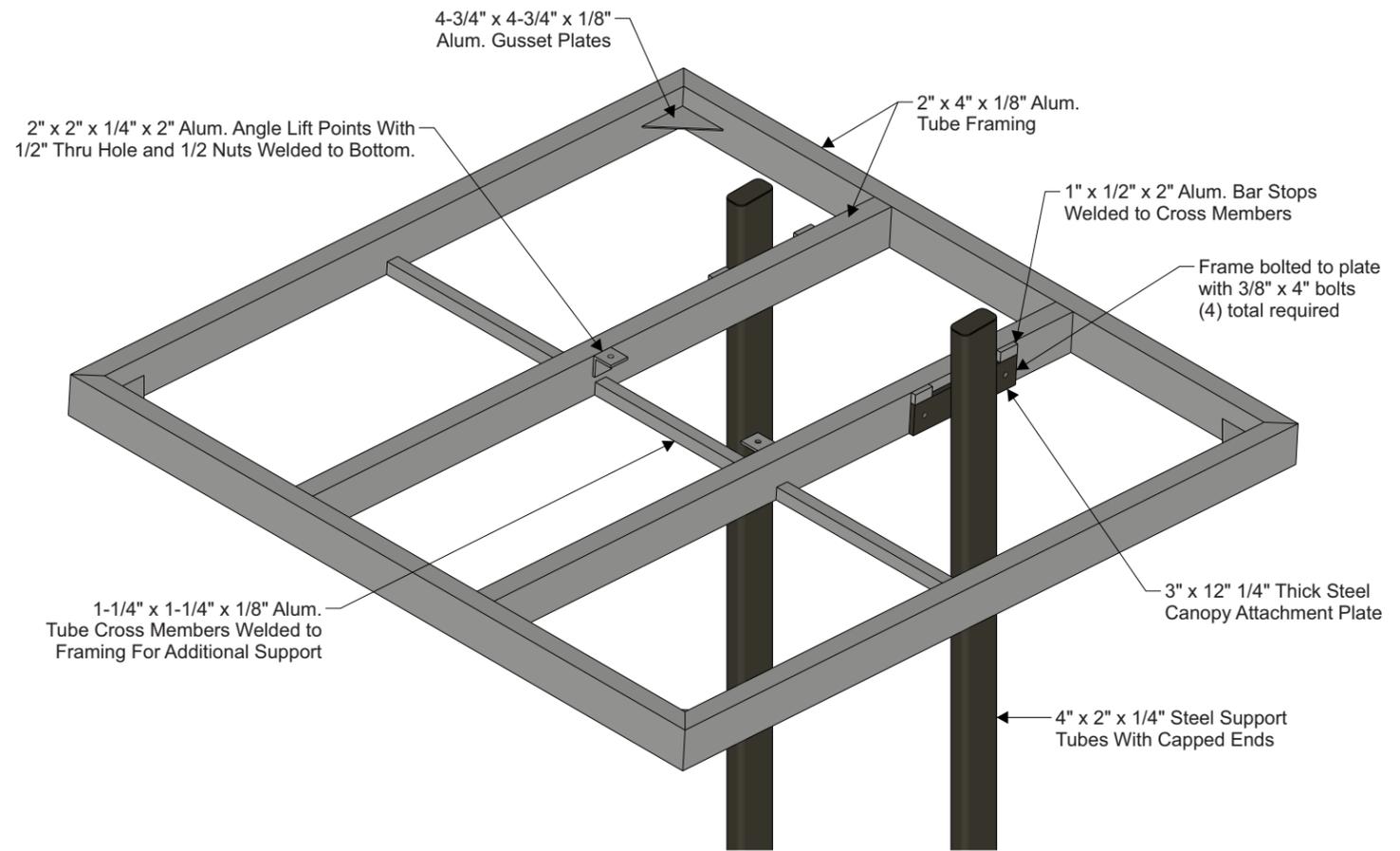


300 12/11/19



Canopy Frame

Scale: 3/4"=1'-0"



Isometric View

Not to Scale

Color Specifications

- PMS Black 7C
- Panda Silver - Matthews Brushed Aluminum or Equivalent



Listed Electric Sign Complies with
 UL48
 CSA C22.2 No.207
 A11 017510

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| Client Review Status | | Notes |
|---|------------|-------|
| <input type="checkbox"/> Approved <input type="checkbox"/> Approved as Noted <input type="checkbox"/> Revise & Resubmit | | - |
| Name _____ | Date _____ | |
| Title _____ | | |

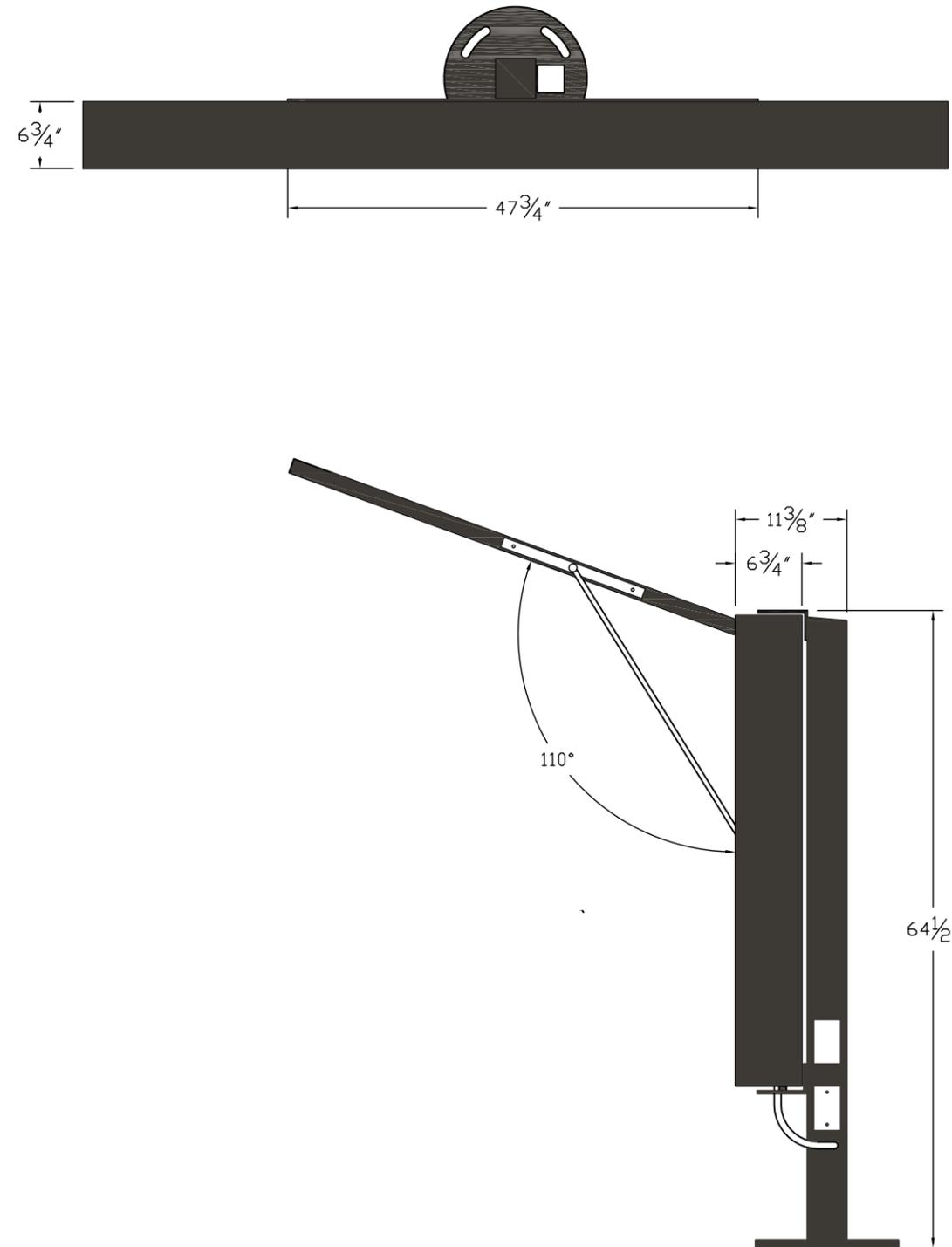
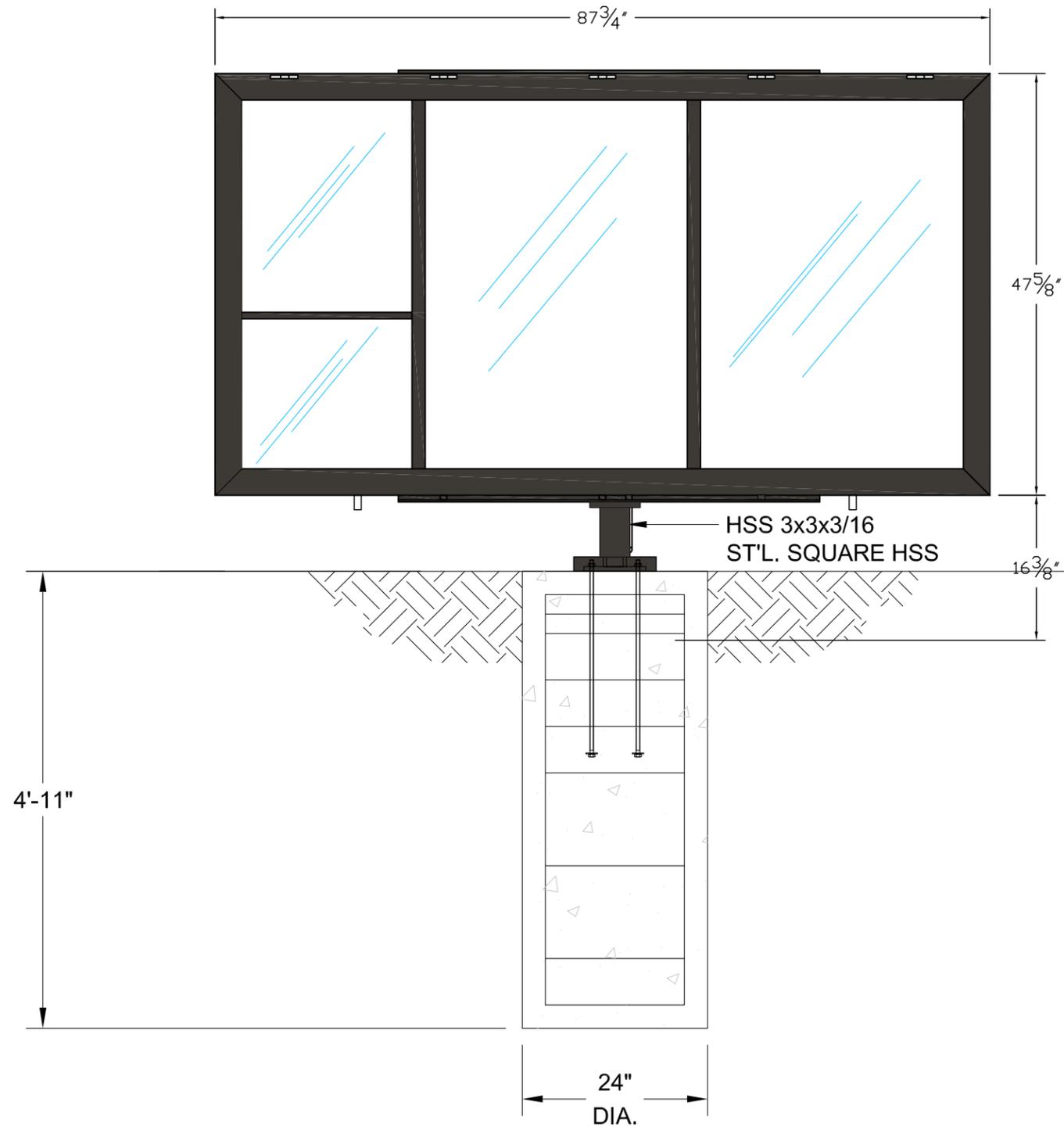
| Date / Description |
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| 09/19/18 Issue Date |
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| Project Information | |
|---------------------|---|
| Client | Panda Express |
| | Canal St/Winchester Blvd, Canal Winchester, OH - D6790 |
| File | Canal Winchester, OH OP009958 300 |
| Sales | CB Design DE/BH/ED PM GT |

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300 12/11/19



Client Review Status

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 Approved Approved as Noted Revise & Resubmit

Name _____
 Title _____ Date _____

Notes

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Date / Description

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|----------|------------|
| 09/19/18 | Issue Date |
| - | 1 - |
| - | 2 - |
| - | 3 - |
| - | 4 - |

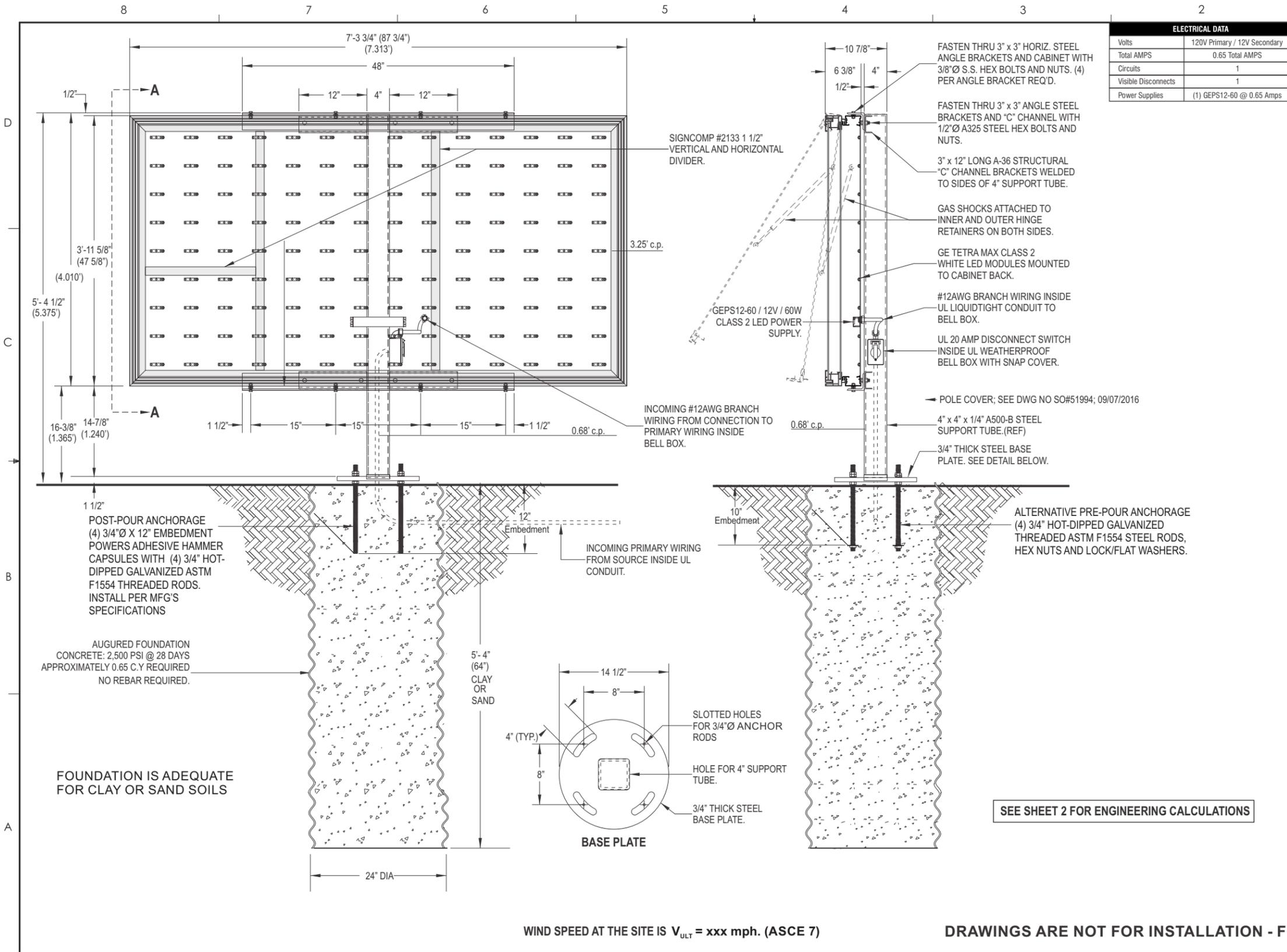
Project Information

| | |
|--------|-----------------------------------|
| Client | Panda Express |
| | Canal St/Winchester Blvd, |
| | Canal Winchester, OH - D6790 |
| File | Canal Winchester, OH OP009958 300 |
| Sales | CB Design DE/BH/ED PM GT |

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300 12/11/19



| ELECTRICAL DATA | |
|---------------------|------------------------------|
| Volts | 120V Primary / 12V Secondary |
| Total AMPS | 0.65 Total AMPS |
| Circuits | 1 |
| Visible Disconnects | 1 |
| Power Supplies | (1) GEPS12-60 @ 0.65 Amps |

NATIONAL HEADQUARTERS
1077 West Blue Heron Blvd., West Palm Beach, FL 33404
Phone: (561)863-6659 / (800)772-7932 Fax: (561)863-4294

NORTHEAST DIVISION
707 Commerce Dr., Concord, NC 28025
Phone: (704)788-3733 / (800)772-7932 Fax: (704)788-3843

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TITLE
PANDA EXPRESS DRIVE THRU MENU BOARD

ADDRESS
STREET
CITY, FLORIDA

DRAWING NO
ENG-00000-012

REV.#
1 OF 3

DATE

| NAME | DATE |
|--------------|--------------|
| DRAWN BY | 00/00/2017 |
| PROJECT MGR. | D SUTHERLAND |

ENGINEERING

Code Provisions for Sign Installation:
International Building Code 2012, 2015, 2018
Wind load per ASCE 7; IBC sections 1609.1.1; 1620; Exposure C; Risk Category II

$V_{ULT} = 180$ mph (ASCE 7-16)(ASCE 7-10)
 $V = 140$ mph (ASCE7-05)
STANDARDIZED DESIGN

ENGINEER INFORMATION
NAME: Theodore M. McAnlis, P.E.
ADDRESS: P.O. Box 14724
North Palm Beach, Florida 33408
E-MAIL: mcanlis.engr@gmail.com
LICENSE: xx 00000

As witnessed by my seal, I certify that the sign anchors and foundation meet or exceed the requirements of the IBC for $V_{ULT} = 180$ mph. ($V = 140$ mph)



| Client Review Status | |
|--|------|
| Allen Industries, Inc. requires that an "Approved" drawing be obtained from the client prior to any production release or production release revision. | |
| <input type="checkbox"/> Approved <input type="checkbox"/> Approved as Noted <input type="checkbox"/> Revise & Resubmit | |
| Name | Date |
| | |

| Notes | |
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| - | |
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| - | |

| Date / Description | |
|--------------------|------------|
| 09/19/18 | Issue Date |
| - | 1 |
| - | 2 |
| - | 3 |
| - | 4 |

| Project Information | |
|---------------------|---|
| Client | Panda Express |
| | Canal St/Winchester Blvd, Canal Winchester, OH - D6790 |
| File | Canal Winchester, OH OP009958 300 |
| Sales | CB Design DE/BH/ED PM GT |

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Phone: (561)863-6659 / (800)772-7932 Fax: (561)863-4294

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12/11/19

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TITLE
PANDA EXPRESS DRIVE THRU MENU BOARD

ADDRESS

DRAWING NO

REV.#
DATE

2 OF 3

| NAME | DATE |
|--------------|------|
| D SUTHERLAND | |

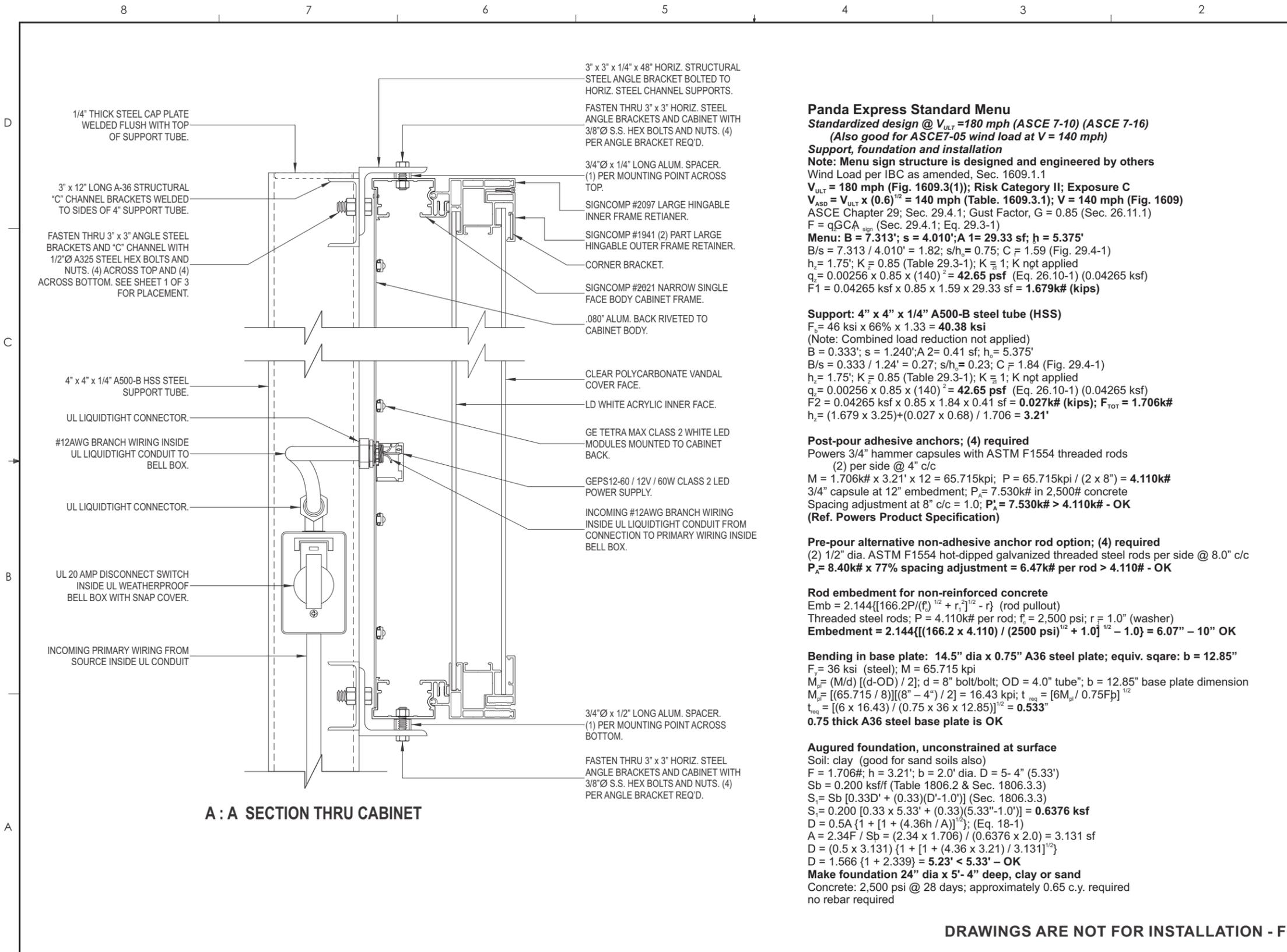
ENGINEERING

Code Provisions for Sign Installation:
International Building Code 2012, 2015, 2018
Wind load per ASCE 7; IBC sections 1609.1.1; 1620; Exposure C; Risk Category II

V_{ULT} = 180 mph (ASCE 7-16)(ASCE 7-10)
V = 140mph (ASCE7-05)
STANDARDIZED DESIGN

ENGINEER INFORMATION
NAME: Theodore M. McAnlis, P.E.
ADDRESS: P.O. Box 14724
North Palm Beach, Florida 33408
E-MAIL: mcanlis.engr@gmail.com
LICENSE: xx 00000

As witnessed by my seal, I certify that the sign anchors and foundation meet or exceed the requirements of the applicable IBC for V_{ULT} = 180 mph. (V = 140 mph)



Panda Express Standard Menu
Standardized design @ V_{ULT} = 180 mph (ASCE 7-10) (ASCE 7-16)
(Also good for ASCE7-05 wind load at V = 140 mph)

Support, foundation and installation
Note: Menu sign structure is designed and engineered by others
Wind Load per IBC as amended, Sec. 1609.1.1

V_{ULT} = 180 mph (Fig. 1609.3(1)); Risk Category II; Exposure C
V_{ASD} = V_{ULT} x (0.6)^{1/2} = 140 mph (Table. 1609.3.1); V = 140 mph (Fig. 1609)
ASCE Chapter 29; Sec. 29.4.1; Gust Factor, G = 0.85 (Sec. 26.11.1)
F = qGC_A sign (Sec. 29.4.1; Eq. 29.3-1)

Menu: B = 7.313'; s = 4.010'; A = 29.33 sf; h = 5.375'
B/s = 7.313 / 4.010' = 1.82; s/h₀ = 0.75; C_F = 1.59 (Fig. 29.4-1)
h_z = 1.75'; K_F = 0.85 (Table 29.3-1); K_z = 1; K not applied
q_z = 0.00256 x 0.85 x (140)² = **42.65 psf** (Eq. 26.10-1) (0.04265 ksf)
F1 = 0.04265 ksf x 0.85 x 1.59 x 29.33 sf = **1.679k# (kips)**

Support: 4" x 4" x 1/4" A500-B steel tube (HSS)
F_y = 46 ksi x 66% x 1.33 = **40.38 ksi**
(Note: Combined load reduction not applied)
B = 0.333'; s = 1.240'; A = 0.41 sf; h_z = 5.375'
B/s = 0.333 / 1.24' = 0.27; s/h₀ = 0.23; C_F = 1.84 (Fig. 29.4-1)
h_z = 1.75'; K_F = 0.85 (Table 29.3-1); K_z = 1; K not applied
q_z = 0.00256 x 0.85 x (140)² = **42.65 psf** (Eq. 26.10-1) (0.04265 ksf)
F2 = 0.04265 ksf x 0.85 x 1.84 x 0.41 sf = **0.027k# (kips); F_{TOT} = 1.706k#**
h_z = (1.679 x 3.25) + (0.027 x 0.68) / 1.706 = **3.21'**

Post-pour adhesive anchors; (4) required
Powers 3/4" hammer capsules with ASTM F1554 threaded rods
(2) per side @ 4" c/c
M = 1.706k# x 3.21' x 12 = 65.715kpi; P = 65.715kpi / (2 x 8") = **4.110k#**
3/4" capsule at 12" embedment; P_a = 7.530k# in 2,500# concrete
Spacing adjustment at 8" c/c = 1.0; P'_a = **7.530k# > 4.110k# - OK**
(Ref. Powers Product Specification)

Pre-pour alternative non-adhesive anchor rod option; (4) required
(2) 1/2" dia. ASTM F1554 hot-dipped galvanized threaded steel rods per side @ 8.0" c/c
P_a = **8.40k# x 77% spacing adjustment = 6.47k# per rod > 4.110# - OK**

Rod embedment for non-reinforced concrete
Emb = 2.144{[166.2P/(F_y)^{1/2} + r₁^{2/3} - r]} (rod pullout)
Threaded steel rods; P = 4.110k# per rod; F_y = 2,500 psi; r = 1.0" (washer)
Embedment = 2.144{[(166.2 x 4.110) / (2500 psi)^{1/2} + 1.0]^{1/2} - 1.0} = 6.07" - 10" OK

Bending in base plate: 14.5" dia x 0.75" A36 steel plate; equiv. sqare: b = 12.85"
F_y = 36 ksi (steel); M = 65.715 kpi
M_p = (M/d) [(d-OD) / 2]; d = 8" bolt/bolt; OD = 4.0" tube"; b = 12.85" base plate dimension
M_p = [(65.715 / 8)] [(8" - 4") / 2] = 16.43 kpi; t_{req} = [6M_p / (0.75F_y)^{1/2}]
t_{req} = [(6 x 16.43) / (0.75 x 36 x 12.85)]^{1/2} = **0.533"**
0.75 thick A36 steel base plate is OK

Augured foundation, unconstrained at surface
Soil: clay (good for sand soils also)
F = 1.706k#; h = 3.21'; b = 2.0' dia. D = 5'-4" (5.33')
S_b = 0.200 ksf/f (Table 1806.2 & Sec. 1806.3.3)
S_i = S_b [0.33D' + (0.33)(D'-1.0')] (Sec. 1806.3.3)
S_i = 0.200 [0.33 x 5.33' + (0.33)(5.33"-1.0')] = **0.6376 ksf**
D = 0.5A {1 + [1 + (4.36h / A)]^{1/2}} (Eq. 18-1)
A = 2.34F / S_b = (2.34 x 1.706) / (0.6376 x 2.0) = 3.131 sf
D = (0.5 x 3.131) {1 + [1 + (4.36 x 3.21) / 3.131]^{1/2}}
D = 1.566 {1 + 2.339} = **5.23' < 5.33' - OK**
Make foundation 24" dia x 5'-4" deep, clay or sand
Concrete: 2,500 psi @ 28 days; approximately 0.65 c.y. required
no rebar required

DRAWINGS ARE NOT FOR INSTALLATION - FOR INFORMATION ONLY

| Client Review Status | Notes | Date / Description | Project Information |
|--|-------|---------------------|--|
| <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved as Noted <input type="checkbox"/> Revise & Resubmit | - | 09/19/18 Issue Date | Client Panda Express |
| Name _____ | | | Canal St/Winchester Blvd, |
| Title _____ | | | Canal Winchester, OH - D6790 |
| | | | File Canal Winchester, OH OP009958 300 |
| | | | Sales CB Design DE/BH/ED PM GT |



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300 12/11/19



NATIONAL HEADQUARTERS
1077 West Blue Heron Blvd., West Palm Beach, FL 33404
Phone: (561)863-6659 / (800)772-7932 Fax: (561)863-4294

NORTHEAST DIVISION
707 Commerce Dr., Concord, NC 28025
Phone: (704)788-3733 / (800)772-7932 Fax: (704)788-3843

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TITLE
**PANDA EXPRESS
DRIVE THRU MENU BOARD**

ADDRESS

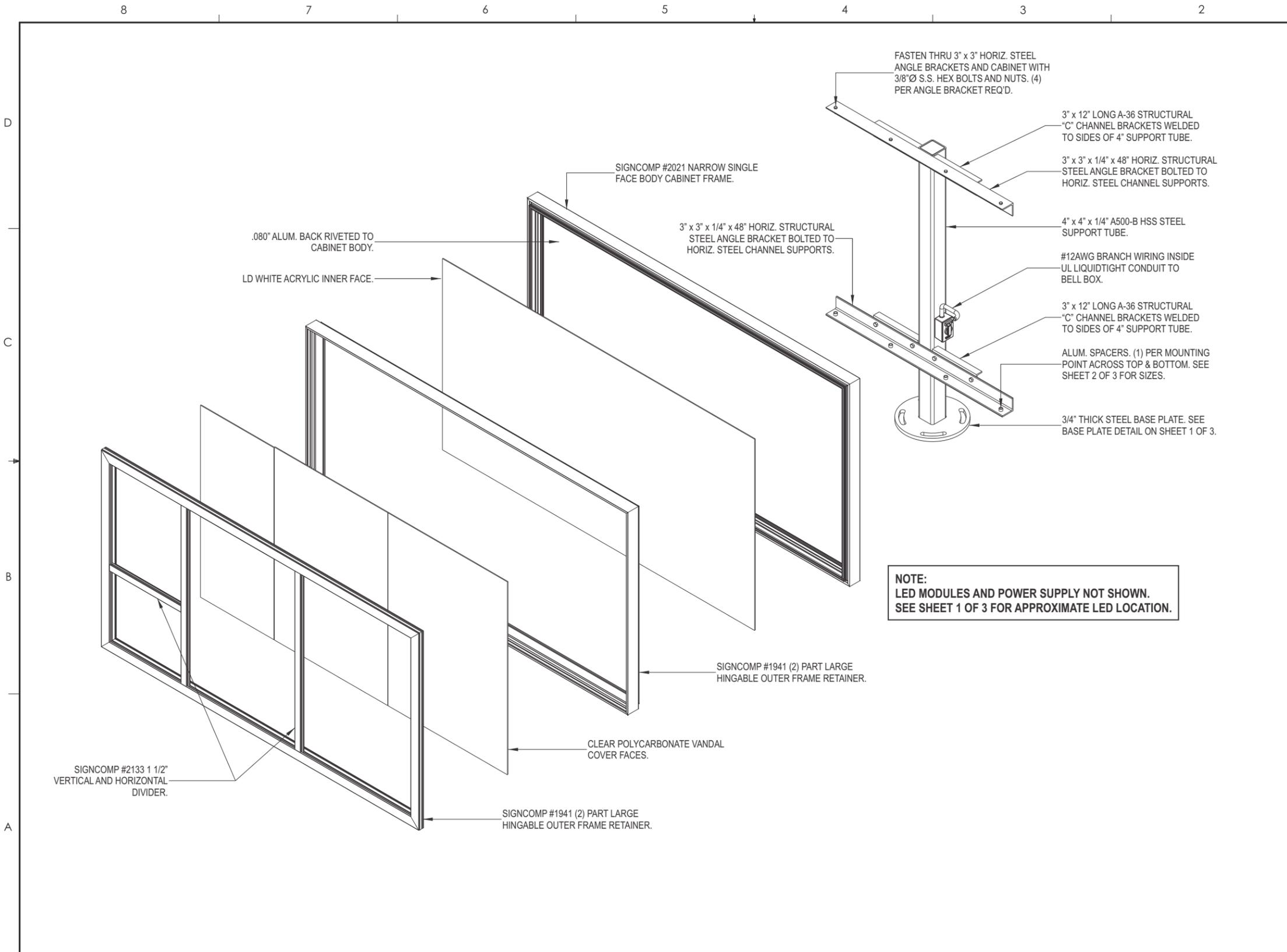
DRAWING NO

REV.#
DATE

3 OF 3

| | NAME | DATE |
|--------------|--------------|------|
| DRAWN BY | | |
| PROJECT MGR. | D SUTHERLAND | |
| | | |

**THIS SHEET IS FOR
REFERENCE ONLY**



NOTE:
LED MODULES AND POWER SUPPLY NOT SHOWN.
SEE SHEET 1 OF 3 FOR APPROXIMATE LED LOCATION.



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Approved Approved as Noted Revise & Resubmit

Name _____ Title _____

Date _____

Notes

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09/19/18 Issue Date

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Project Information

Client Panda Express

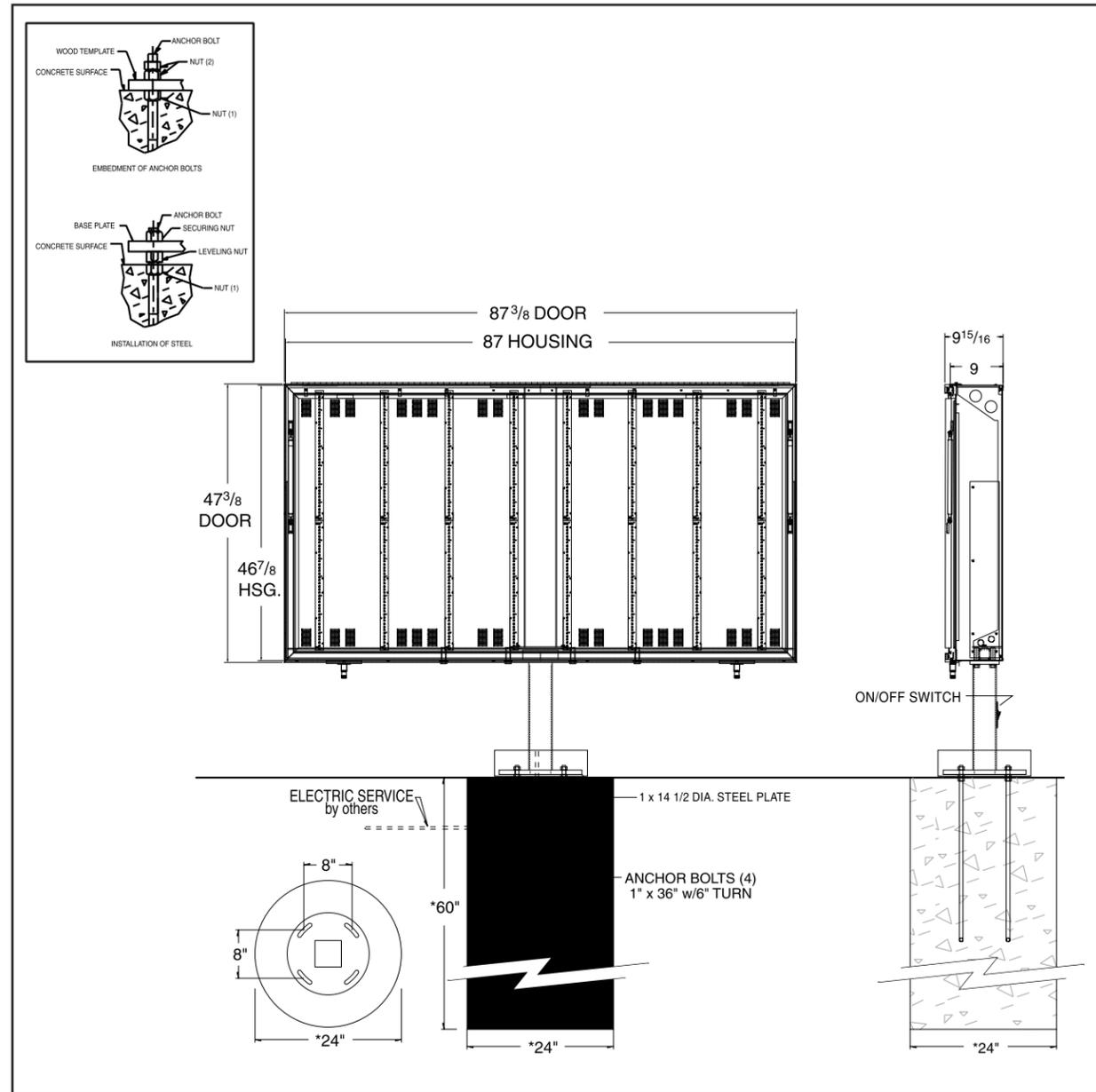
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Canal Winchester, OH - D6790

File Canal Winchester, OH OP009958 300

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- 1 Dig hole to the desired length, width and depth. Attach template to anchor bolts with a nut below and (2) above the template and place into the ground. Position conduit as shown. Fill hole with concrete.
- 2 When concrete is dried remove the template from the concrete base. Clean anchor bolt threads and run one nut onto each bolt which will be used to level the structure. Lift steel structure and lower onto anchor bolts making sure the on/off switch on the mounting steel go towards the rear. Run one nut onto each anchor bolt to secure. Do not tighten. With the aid of available leveling device, adjust leveling nuts so structure is level and plumb. Tighten the securing nuts.
- 3 This is a suggested plan. Local requirements may exceed this design. The contractor is responsible to verify this plan. When making electrical connections comply with all applicable national, state, and local codes.
- 4 Unpack the drive thru board .
- 5 Remove the (8) 5/8-11 x 2 mounting bolts and washers from the bottom of the drive thru menu board. Set the drive thru board on mounting steel.
- 6 Attach the drive thru board to steel with the (8) 5/8 x 2 mounting bolts and washers previously removed.
- 7 Remove the switch cover plate from the mounting steel.

***NOTE: These are approximate foundation measurements. The soil bearing capacity at the erection site must be considered when designing the foundation. The sign manufacturer is not able to predetermine the specific needs of each location. Consult a local engineer for design specifications.**

***NOTE: This is a suggested plan. Local requirements may exceed this design. The contractor is responsible to verify this plan.**



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|---|------------|
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| Project Information | |
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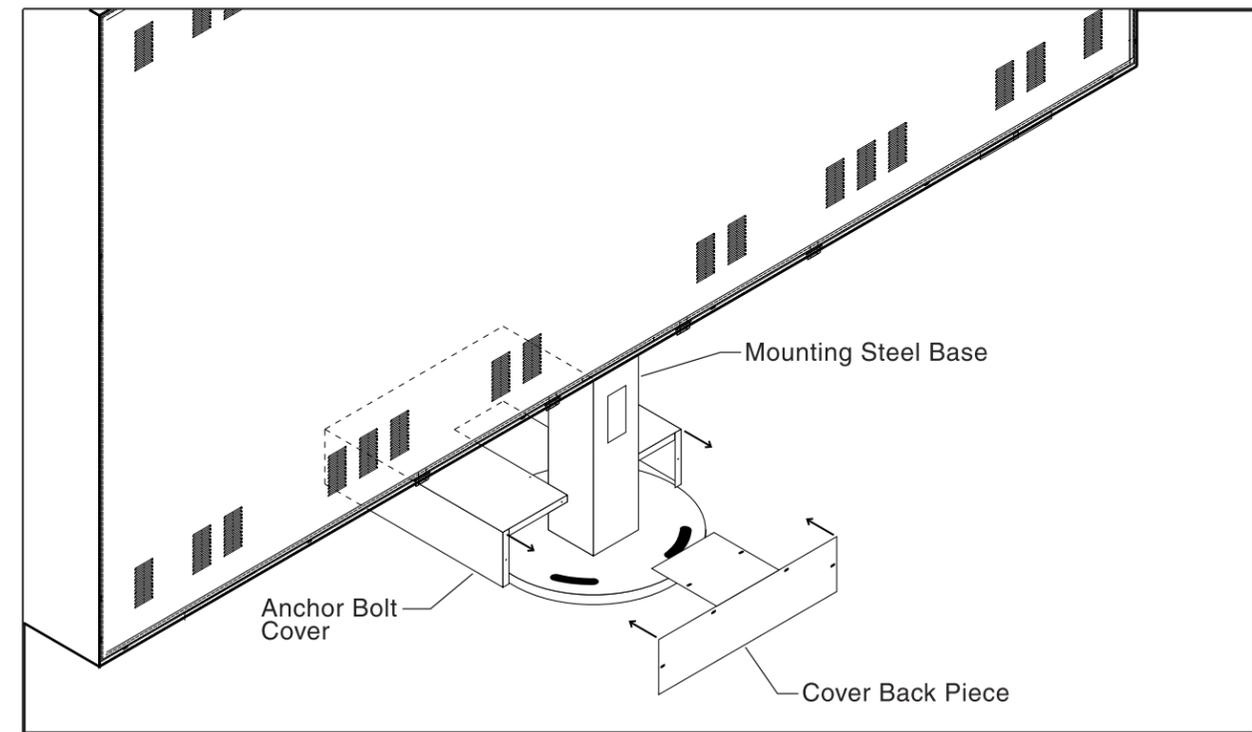
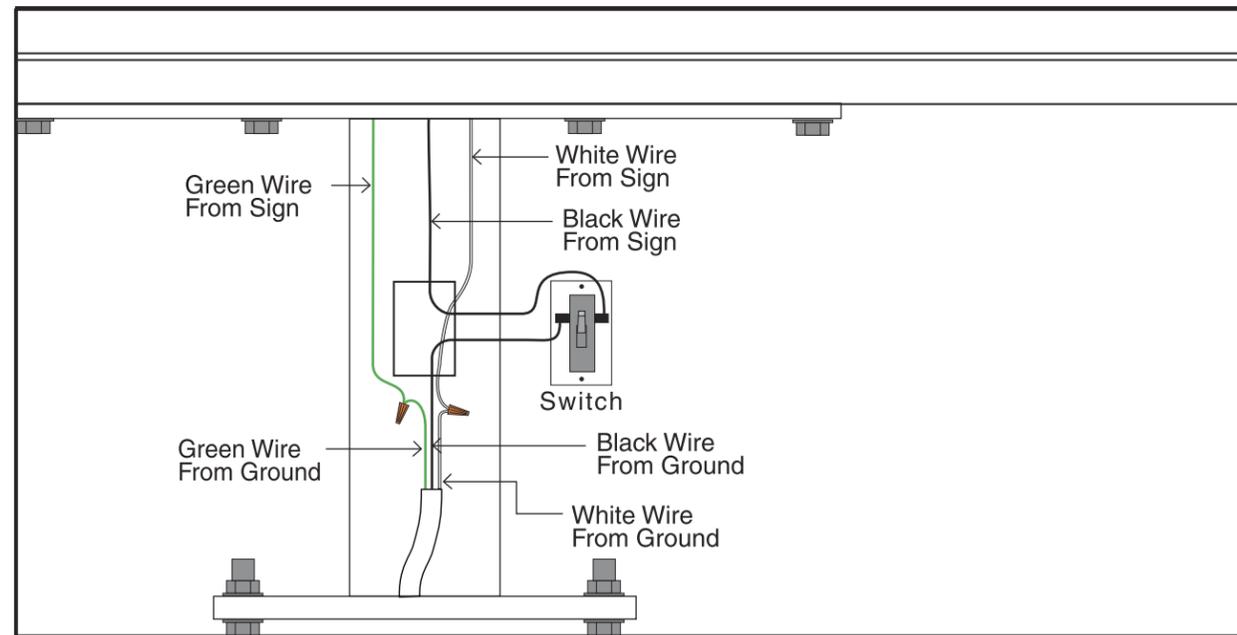
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300 12/11/19

- ⑧ Fish the black, white and green wires coming from the ground out of the hole located on the back of the mounting steel.
- ⑨ Wire nut the green wire from the menu board and the green wire from the ground together. Wire nut the white wire from the menu board and the white wire coming from the ground together. Stuff the green wires and the white wires back into the mounting steel.
- ⑩ Wire the two black wires to the junction box switch cover in accordance with all national, state and local codes. Re-attach the switch cover to junction box.
- ⑪ Restore power and test light the sign.

- ⑫ Open the box that contains the anchor bolt cover and remove the (6) #8-3/8 screw that hold the cover back piece in place and set them aside.
- ⑬ Slide the anchor bolt cover over the mounting steel base so that the opening is to the back. Place the cover back in place matching the slots in the cover back to the holes on the anchor bolt cover.
- ⑭ Secure the cover back in place with the (6) #8 - 3/8 screws previously removed.



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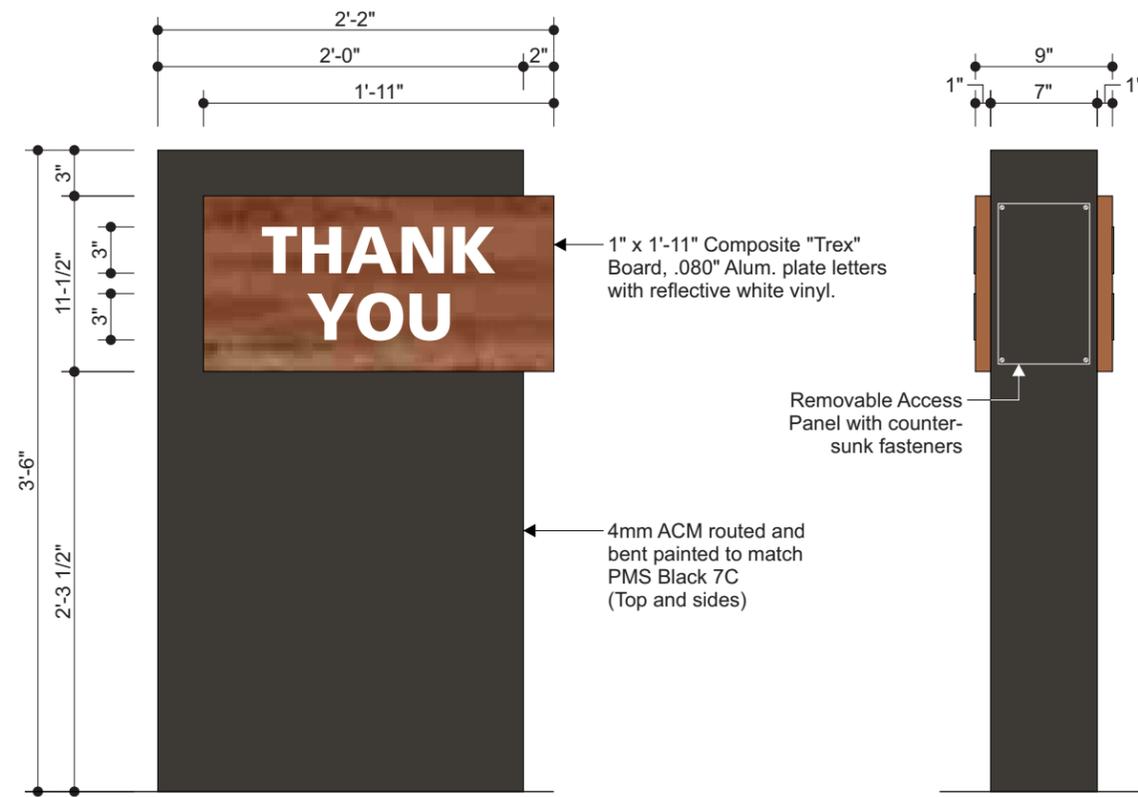
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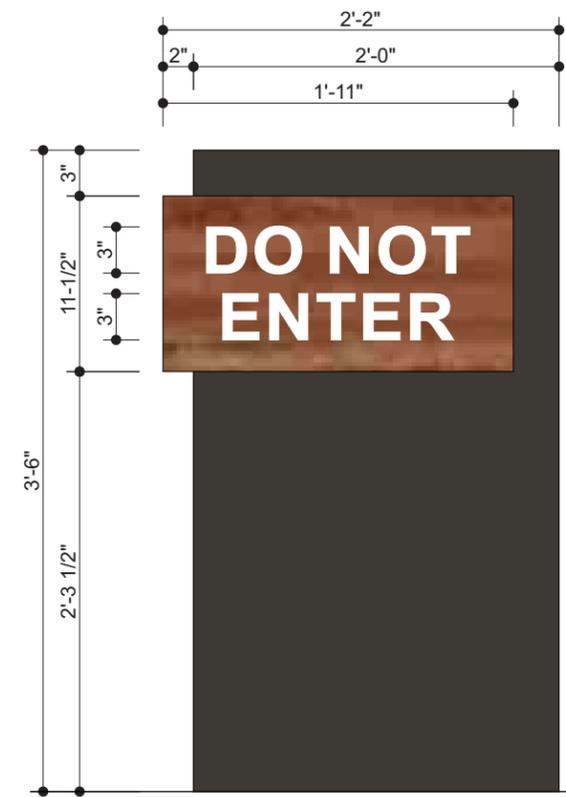


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Front View
Scale: 1"=1'-0"

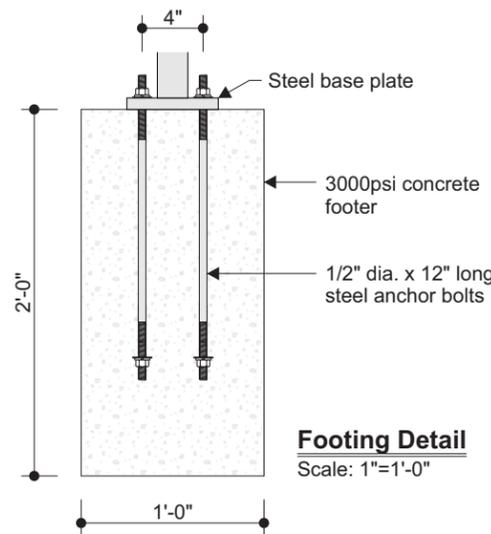
Side View
Scale: 1"=1'-0"



Rear View
Scale: 1"=1'-0"



Isometric View
Not to Scale



Footing Detail
Scale: 1"=1'-0"

Color Specifications

- Trek Boards - Spiced Rum or Equivalent
- PMS Black 7C
- Panda Silver - Matthews Brushed Aluminum or Equivalent



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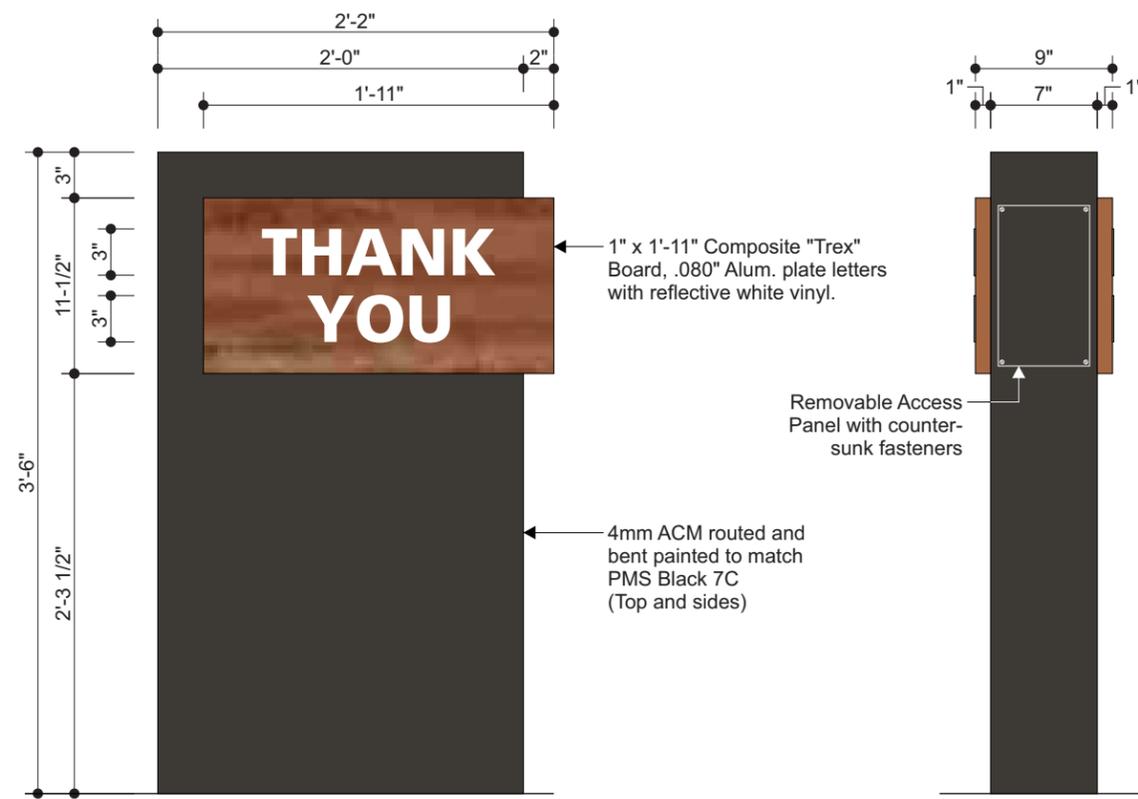
Project Information

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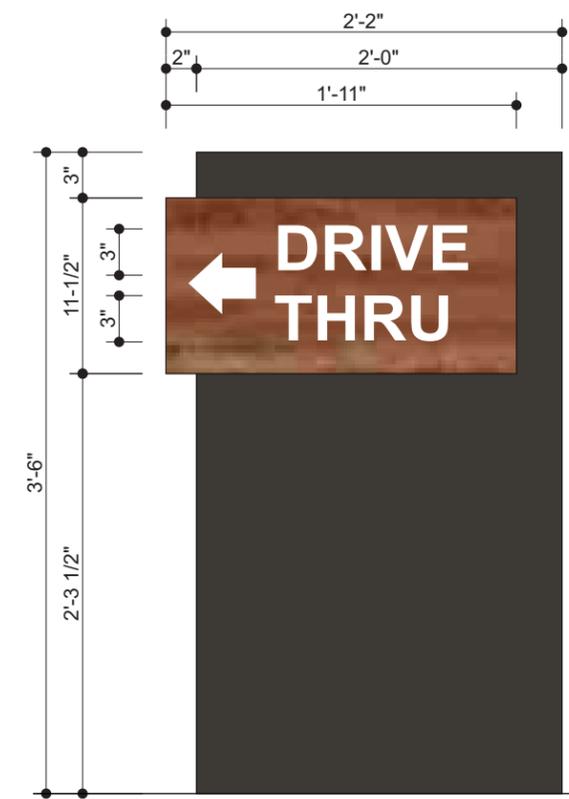


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Front View
 Scale: 1"=1'-0"

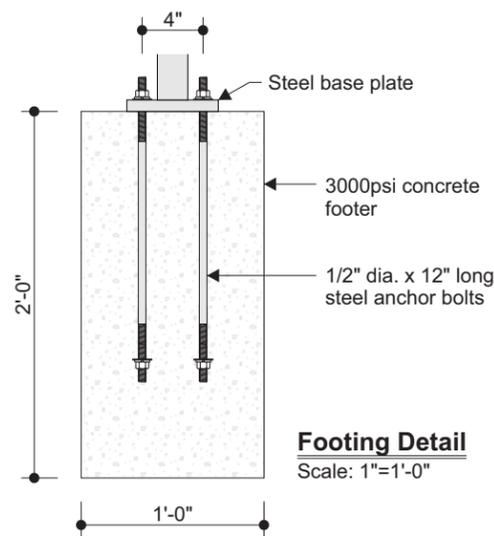
Side View
 Scale: 1"=1'-0"



Rear View
 Scale: 1"=1'-0"



Isometric View
 Not to Scale



Footing Detail
 Scale: 1"=1'-0"

Color Specifications

- Trek Boards - Spiced Rum or Equivalent
- PMS Black 7C
- Panda Silver - Matthews Brushed Aluminum or Equivalent



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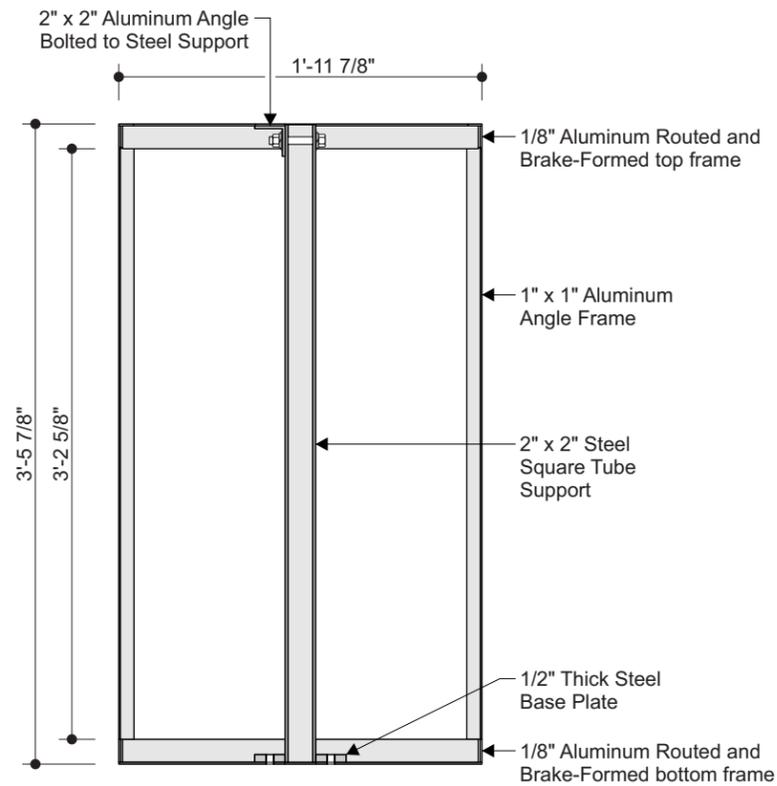
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| Project Information |
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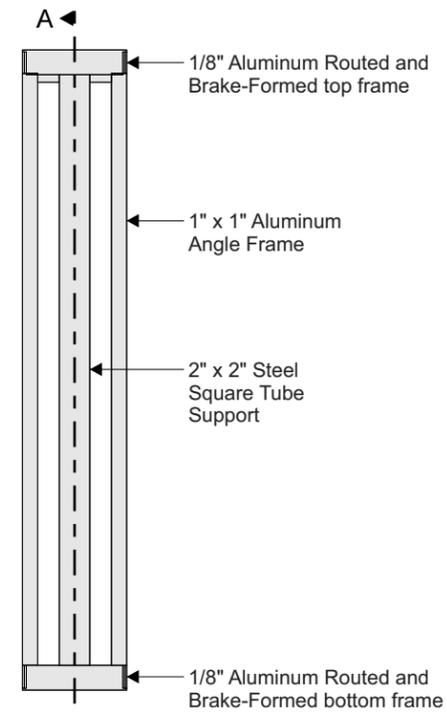
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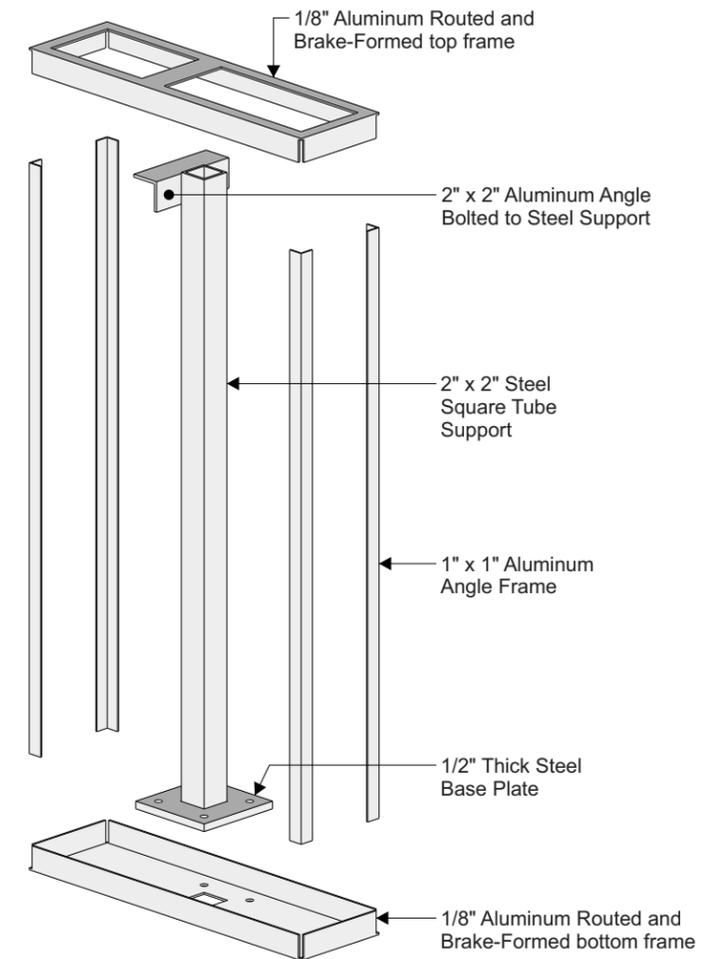
Front Section View

Scale: 1"=1'-0"



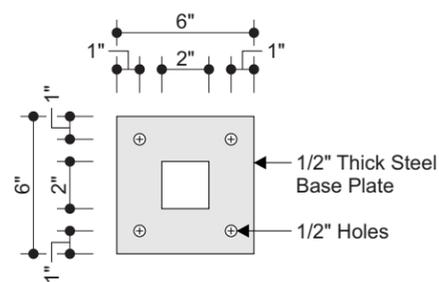
Side View

Scale: 1"=1'-0"



Exploded View

Not to Scale



Base Plate

Scale: 1-1/2"=1'-0"

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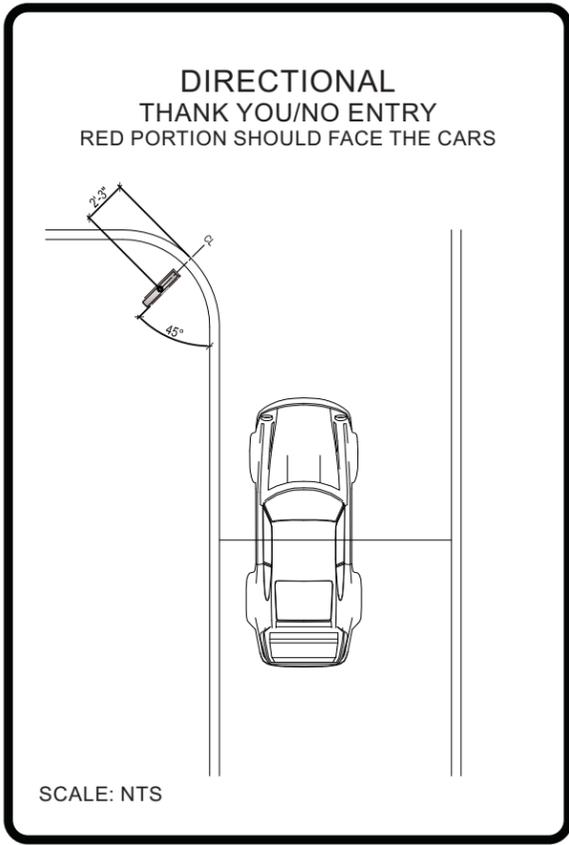
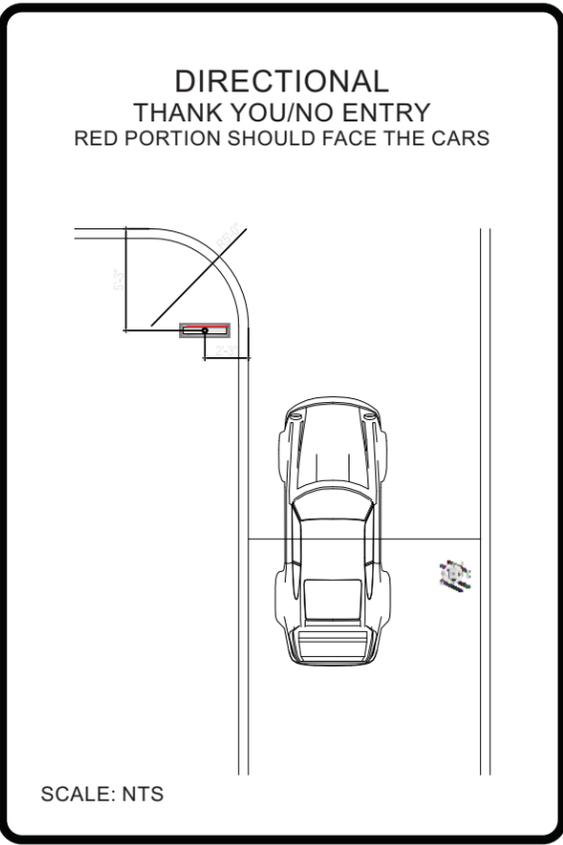
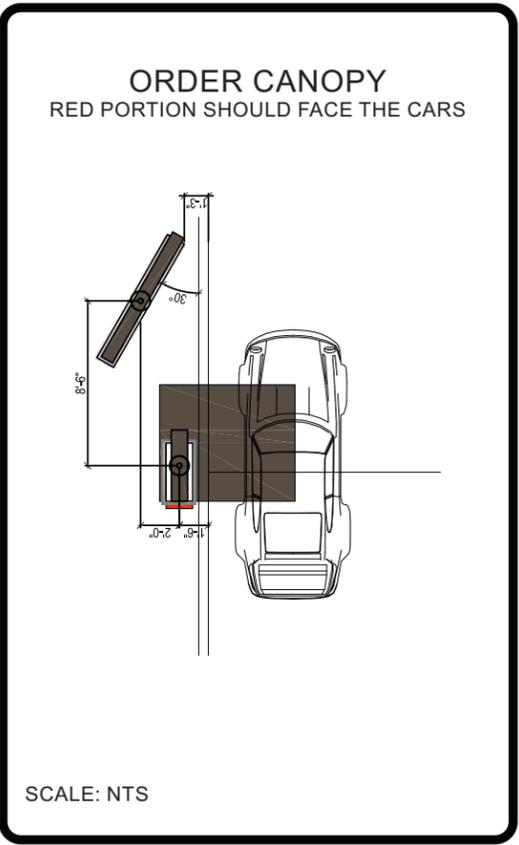
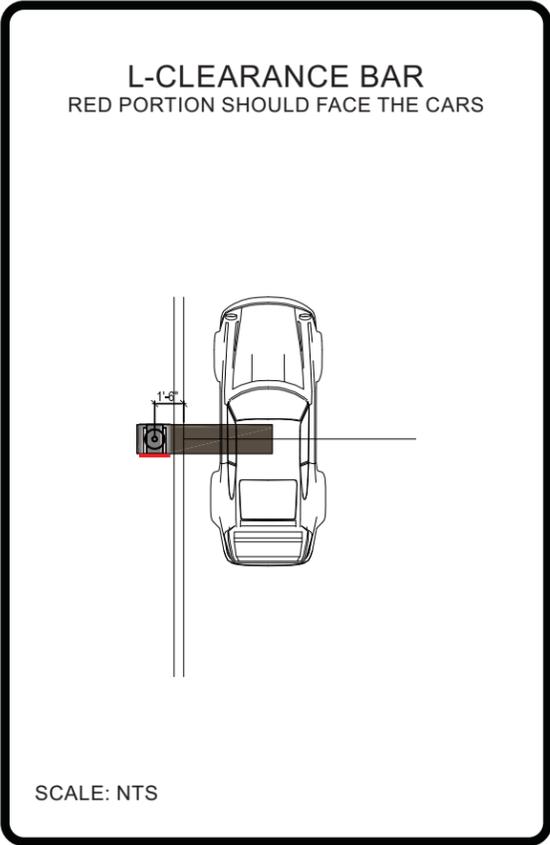
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Project Information

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| | Canal St/Winchester Blvd, |
| | Canal Winchester, OH - D6790 |
| File | Canal Winchester, OH OP009958 300 |
| Sales | CB Design DE/BH/ED PM GT |

* LOCATION TO BE VERIFIED PER SITE PLAN
***DIAGRAM MAY NOT MATCH SITE PLAN



* Please advise if different arrangements are required for this site.



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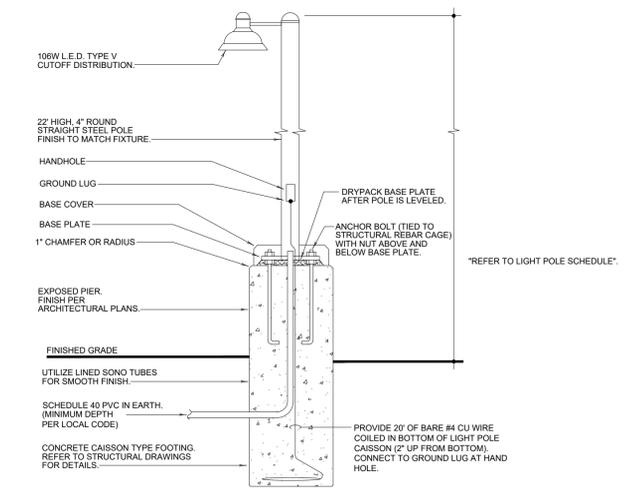


| Symbol | Label | Quantity | Catalog Number | Description | Lamp | Number Lamps | Filename | Lumens Per Lamp | Light Loss Factor | Wattage |
|--------|-------|----------|--------------------|---|-----------------------|--------------|------------------------|-----------------|-------------------|---------|
| □ | A | 5 | XDLS-FT-LED-HO-NW | CONTACT RYAN ZINSELMEIER- 314-531-2600 | | 1 | XDLS-FT-LED-HO-NW.IES | 7892 | 1 | 104.2 |
| □ | B | 2 | XDLS-3-LED-HO-NW | CONTACT RYAN ZINSELMEIER- 314-531-2600 | | 1 | XDLS-3-LED-HO-NW.IES | 8809 | 1 | 106.1 |
| □ | D | 0 | XDLS-5-LED-HO-NW | CONTACT RYAN ZINSELMEIER- 314-531-2600 | | 1 | XDLS-5-LED-HO-NW.IES | 7780 | 1 | 208.4 |
| □ | C | 1 | CTL-FT-1000-PSMH-F | EXISTING FIXTURE IN DRIVE THRU- NOT FIGURED IN CALCULATIONS | 1- 1000W CLEAR PSMH U | 1 | CTL-FT-1000-PSMH-F.ies | 107800 | 0.45 | 1070 |

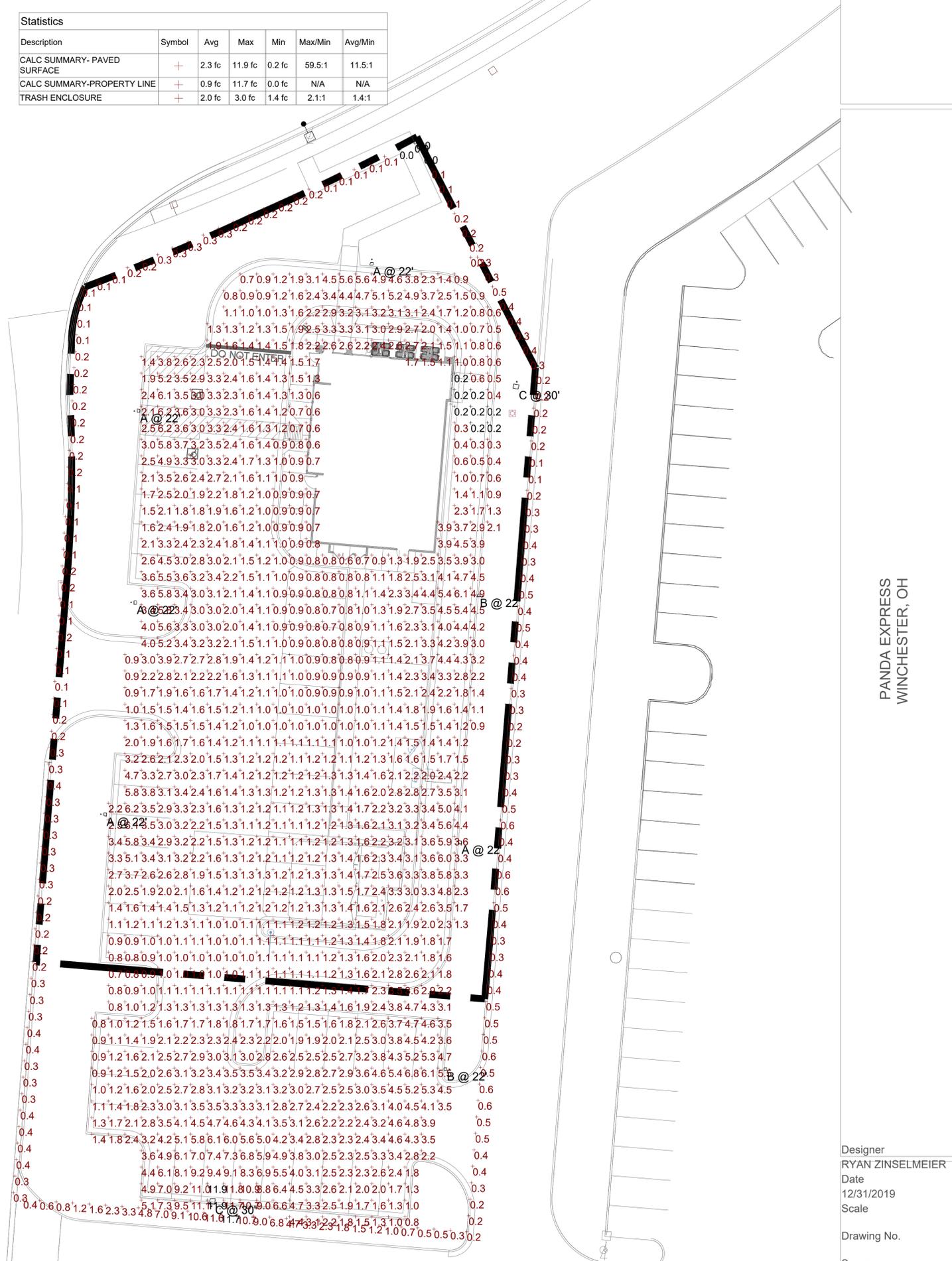
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|-----------------------------|--------|--------|---------|--------|---------|---------|
| CALC SUMMARY- PAVED SURFACE | + | 2.3 fc | 11.9 fc | 0.2 fc | 59.5:1 | 11.5:1 |
| CALC SUMMARY-PROPERTY LINE | + | 0.9 fc | 11.7 fc | 0.0 fc | N/A | N/A |
| TRASH ENCLOSURE | + | 2.0 fc | 3.0 fc | 1.4 fc | 2.1:1 | 1.4:1 |

Note

1. Mounting height of 22' (20'pole)
2. Calculations taken at ground level.
3. Contact Villa Lighting- Ryan Zinselmeier-ryan.zinselmeier@villalighting.com- 314.531-2600
4. Existing fixtures are an estimate.



NOTE: THIS DETAIL IS FOR ELECTRICAL INSTALLATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.



PANDA EXPRESS
WINCHESTER, OH

Designer
RYAN ZINSELMEIER
Date
12/31/2019
Scale

Drawing No.

SITE PLAN | 1
Scale: 1/16" = 1'-0" | A-100

ORDINANCE NO. 20-013

**AN ORDINANCE TO AMEND THE 2020 APPROPRIATION
ORDINANCE #19-069, AMENDMENT #1**

WHEREAS, the City Council desires to proceed with activities of the City which require changes in the appropriations to accommodate those activities;

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CANAL WINCHESTER, STATE OF OHIO:

Section 1. That the 2020 Annual Appropriations Ordinance be amended by appropriating from the unappropriated monies of the General Fund \$1,965,066 to following line items.

| Department | Function | Amount |
|-----------------------|--------------------|---------------|
| Administration | Operating Expenses | \$ 220,000.00 |
| Administration | Transfers/Advances | \$ 902,000.00 |
| Construction Services | Operating Expenses | \$ 462,000.00 |
| Construction Services | Capital Outlay | \$ 381,066.00 |

Section 2. That the 2020 Annual Appropriations Ordinance be amended by appropriating from the unappropriated monies of the Gender Rd TIF Fund \$1,409,000.00 as follows:

| | |
|-----------------------|-----------------|
| Professional Services | \$ 68,000.00 |
| Capital Outlay | \$ 1,341,000.00 |

which is appropriated solely as an advance from the Water Connections and Sewer Connections Funds as described in Sections 4 and 5 below to pay for the costs incident to the Bixby Road Utility Extension project with the anticipation of full and complete repayment and reimbursement of said funds. The reimbursement from the Gender Rd TIF Fund shall be from the proceeds of payments in lieu of taxes made by property owners within the TIF area. The Finance Director is hereby authorized and directed to immediately reimburse the Water Connections and Sewer Connections Funds upon receipt of such proceeds after all other financial obligations of the Gender Rd TIF fund have satisfied.

Section 3. That the 2020 Annual Appropriations Ordinance be amended by appropriating from the unappropriated monies of the State Grants Capital Improvements Fund \$1,352,828.00 as follows:

| | |
|-----------------------|---------------|
| Professional Services | \$ 82,000.00 |
| Capital Outlay | \$ 820,000.00 |
| Advances Out | \$ 450,828.00 |

Section 4. That the 2020 Annual Appropriations Ordinance be amended by appropriating from the unappropriated monies of the Water Connections Fund \$555,000.00 to the Connections – Advances Out line item.

Section 5. That the 2020 Annual Appropriations Ordinance be amended by appropriating from the unappropriated monies of the Sewer Connections Fund \$854,000.00 to the Connections – Advances Out line item.

Section 6. That this ordinance take effect and be in force from and after the earliest period allowed by law.

DATE PASSED _____

PRESIDENT OF COUNCIL

ATTEST _____
CLERK OF COUNCIL

MAYOR

DATE APPROVED _____

APPROVED AS TO FORM:

LEGAL COUNSEL

I hereby certify that the ordinance as set forth above was published for a period of not less than fifteen days after passage by the Council, by posting a copy thereof in not less than three (3) public places in the municipal corporation, as determined by Council and as set forth in the Canal Winchester Charter.

Clerk of Council